

Meeting Agenda
Skokie Appearance Commission
Wednesday, September 13, 2023 at 7:30 P.M.
Village of Skokie
5127 Oakton Street
Skokie, IL 60077

- I. **Call to Order**
- II. **Roll Call**
- III. **Approval of Minutes from August 9th Meeting**
- IV. **New Business**

a. Consideration of a Certificate of Appropriateness for Residential Properties:

2023-031A - 9248 Karlov Ave. Applicant: Nathan Kriska Owner: Ethel Kolom Sutker Request: Residential Facade and Roof Alteration
2023-033A - 9100 Kenton Ave. Applicant: Ej Fernandez Owner: Nash Querishi Request: 1 st and 2 nd Floor Residential Addition

b. Consideration of a Certificate of Appropriateness for Non-Residential Properties:

2023-030A - 10001 Skokie Blvd. Applicant: Nathan Kriska Owner: Penny Mustard Furnishings Request: Non-Residential Facade
2023-028A - 9300 Skokie Blvd. Applicant: Megrn Farahmandpour Owner: OP Associates LLC Request: Non-Residential Façade
2023-027A - 4832 Main St. Applicant: Josephine Pangilinan Owner: Josephine Pangilinan Request: Non-Residential Façade
2023-034A - 8057 Niles Center Rd. Applicant: Miller Architects & Builders Owner: John Haben Request: 1 st Floor Non-Residential Addition
2023-029A - 3250 Touhy Ave. Applicant: Jameel Ahmed Owner: Aqueel Ahmed Request: New Car Wash

V. Old Business

a. Consideration of a Certificate of Appropriateness for Residential Properties:

<p>2023-024A - 7720 Laramie Ave. Applicant: Richard Schmidt Owner: Novera & Fouzan Ansari Request: 2nd Floor Residential Addition</p>

VI. Public Comment (for non-agenda items)

VII. Adjourn

MEMORANDUM
Community Development Department

To: Michael Lynk, Appearance Commission Chair
Appearance Commission Members

From: Brian J Augustine, Zoning Administrator/Permit Supervisor
Nasko Pelinkaj, Building & Zoning Division Coordinator
Justin Malone, Neighborhood Services Coordinator
Paul Reise, Planning Manager

Date: September 13, 2023

SUBJECT: APPEARANCE COMMISSION STAFF REPORT

Staff offers the following comments on the cases scheduled for the August 9, 2023, Appearance Commission meeting:

RESIDENTIAL REQUESTS

2023-031A 9248 Karlov Ave – The applicant is proposing to convert a room to an attached garage, construct a covered porch behind the garage and change the roof over the converted room. Staff has no objections to the proposed elevation changes. The proposed roof nicely matches the existing. The materials appear to match existing, if they do not they should complement the existing siding and brick.

2023-033A 9100 Kenton Ave – The proposed addition and remodeling will require a fire sprinkler system through the entire residence.

Overall staff is not supportive of the proposed elevations. The façade does not meet the 50% minimum masonry as required by the Skokie Village Code. The bay window and guard rail appear out of place on the east elevation. The west elevation needs could use a window. Staff would prefer masonry on the 1st floor west elevation where there is siding.

The proposed covered porch is not permitted in the required front yard or corner side yard. As proposed the porch appears to be in both required yards. If the porch is removed it may dramatically alter the elevations that face both streets.

Staff recommends the petitioner change the plans and appear at a future hearing.

2023-024A 7720 Laramie Ave – Overall staff has no objections to the proposed elevations. The new proposal appears to meet the 50% masonry requirement. The applicant must bring in samples of any new materials. The proposed hardie board siding color should complement the other materials.

NON-RESIDENTIAL REQUESTS

- 2023-030A 10001 Skokie Blvd** – Staff has no objections to the proposed elevation changes. The proposed fiber cement panels behind the sign are complimentary to the columns and new wall and parapet colors.
- 2023-028A 9300 Skokie Blvd** – Overall staff has no objections to the proposed elevation changes. The proposed new gray facade doesn't appear to clash with the lighter color facade that exists on the adjacent facades (Emma's Bagels etc.).
Any future signage will be reviewed during the permit process.
- 2023-027A 4832 Main St** – Staff has no objections to the proposed front facade changes. The new Fiberon cladding will be an improvement to the existing facade. The proposed door and window frame color nicely compliments the proposed cladding.
- 2023-034A 8057 Niles Center Rd** – Staff has no objections to the proposed addition facade as long as the proposed brick matches or compliments the existing masonry.
- 2023-029A 3250 Touhy Ave** – Staff has no objections to the proposed building elevations. The proposed building looks similar to other car wash buildings in Skokie.

Appearance Commission Meeting Minutes
Date: August 09, 2023

A motion was made by Commissioner Pathak to approve the minutes of the July 12, 2023 meeting and seconded by commissioner DaMario. All members voted aye.

Case 2023-026A – 4801 Golf Rd

Discussion and Interested Parties

Commissioner DaMario read Staff comments into the record.

Staff noted that the ground sign is inside the sight distance triangle and states that if it is reduced from 5' tall to 30" in height it would be permitted.

The representative from Expedite the Diehl says that this can be done.

The petitioner says the sign on the second floor was proposed because the trees would block the sign would it not be placed on that location. The petitioner adds that two previous banks have had a sign in that location.

Chairman Lynk and Staff add that the Zoning Board of Appeals can hear cases on sign relief for location.

Staff added that two signs on one wall are not permitted. The petitioner commented that since the tenants are stacked, two signs were placed on one wall. Staff added that relief can be requested on this item as well.

Chairman Lynk referenced pages 11 & 14 from the presentation and asked for motion to grant relief for the signs shown on this page.

Commissioner DaMario asks for a motion to approve with conditions provided that the ground sign is no taller than 30", the BMO sign on page 11 is granted relief for replacement above the window, and the sign on page 14 be permitted and granted relief for being a 2nd wall sign due to the fact that the tenants are stacked and not horizontal.

Recommendation and Voting

A motion was made to grant a Certificate of Appropriateness to approve with conditions noted. The vote was unanimous.

Motion: DaMario Second: Pathak

Ayes: 6

Nays: 0

Absent: 1

Case 2023-025A – 8440 Niles Center Rd

Discussion and Interested Parties

Commissioner DaMario read Staff comments into the record.

The petitioner noted the car wash building is brick and was falling apart on the exterior when it was acquired. He stated that he has been going to the car wash for 15 years and that he wanted to make it a better experience for the community. He added that the newly painted brick gives the appearance that Skokie promotes art.

Chairman Lynk states that a sign cannot be painted on brick and that it is against the Village Code.

Staff adds that the code has existed for at least 20 years.

Chairman Lynk commented that the item is something that the Appearance Commission has no ability to grant relief for.

Staff let the petitioner know that one wall sign facing a street plus a ground sign is permitted.

Chairman Lynk adds that the rest of the design is fine.

Recommendation and Voting

A motion was made to grant a Certificate of Appropriateness to approve with a provision that the existing painted on wall signage will be removed and that the applicant will work with Village Staff to create an appropriate and compliant sign package going forward.

Motion: DaMario Second: Shah

Ayes: 6

Nays: 0

Absent: 1

Public Comments

Chairman Lynk states that comments will not be heard about 4600 Main St without the presence of the applicant. He stated a procedural question will be permitted. He also mentioned that the commission will not hear or opine on anything regarding the matter because it is not a case on tonight's agenda.

The speaker asked in what matter the petitioner was informed they were going to Plan Commission and asked for contact information for someone who may have more information.

Staff and Chairman Lynk told the applicant to contact the Planning Division.

The speaker mentioned the Elm Terrace block party is coming up and invited the commissioners to attend.



Village of Skokie APPEARANCE COMMISSION APPLICATION

Community Development Department - Building & Zoning Division
5127 Oakton St. Skokie, IL 60077
Phone 847/933-8223 Fax 847/933-8230

The Appearance Commission meets the 2nd Wednesday of each month at 7:30 p.m.

Until further notice, applications will only be accepted in a PDF format.

APPLICATION DATE: 8-23-2023

APPLICATION TYPE (Please check all that apply):

New Construction 1st Floor Addition 2nd Floor Addition Façade Signage Other

LAND USE:

Single Family Residential Multifamily Residential Mixed Use Commercial Industrial Other

SUBJECT ADDRESS: 9248 KARLOV AVE.

OWNER INFORMATION:

Please print legibly.

NAME(S): ETHEL KOLOM SUTKER

ADDRESS: 9248 KARLOV AVE CITY, STATE ZIP: SKOKIE, IL 60076

PHONE#: _____ EMAIL: _____

AGENT/PETITIONER INFORMATION (if other than owner):

NAME(S): NATHAN KRISKA DAYTIME PHONE #: 847 983 8383

ADDRESS: P.O. Box 8421 CITY, STATE ZIP: NORTHFIELD, IL 60093

EMAIL: NKARCHITECT@USA.COM SIGNATURE: *Nathan Kriska*

Please submit the following PDFs to appearance@skokie.org to complete your digital-only application:

1. Elevations, floor plans, and site plans. Scale 1/4" = 1'-0" is preferred, but not required. If the file size is greater than 5MB, multiple emails are allowed. Ensure "Appearance Commission PDF" and the project's property address are in the subject line of the email. Color elevations or one color rendering is required.
2. Completed Zoning Information Worksheet (residential projects only)
3. Photographs (all sides of the subject building and the fronts of neighboring buildings)
4. Excerpts of brochures and/or cut sheets of new materials and colors proposed for the project. Matching existing materials and colors can be confirmed with the submitted photographs.
5. Plat of Survey

*** The Building, Zoning, will not take in or hold material or color samples.

*** Visit <https://www.skokie.org/357/Appearance-Commission> to access the staff report prior to the meeting.

Fee Schedule

Residential Site (new) ...	\$100 plus \$50.00 per unit
Non-Residential Site* (new) ...	\$100 plus \$50.00 per 1,000 square feet (based on square footage of building)

* Any non-residentially zoned site (Business, Industrial, Mixed-Use districts)

Any Other Appearance Review (Additions, Façade, Sign Package, etc.) ... \$50.00

If you have already paid for a preliminary plan review there is no charge.

For Office Use Only:

Case Number _____ Meeting Date _____

Acct # NR Amt \$ _____ Cash / Credit Card/ Check # _____

Any required fees or monies owed by the applicant to the Village must be paid as a condition of approval.



ZONING INFORMATION WORKSHEET

Please provide the following information for all permits involving new single-family dwellings, single-family additions or accessory structures in the R1 or R2 Single-Family districts.
FORM MUST BE COMPLETED IN FULL.

ADDRESS 9248 Karlov Ave. ZONING DISTRICT R-1

LOT INFO 70 x 101.74 = 7121 (This # goes on lines 1, 2, and 3)
(LOT WIDTH) (LOT DEPTH) (TOTAL LOT AREA)

	TOTAL LOT AREA	ALLOWED	PROPOSED	DIFFERENCE BETWEEN ALLOWED & PROPOSED
BUILDING AREA	<u>7121</u> (1) x .40 =	<u>2848</u>	<u>2254</u> (4)	+ / - <u>+ 549</u>
IMPERMEABLE AREA	<u>7121</u> (2) x .50 =	<u>3560</u>	<u>3177</u> (5)	+ / - <u>+ 383</u>
FLOOR AREA	<u>7121</u> (3) x .60 =	<u>4272</u>	<u>2254</u> (6)	+ / - <u>+ 2018</u>

AREA	EXISTING AREA	NEW AREA	PROPOSED
BASEMENT (50% above grade)	<u>0</u>	<u>0</u>	<u>0</u> (A)
1 ST FLOOR (Include attached garage carport, covered porch, etc)*	<u>2142</u>	<u>112</u>	<u>2254</u> (B)
2 ND FLOOR *	<u>0</u>	<u>0</u>	<u>0</u> (C)
ATTIC (6'-9" OR GREATER) (2 nd Floor top plate to top of roof)	<u>0</u>	<u>0</u>	<u>0</u> (D)
ACCESSORY BUILDINGS (Detached garage, shed, etc.)	<u>0</u>	<u>0</u>	<u>0</u> (E)
DRIVEWAY/APRON	<u>300</u>	<u>470</u>	<u>770</u> (F)
SIDEWALK & PATIO	<u>75</u>	<u>78</u>	<u>153</u> (G)

* Any ceiling height 16 feet in height or greater will count twice.

PROPOSED BUILDING AREA (Add lines B & E) = 2254 (This # goes on line 4)
 PROPOSED IMPERMEABLE AREA (Add lines B, E, F, & G) = 3177 (This # goes on line 5)
 PROPOSED FLOOR AREA (Add lines A, B, C, D, & E) = 2254 (This # goes on line 6)

REAR YARD COVERAGE FOR ACCESSORY BUILDINGS:

70 x 25.45 = 1781 40% 712 658
FRONT yard width) FRONT yard depth) FRONT yard) (allowed) (proposed buildings in rear yard)
 Rear yard is measured from the rear wall of the principal building to the rear lot line and from side lot line to side lot line.

The undersigned hereby acknowledges the accuracy of the above information and accepts full responsibility for any discrepancies or inaccuracies.

Signature [Handwritten Signature]

Date _____

Reviewed by Community Development Department

Date _____



9248









9240

0918377043



9256

9256

PLAT OF SURVEY

OF

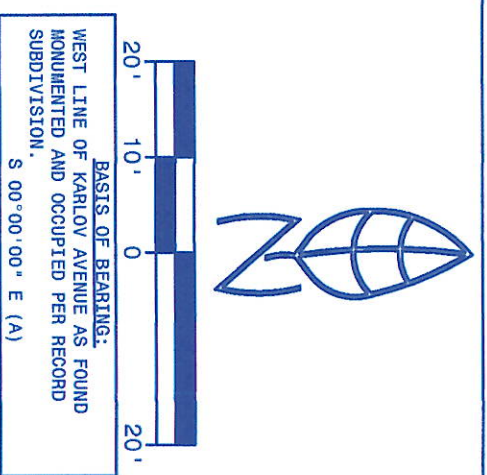
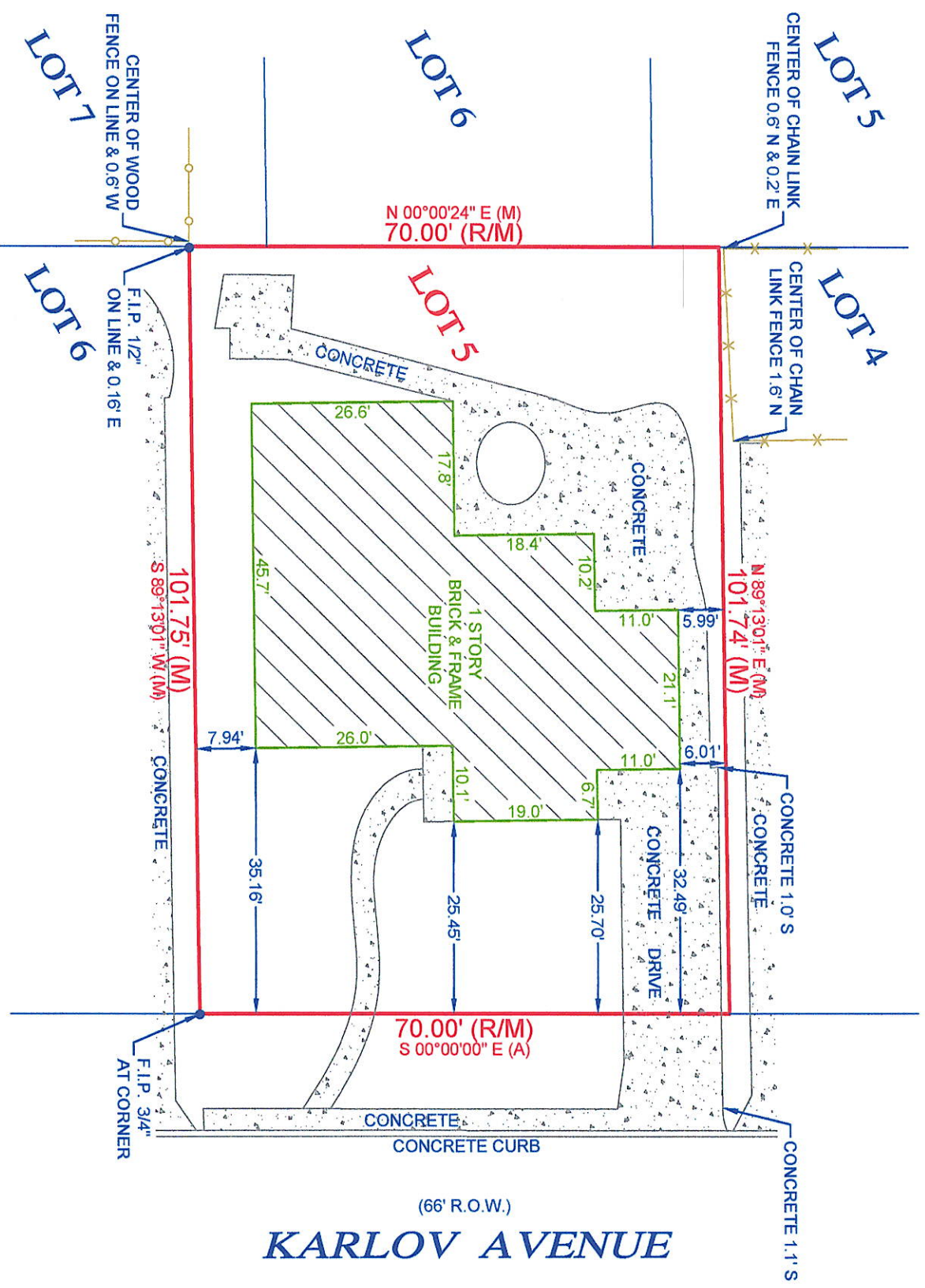
LOT 5 IN WILLIAM J. LONNQUIST'S ADDITION TO THE ORCHARDS, A SUBDIVISION OF LOT 31 AND LOT "A" TOGETHER WITH THAT PART OF VACATED LYONS STREET LYING BETWEEN SAID LOTS IN BLOCK 6 IN THE ORCHARDS CRAWFORD CHURCH SUBDIVISION OF PART OF THE EAST 1/2 OF THE NORTHEAST 1/4 OF SECTION 15, TOWNSHIP 41 NORTH RANGE 13 EAST OF THE THIRD PRINCIPAL MERIDIAN, ALSO THE EAST 32 FEET OF LOTS 1 TO 9 INCLUSIVE, TOGETHER WITH THE 7 FOOT VACATED ALLEY LYING EAST OF AND ADJOINING SAID LOTS 1 TO 9 INCLUSIVE, IN CHERRY'S SUBDIVISION OF PART OF THE SOUTHEAST 1/4 OF SECTION 15 AFORESAID, IN COOK COUNTY, ILLINOIS.

LEGEND

A = ASSUMED	NW = NORTHWEST
C = CALCULATED	P.O.B. = POINT OF BEGINNING
CH = CHORD	P.O.C. = POINT OF COMMENCEMENT
CL = CENTERLINE	R = RECORD
D = DEED	RAD = RADIUS
E = EAST	R.O.W. = RIGHT OF WAY
F.I.P. = FOUND IRON PIPE	S = SOUTH
F.I.R. = FOUND IRON ROD	S.I.P. = SET IRON PIPE
FT. = FEET/FOOT	S.I.R. = SET IRON ROD
L = ARC LENGTH	SE = SOUTHEAST
M = MEASURED	SW = SOUTHWEST
N = NORTH	W = WEST
NE = NORTHEAST	

—*—	= CHAIN LINK FENCE
—○—	= WOOD FENCE
—□—	= METAL FENCE
—△—	= VINYL FENCE
—○—	= EASEMENT LINE
—○—	= SETBACK LINE
—○—	= INTERIOR LOT LINE

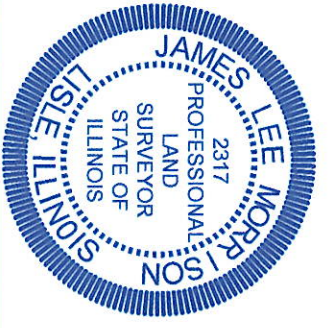
AREA OF SURVEY:
 CONTAINING 7.121 SQ. FT. OR 0.16 ACRES MORE OR LESS



Morris Engineering, Inc.
 515 Waterville Road, Lisle, IL 60532
 Phone: (630) 271-0770
 FAX: (630) 271-0774
 WEBSITE: WWW.ECIVIL.COM

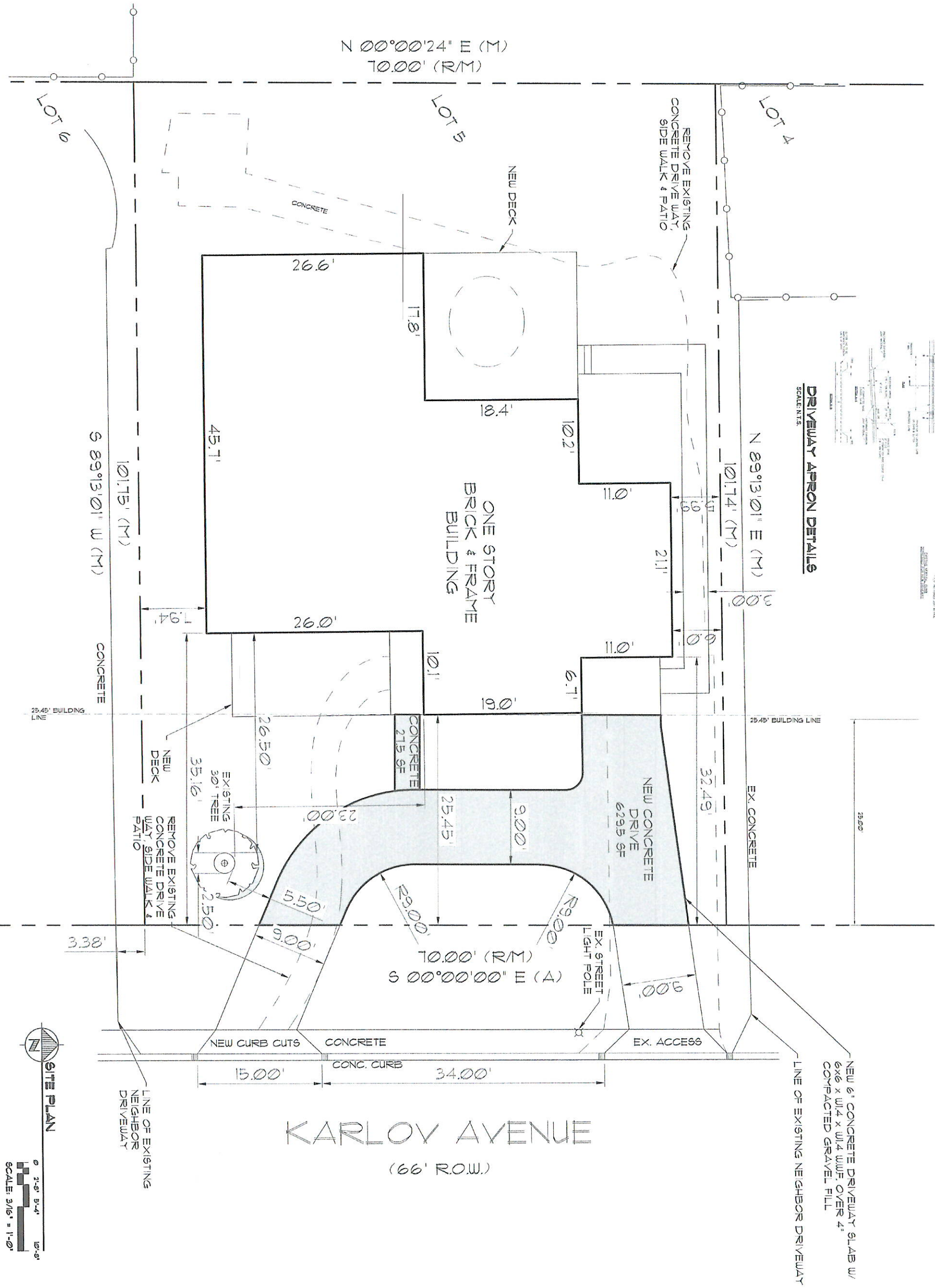
STATE OF ILLINOIS,
 COUNTY OF DUPAGE, ss
 I, THE UNDERSIGNED, AN ILLINOIS PROFESSIONAL LAND SURVEYOR, DO HEREBY CERTIFY THAT "THIS PROFESSIONAL SERVICE CONFORMS TO THE CURRENT ILLINOIS MINIMUM STANDARDS FOR A BOUNDARY SURVEY," AND THAT THE PLAT HEREON DRAWN IS A CORRECT REPRESENTATION OF SAID SURVEY.
 DATED, THIS 29TH DAY OF AUGUST, A.D., 2022,
 AT LISLE, ILLINOIS.

ILLINOIS PROFESSIONAL LAND SURVEYOR NO. 035-2317
 LICENSE EXPIRATION DATE NOVEMBER 30, 2022
 ILLINOIS BUSINESS REGISTRATION NO. 184-001245



- NOTE:
1. ALL TIES SHOWN ON THIS SURVEY ARE MEASURED TO THE BUILDING'S SIDING (BRICK, FRAME, STUCCO, METAL, ETC.) AND NOT TO THE FOUNDATION, UNLESS NOTED OTHERWISE.
 2. ROOF LINES AND OVERHANGS ARE TYPICALLY NOT SHOWN HEREON.
 3. COMPARE ALL DISTANCES AND POINTS IN FIELD AND REPORT ANY DISCREPANCIES TO SURVEYOR AT ONCE.
 4. NO DIMENSIONS SHALL BE ASSUMED BY SCALING.

ADDRESS COMMONLY KNOWN AS 9248 KARLOV AVENUE
 SHOKIE, ILLINOIS
 CLIENT ACE TITLE CO
 FIELDWORK DATE (CREW) 08/25/2022 (BV/DA/PT)
 DRAWN BY: RE.S. REVISED: JOB NO. 22-08-0319



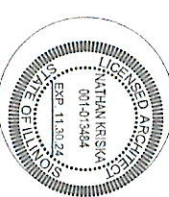
DRIVEWAY APRON DETAILS
SCALE: 1/8\"/>

NEW 6\"/>

CONCRETE DRIVEWAY &
WOOD DECK ADDITION
TO EXISTING RESIDENCE
9248 KARLOV AVE
SKOKIE, IL

NK ARCHITECT
NATHAN KRISKA
P.O. BOX 9421
NORTHFIELD, IL 60093
TEL. 647-983-9393

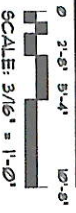
I HEREBY CERTIFY THAT THESE DOCUMENTS
WAS PREPARED UNDER MY DIRECT SUPERVISION
AND THAT I AM A LICENSED ARCHITECT IN THE STATE OF
ILLINOIS. I AM NOT PROVIDING ANY SERVICES
BEYOND THE SCOPE OF MY LICENSE.
THE BUILDING CODE OF THE STATE OF ILLINOIS
AND THE LAWS OF THE STATE OF ILLINOIS.



DATE: _____
PROJECT ENGINEER OF RECORD: _____

KARLOV AVENUE
(66' R.O.W.)

SITE PLAN



SCALE: 3/16\"/>

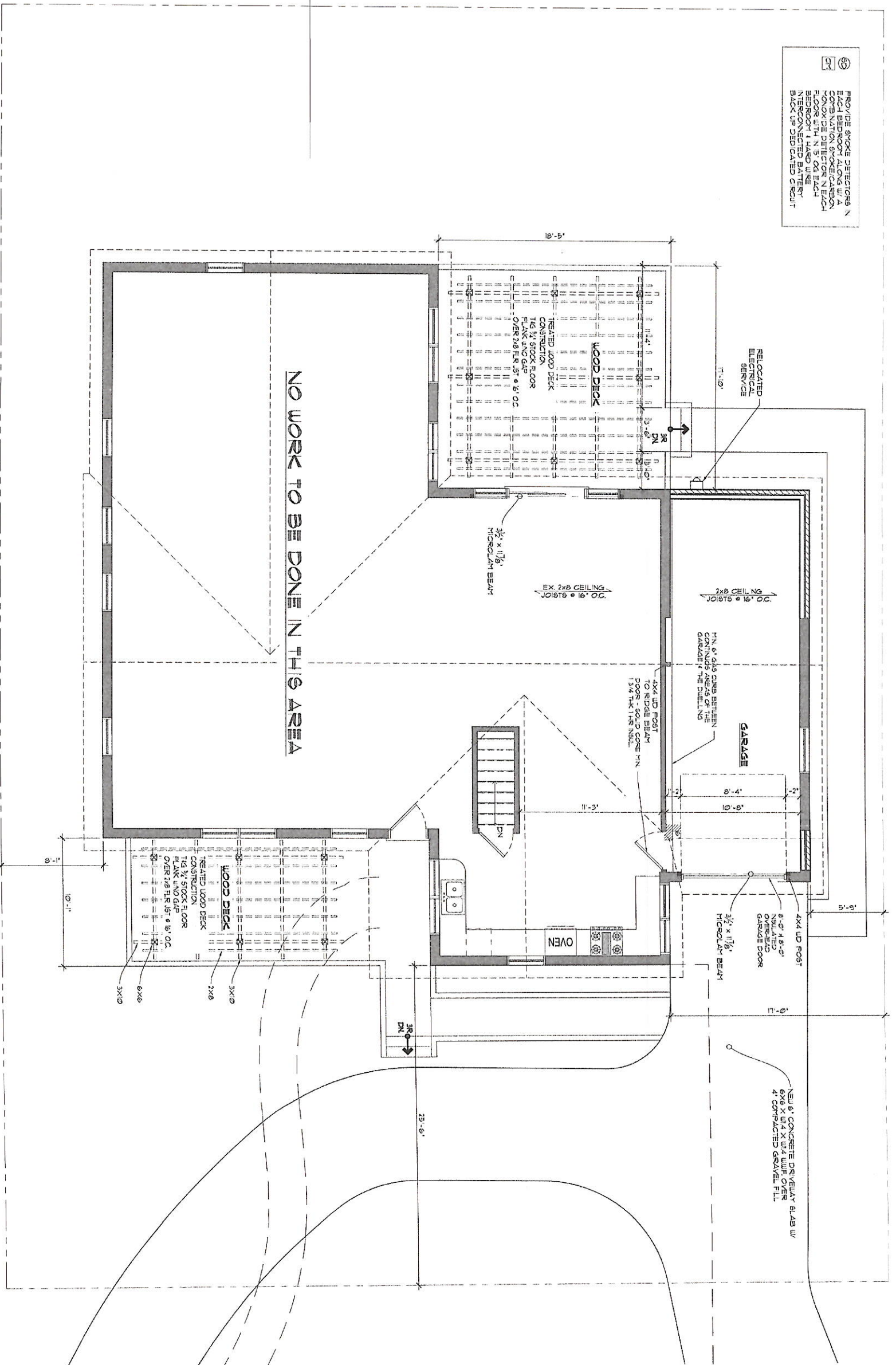
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NO.	DESCRIPTION	DATE
1	PROGRESS	08/24/2022
2	PERMIT ISSUE	04/27/2023
3	PERMIT ISSUE	07/19/2023
4	PERMIT ISSUE	08/03/2023
5	PERMIT ISSUE	08/14/2023

REVISIONS:

NO.	DESCRIPTION	DATE

PROJECT NUMBER: 12072022
PROJECT ADDRESS: N. KRISKA
PROJECT ARCHITECT: N. KRISKA
PROJECT ENGINEER: N. KRISKA
DRAWN BY: K. ROBERTOWICZ
CHECKED BY: N. KRISKA
SHEET NUMBER: SP-1



1 FIRST FLOOR PLAN
SCALE 1/4" = 1'-0"

REMODELING & GARAGE ADDITION
SINGLE FAMILY RESIDENCE
9248 KARLOV AVE
SMOKIE, IL

NK ARCHITECT
NATHAN KRISKA
P.O. BOX 8421
NORTHFIELD, IL 60093
TEL. 847-983-8933

I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED UNDER MY DIRECT SUPERVISION AND THAT TO THE BEST OF MY KNOWLEDGE AND BELIEF THEY COMPLY WITH THE PROVISIONS OF THE BUILDING CODE OF THE STATE OF ILLINOIS AND THE LAWS OF THE STATE.

Nathan Kriska
ARCHITECT/ENGINEER OF RECORD
DATE



NO.	DESCRIPTION	DATE
1	PERMIT ISSUE	06/23/2023
2	PROGRESS	06/24/2022

PRINTED: 06/23/2023 2:49:47 PM

PROJECT INFORMATION
PROJECT NO: 101-2022
ARCHITECT: N. KRISKA
CLIENT: NATHAN KRISKA
OWNER: K. KRISTOWICZ
DESIGNER: N. KRISKA
SCALE: 1/4" = 1'-0"

A-5

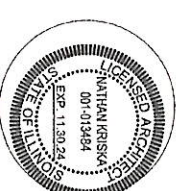
**REMODELING &
GARAGE ADDITION
SINGLE FAMILY RESIDENCE**
9248 KARLOV AVE
SKOKIE, IL

NK ARCHITECT

NATHAN KRISKA
P.O. BOX 8421
NORTHFIELD, IL 60093
TEL. 847-953-5353

I HEREBY CERTIFY THAT THESE DOCUMENTS
WERE PREPARED BY ME OR UNDER MY CLOSE
SUPERVISION AND TO THE BEST OF MY KNOWLEDGE AND
BELIEF THEY COMPLY WITH THE PROVISIONS OF
THE BUILDING CODE OF THE STATE OF ILLINOIS
AND THE LAWS OF THE STATE OF ILLINOIS.

ARCHITECT/ENGINEER OF RECORD DATE



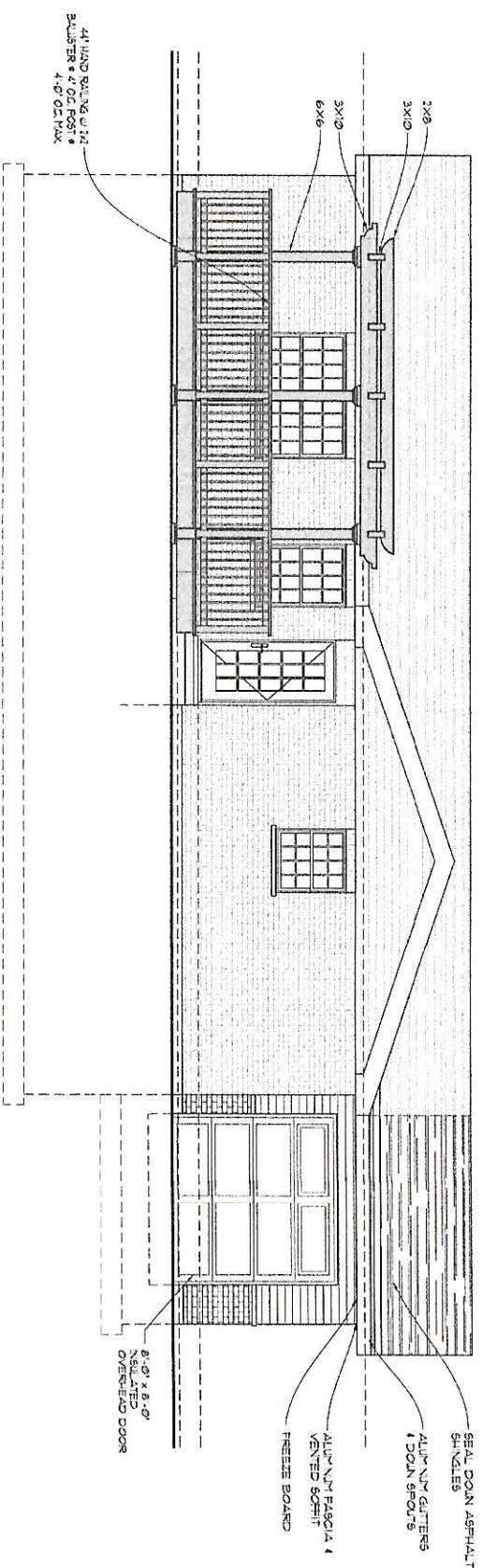
PROJECT TITLE: N/A

NO.	DESCRIPTION	DATE
1	PERMIT ISSUE	06/23/2023
2	PROGRESS	06/24/2022

ELEVATIONS

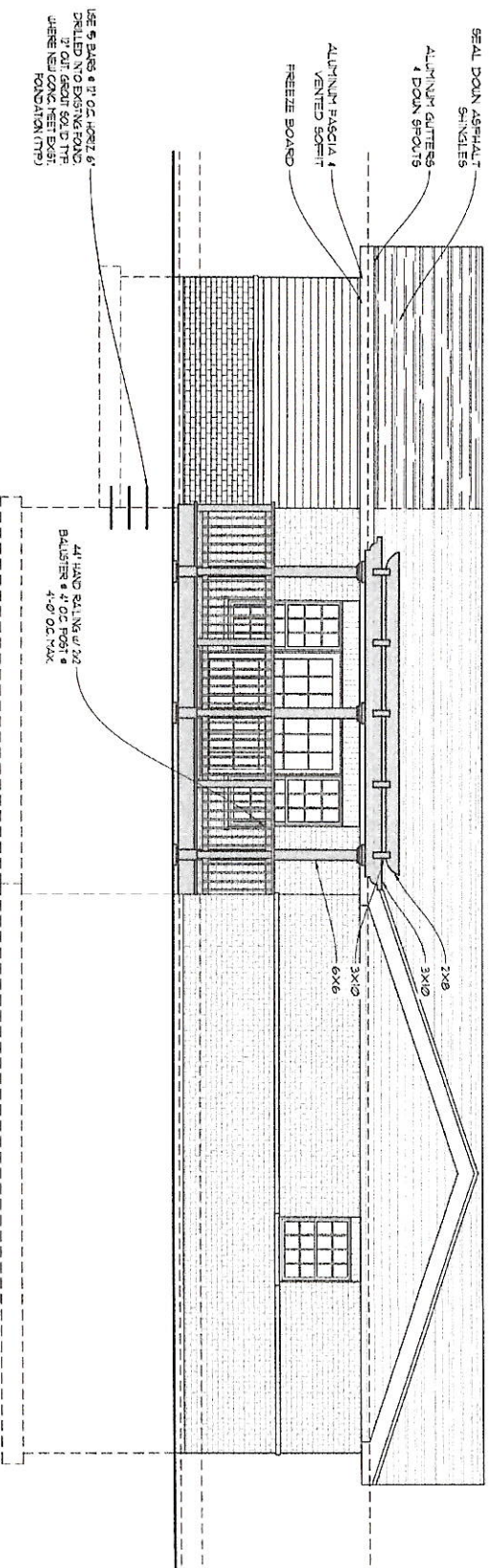
PROJECT NUMBER: 13072122
PROJECT NAME: N. KRISKA
SHEET: 1/1

DESIGNED BY: K. KRZEMINSKI
CHECKED BY: N. KRISKA
DATE: 06/24/2022



1 EAST (FRONT) ELEVATION

SCALE: 1/4" = 1'-0" 0 4 8 12



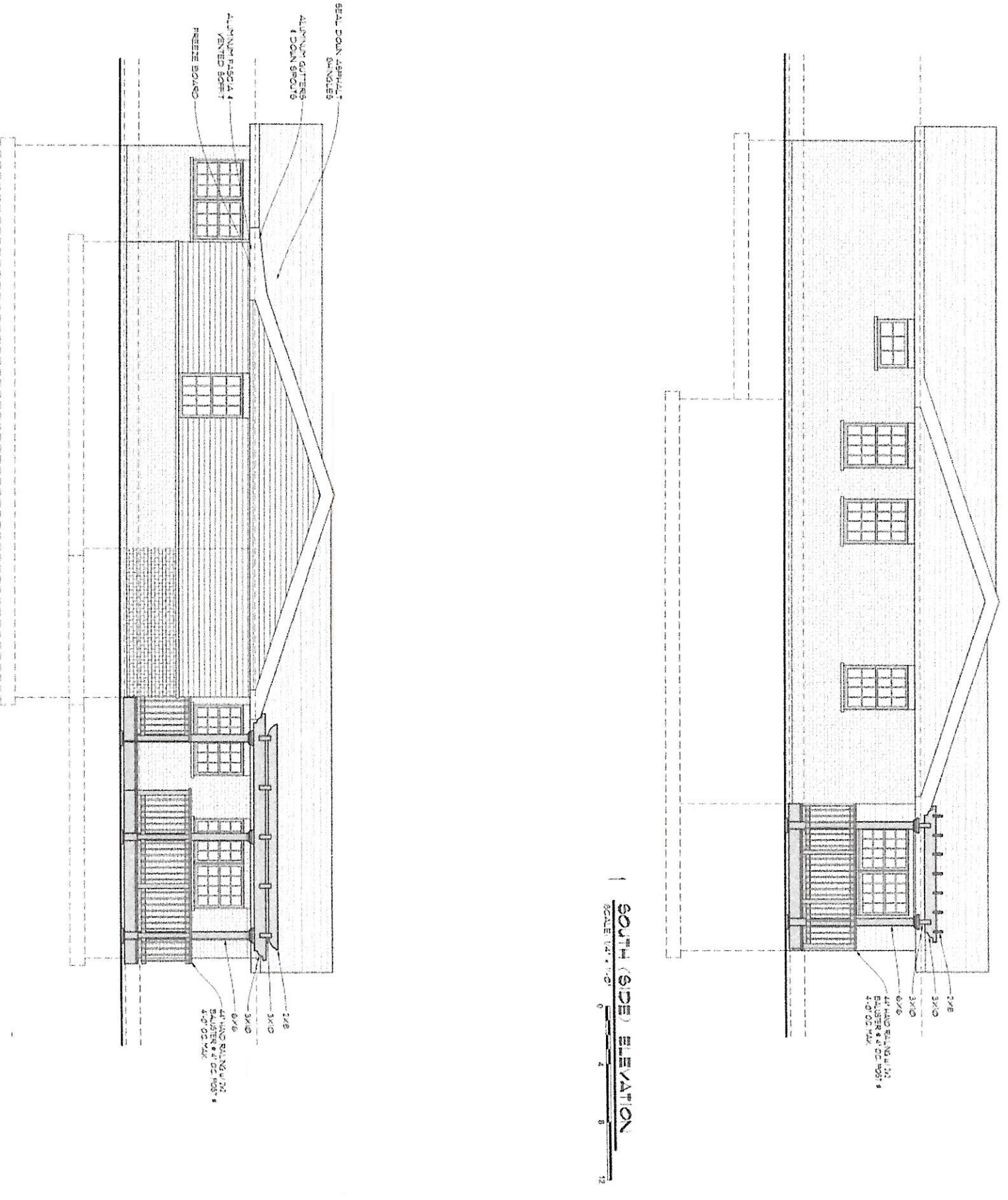
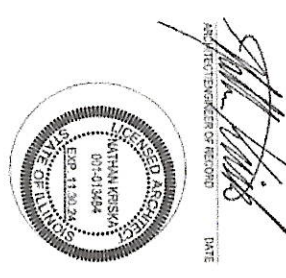
2 WEST (REAR) ELEVATION

SCALE: 1/4" = 1'-0" 0 4 8 12

REMODELING &
GARAGE ADDITION
SINGLE FAMILY RESIDENCE
9245 KARLOV AVE
SKOKIE, IL

NK ARCHITECT
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TEL. 847-963-9393

I HEREBY CERTIFY THAT THESE DOCUMENTS
WAS PREPARED BY ME OR UNDER MY CLOSE PERSONAL
SUPERVISION AND THAT I AM A LICENSED ARCHITECT AND
REGISTERED PROFESSIONAL ENGINEER AND
REGISTERED PROFESSIONAL LANDSCAPE ARCHITECT
IN THE STATE OF ILLINOIS AND THAT I AM THE
AUTHOR OF THESE DOCUMENTS AND THAT I AM
NOT PROVIDING THESE DOCUMENTS TO ANY OTHER
PERSON OR ENTITY WITHOUT MY WRITTEN CONSENT.
DATE: _____



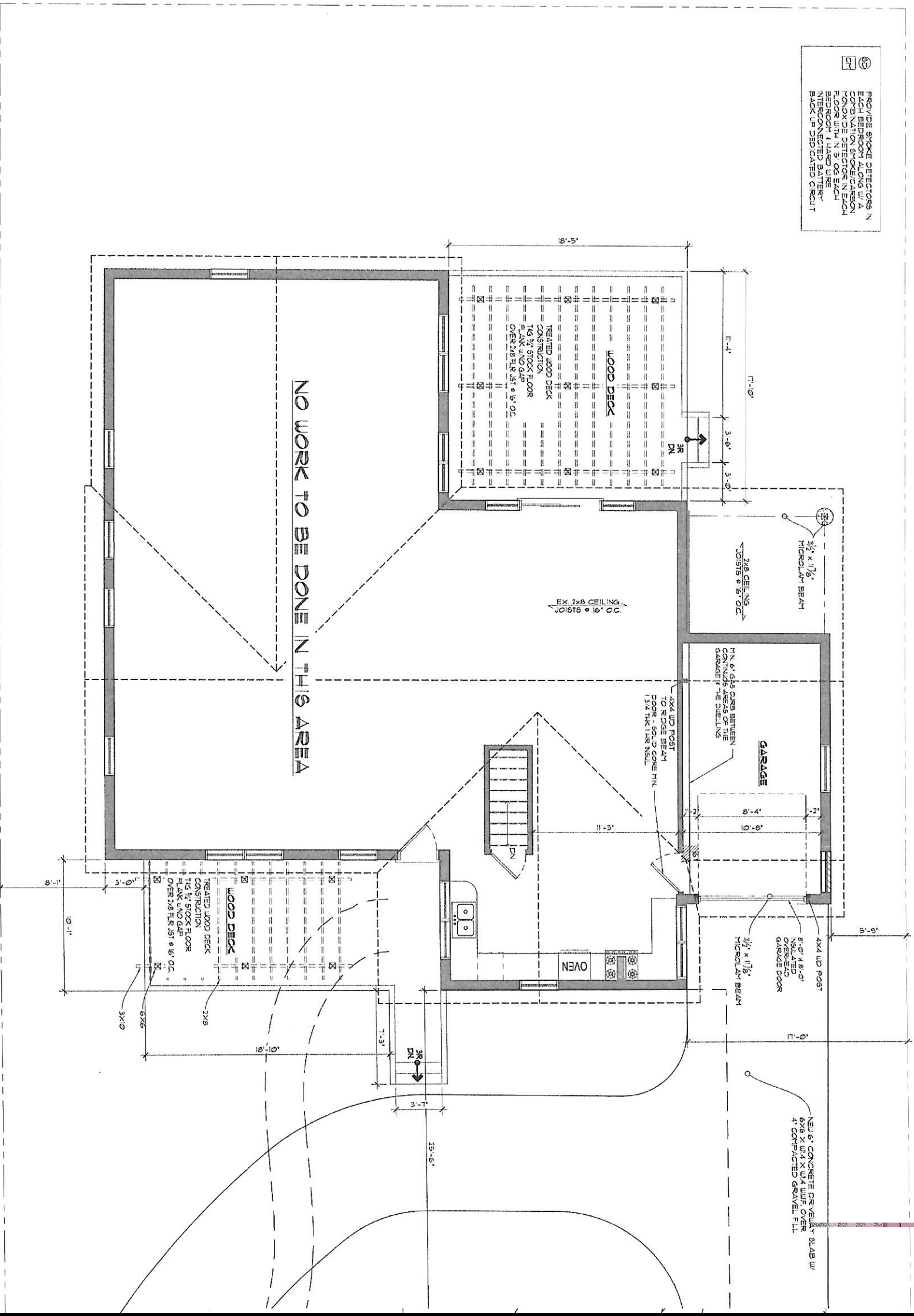
1 SOUTH (SIDE) ELEVATION
SCALE 1/4" = 1'-0"
0 2 4 6 8 10 12

2 NORTH (SIDE) ELEVATION
SCALE 1/4" = 1'-0"
0 2 4 6 8 10 12

NO.	DESCRIPTION	DATE
1	PERMIT ISSUE	08/23/2023
2	PROCESSED	08/24/2023

ELEVATIONS

PROJECT NUMBER: 101-0102
ARCHITECT & ENGINEER: N. KRISKA
PROJECT ADDRESS: 9245 KARLOV AVE
OWNER: K. KRISTOVICZ
DESIGNER: N. KRISKA
DATE: 08/23/2023



 PROVIDE SMOKE DETECTORS IN EACH BEDROOM ALONG WITH A SECOND SMOKE DETECTOR IN EACH BATH AND ONE SMOKE DETECTOR IN EACH HALL. PROVIDE SMOKE DETECTOR IN EACH BEDROOM 1 HALL WITH INTERCONNECTED BATTERY BACK UP DECATED CIRCUIT

NO WORK TO BE DONE IN THIS AREA

1 FIRST FLOOR PLAN

SCALE: 1/4" = 1'-0"

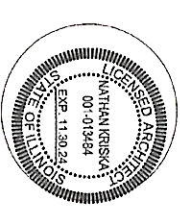


CONCRETE DRIVEWAY &
WOOD DECK ADDITION
TO EXISTING RESIDENCE
9248 KARLOV AVE
SKOKIE, IL

NK ARCHITECT
NATHAN KRISKA
P.O. BOX 8421
NORTHFIELD, IL 60093
TEL. 847-983-9393

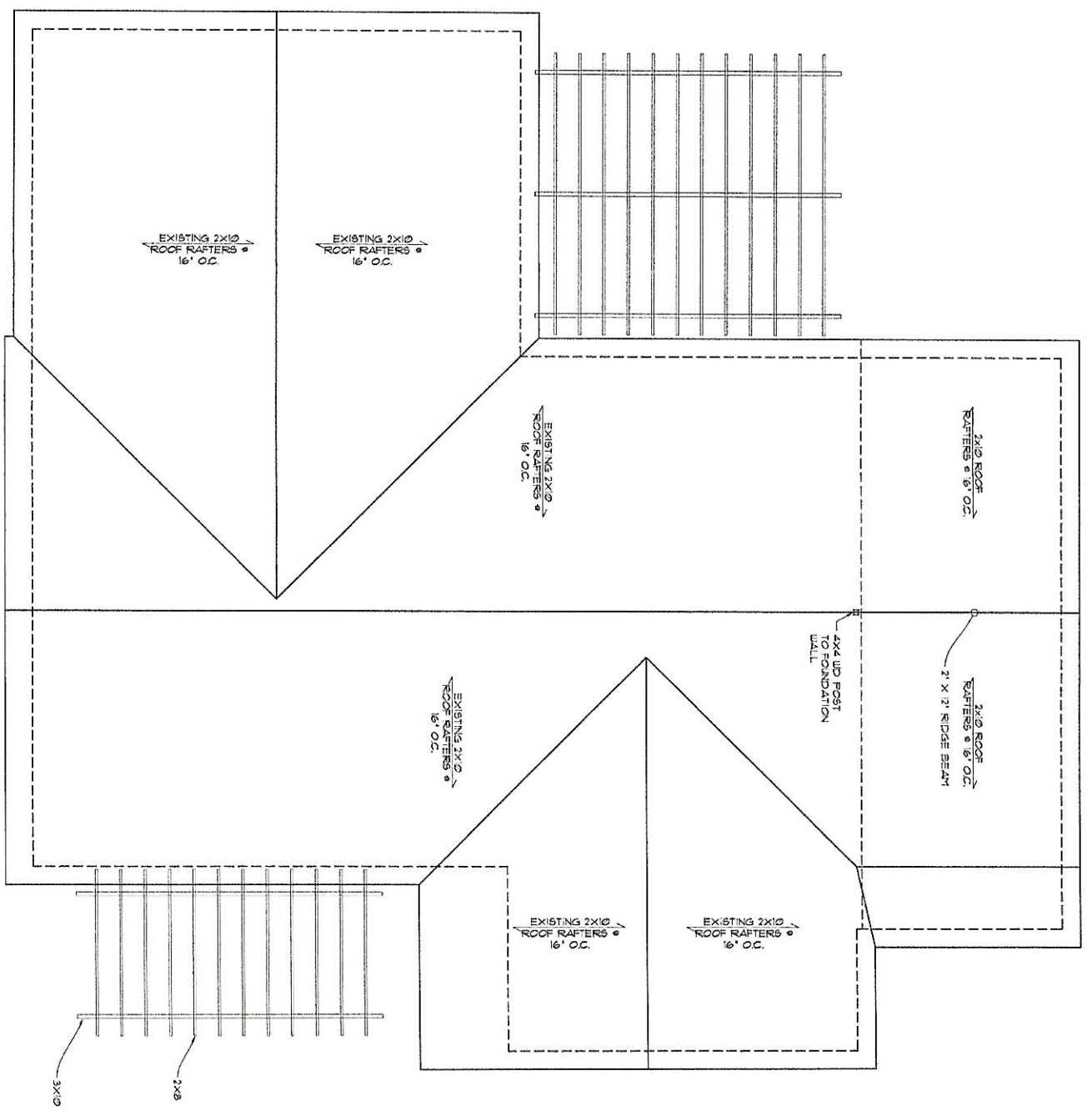
I HEREBY CERTIFY THAT THESE DOCUMENTS
WAS PREPARED BY ME OR UNDER MY CLOSE PERSONAL
SUPERVISION AND THAT TO THE BEST OF MY KNOWLEDGE AND
BELIEF, THEY COMPLY WITH THE PROVISIONS OF
THE BUILDING CODE OF THE STATE OF ILLINOIS
AND THE LAWS OF THE STATE OF ILLINOIS.

DATE: _____
ARCHITECT/ENGINEER OF RECORD



NO.	DESCRIPTION	DATE
1	PROGRESS	03.24.2022
2	PERMIT ISSUE	06.27.2023
3	PERMIT ISSUE	07.19.2023
4	PERMIT ISSUE	08.03.2023
5	PERMIT ISSUE	08.10.2023

1 ROOF PLAN
SCALE: 1/4" = 1'-0"

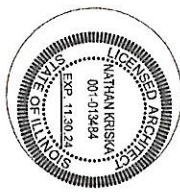


**CONCRETE DRIVEWAY &
WOOD DECK ADDITION
TO EXISTING RESIDENCE**
9248 KARLOV AVE
SKOKIE, IL

NK ARCHITECT
NATHAN KRISKA
P O BOX 8421
NORTHFIELD, IL 60093
TEL 847-983-8383

I HEREBY CERTIFY THAT THESE DOCUMENTS
WERE PREPARED UNDER MY DIRECT SUPERVISION
AND THAT TO THE BEST OF MY KNOWLEDGE AND
BELIEF THEY COMPLY WITH THE PROVISIONS OF
THE BUILDING CODES OF THE STATE OF ILLINOIS
AND THE LAWS OF THE UNITED STATES.

Nathan Kriska
ARCHITECT/ENGINEER OF RECORD DATE

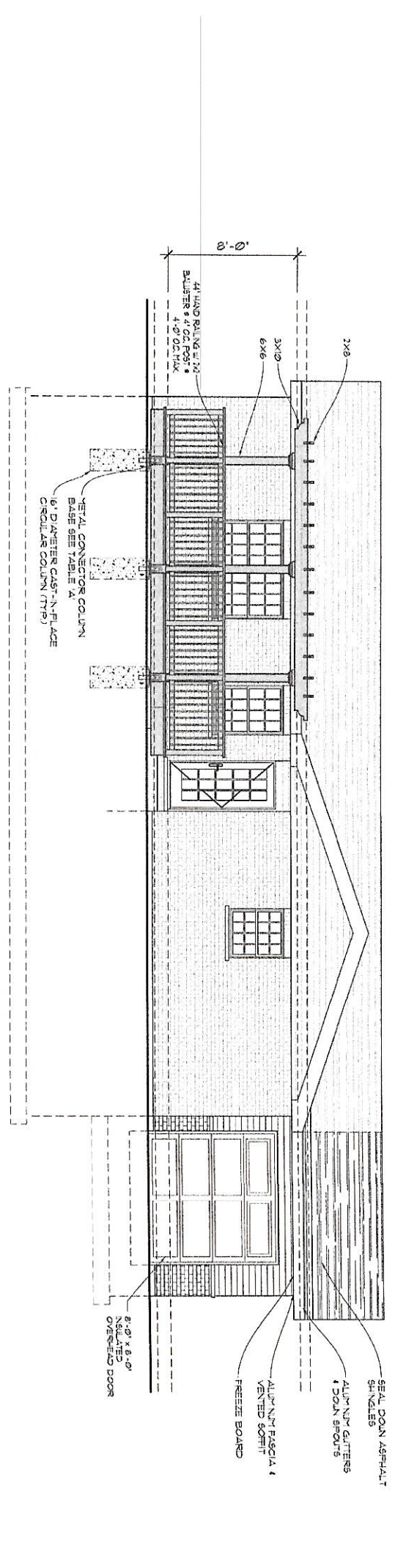


PROJECT CONTINUATION

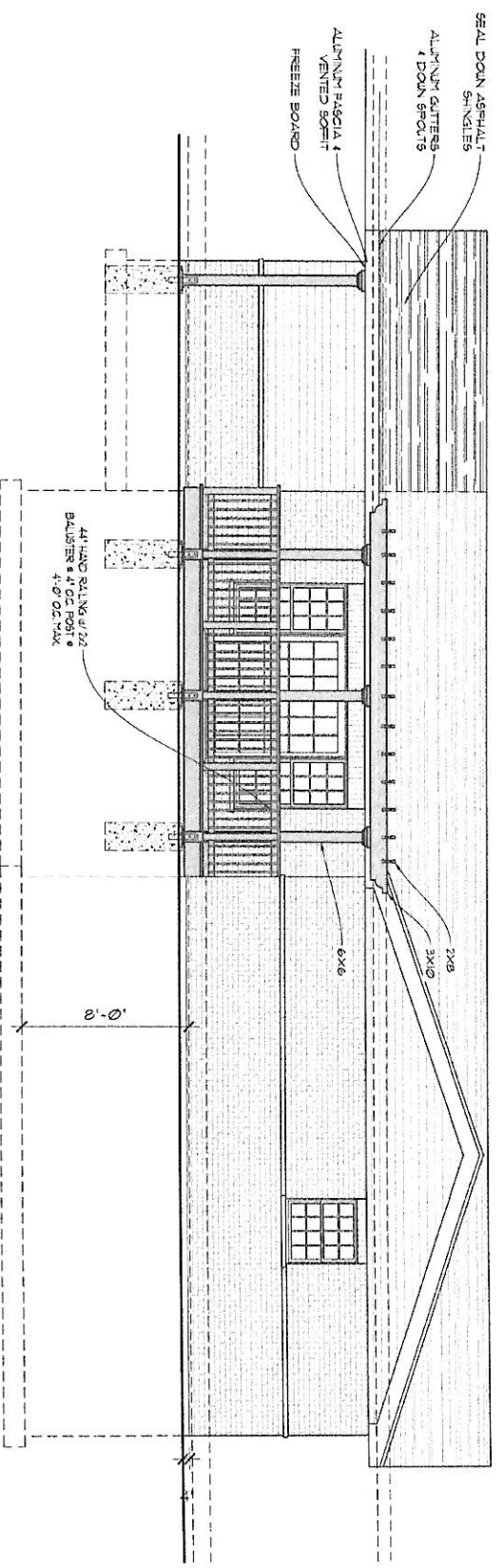
NO.	DESCRIPTION	DATE
1	PROGRESS	03/24/2022
2	PERMIT ISSUE	06/27/2023
3	PERMIT ISSUE	07/15/2023
4	PERMIT ISSUE	08/01/2023
5	PERMIT ISSUE	08/15/2023

REVISIONS
ELEVATIONS

PROJECT NUMBER: 12072022
PROJECT NAME: NK KRISKA
PROJECT ARCHITECT/ENGINEER: NK KRISKA
DRAWN BY: K. KRETOWICZ
CHECKED BY: NK KRISKA
DATE: 08/24/2022



1 EAST (FRONT) ELEVATION
SCALE: 1/4" = 1'-0"
0 4 8 12



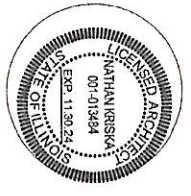
2 WEST (REAR) ELEVATION
SCALE: 1/4" = 1'-0"
0 4 8 12

**CONCRETE DRIVEWAY &
WOOD DECK ADDITION
TO EXISTING RESIDENCE**
9248 KARLOV AVE
SKOKIE, IL

NK ARCHITECT
NATHAN KRISKA
P.O. BOX 9421
NORTHFIELD, IL 60093
TEL. 847-983-4383

I HEREBY CERTIFY THAT THESE DOCUMENTS
WERE PREPARED UNDER MY DIRECT SUPERVISION
AND THAT TO THE BEST OF MY KNOWLEDGE AND
BELIEF THEY COMPLY WITH THE PROVISIONS OF
THE BUILDING CODE OF THE STATE OF ILLINOIS
AND THE LAWS OF THE STATE OF ILLINOIS.

Nathan Kriska
ARCHITECT/ENGINEER OF RECORD DATE

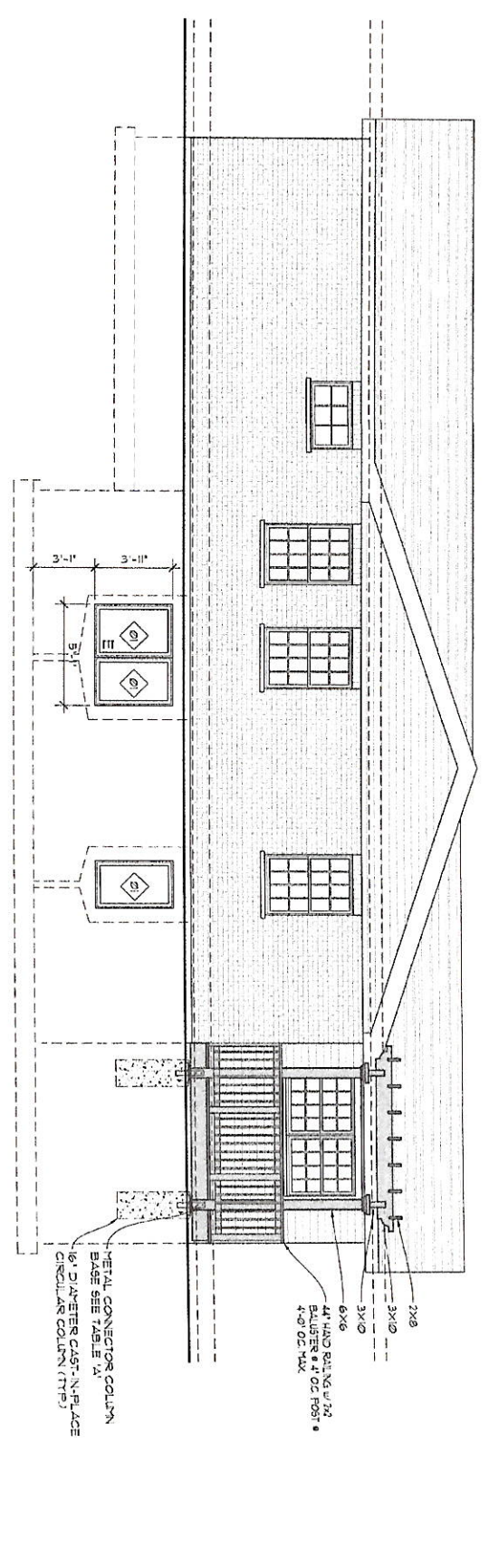


PROJECT: 22041.WD3

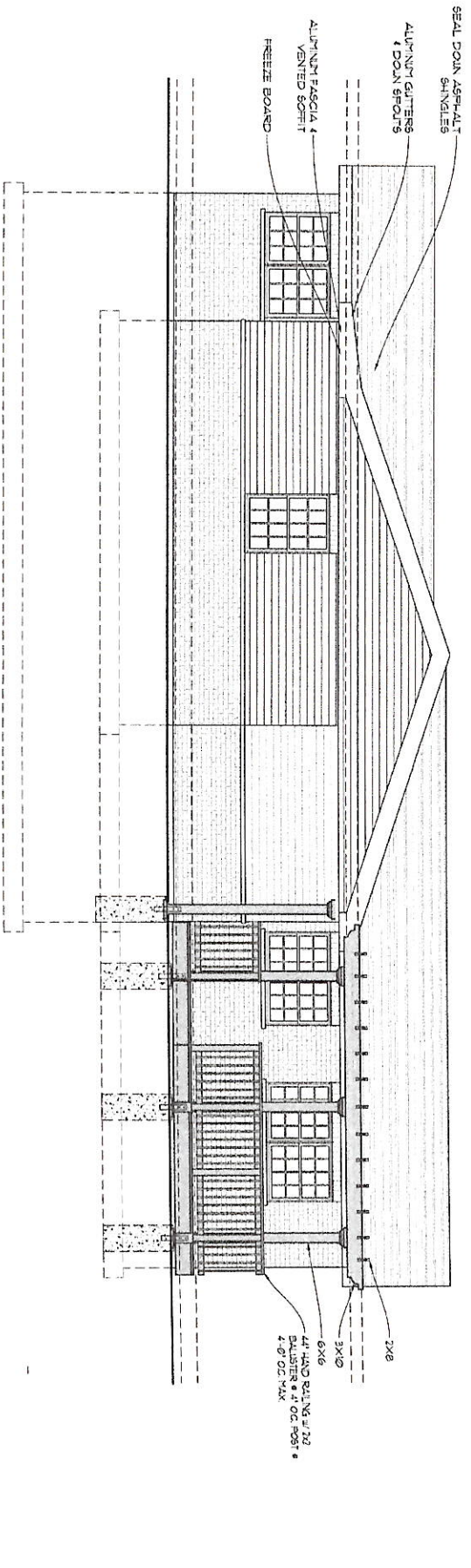
NO.	DESCRIPTION	DATE
1	PROGRESS	08/24/2022
2	PERMIT ISSUE	06/27/2023
3	PERMIT ISSUE	07/19/2023
4	PERMIT ISSUE	06/03/2023
5	PERMIT ISSUE	09/10/2023

PRINTED: 8/25/23 10:24:27 PM

PROJECT NUMBER: 22041.WD3
DATE: 08/24/2023
DRAWN BY: N. KRISKA
CHECKED BY: K. KRZYWONIZ
SCALE: 1/4" = 1'-0"



1 SOUTH (SIDE) ELEVATION
SCALE: 1/4" = 1'-0"



2 NORTH (SIDE) ELEVATION
SCALE: 1/4" = 1'-0"



Village of Skokie APPEARANCE COMMISSION APPLICATION

Community Development Department - Building & Zoning Division
5127 Oakton St. Skokie, IL 60077
Phone 847/933-8223 Fax 847/933-8230

The Appearance Commission meets the 2nd Wednesday of each month at 7:30 p.m.

Until further notice, applications will only be accepted in a PDF format.

APPLICATION DATE: 08.30.2023

APPLICATION TYPE (Please check all that apply):

New Construction 1st Floor Addition 2nd Floor Addition Façade Signage Other

LAND USE:

Single Family Residential Multifamily Residential Mixed Use Commercial Industrial Other

SUBJECT ADDRESS: _____

OWNER INFORMATION:

Please print legibly.

NAME(S): Nash Querishi

ADDRESS: 9100 Kenton Ave CITY, STATE ZIP: Skokie, IL 60076

PHONE#: 402-312-0451 EMAIL: nashquireishi@gmail.com

AGENT/PETITIONER INFORMATION (if other than owner):

NAME(S): _____ DAYTIME PHONE #: _____

ADDRESS: _____ CITY, STATE ZIP: _____

EMAIL: _____ SIGNATURE: _____

Please submit the following PDFs to appearance@skokie.org to complete your digital-only application:

1. Elevations, floor plans, and site plans. Scale 1/4" = 1'-0" is preferred, but not required. If the file size is greater than 5MB, multiple emails are allowed. Ensure "Appearance Commission PDF" and the project's property address are in the subject line of the email. Color elevations or one color rendering is required.
2. Completed Zoning Information Worksheet (residential projects only)
3. Photographs (all sides of the subject building and the fronts of neighboring buildings)
4. Excerpts of brochures and/or cut sheets of new materials and colors proposed for the project. Matching existing materials and colors can be confirmed with the submitted photographs.
5. Plat of Survey

*** The Building, Zoning, will not take in or hold material or color samples.

*** Visit <https://www.skokie.org/357/Appearance-Commission> to access the staff report prior to the meeting.

Fee Schedule

Residential Site (new) ... \$100 plus \$50.00 per unit
Non-Residential Site* (new) ... \$100 plus \$50.00 per 1,000 square feet (based on square footage of building)

* Any non-residentially zoned site (Business, Industrial, Mixed-Use districts)

Any Other Appearance Review (Additions, Façade, Sign Package, etc.) ... \$50.00

If you have already paid for a preliminary plan review there is no charge.

For Office Use Only:

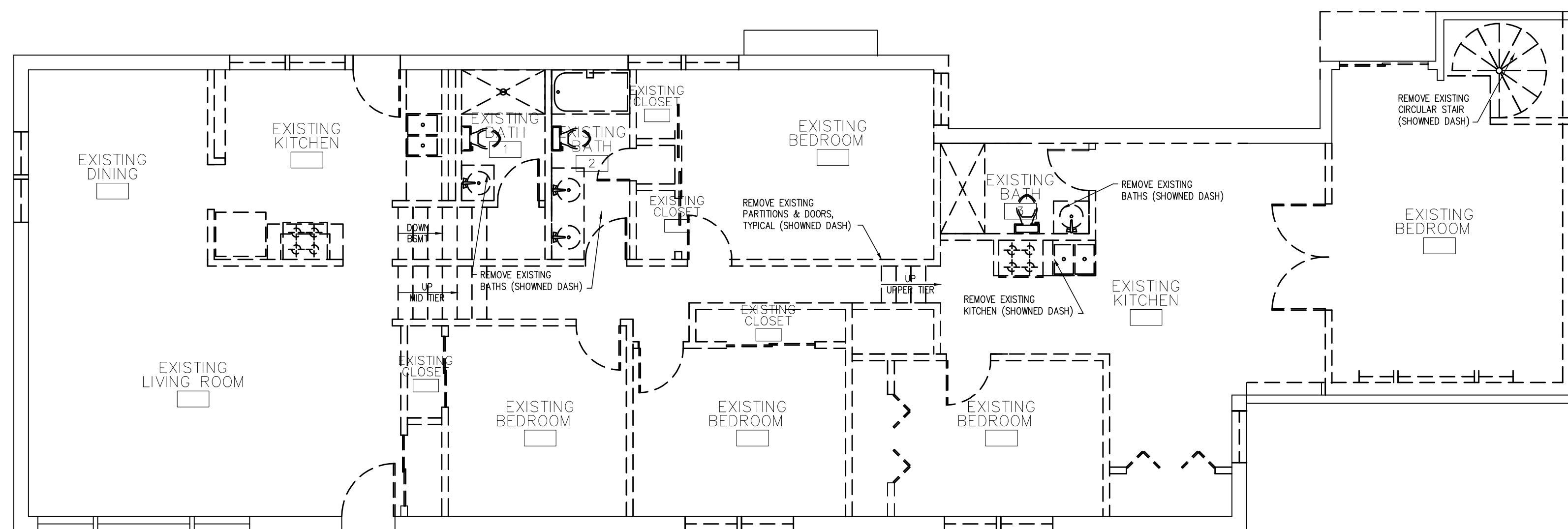
Case Number _____ Meeting Date _____

Acct # NR Amt \$ _____ Cash / Credit Card/ Check # _____

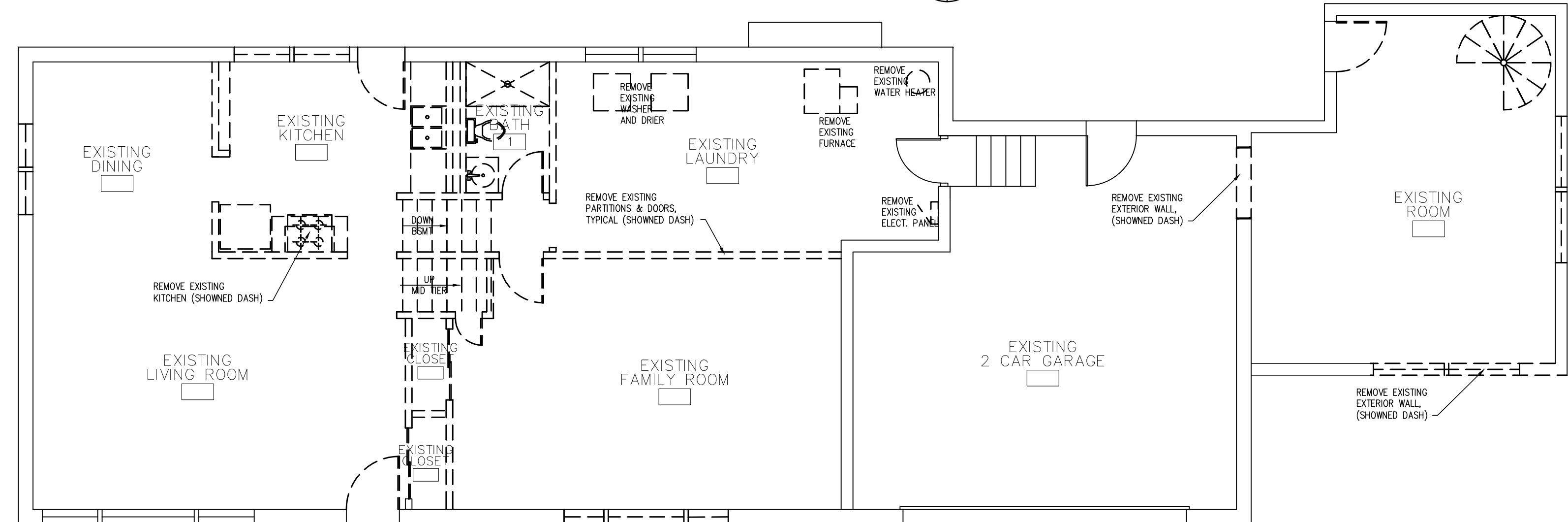
Any required fees or monies owed by the applicant to the Village must be paid as a condition of approval.

2023 Appearance Commission Schedule

<u>Meeting Date</u>	<u>Submittal Deadline</u>
January 11, 2023	December 28, 2022
February 8, 2023	January 25, 2023
March 8, 2023	February 22, 2023
April 26, 2023	April 12, 2023
May 10, 2023	April 26, 2023
June 14, 2023	May 31, 2023
July 12, 2023	June 28, 2023
August 9, 2023	July 26, 2023
September 13, 2023	August 30, 2023
October 11, 2023	September 27, 2023
November 8, 2023	October 25, 2023
December 20, 2023	December 6, 2023



EXISTING/DEMO GROUND, MID TIER, AND UPPER TIER FLOOR PLAN
SCALE: 3/16" = 1'-0"



EXISTING/DEMO GROUND AND BASEMENT FLOOR PLAN
SCALE: 3/16" = 1'-0"

SHEET INDEX:

- A1.0 EXISTING/DEMO FLOOR PLAN AND PROJECT INFORMATION
- A2.0 REMODEL AND PROPOSED FLOOR PLAN
- A2.1 ROOF PLAN AND STAIR SECTION
- A3.0 EXTERIOR ELEVATIONS
- A4.0 WALL SECTIONS
- M1.0 MECHANICAL PLAN
- E1.0 ELECTRICAL PLAN
- P1.0 PLUMBING DIAGRAM

PROJECT INFORMATION:

PROJECT ADDRESS : 9100 KENTON AVE. SKOKIE, IL

BUILDING CODE REQUIREMENTS:

RESIDENTIAL - 1&2 FAMILY
2021 INTERNATIONAL RESIDENTIAL CODE/ AMENDMENTS (SECTION 22- 63 OF THE SKOKIE VILLAGE CODE)

COMMERCIAL- INDUSTRIAL- INSTITUTIONAL- MULTI- FAMILY
2021 INTERNATIONAL BUILDING CODE W/ AMENDMENTS (SECTION 22- 33 OF THE SKOKIE VILLAGE CODE)

PLUMBING- SEWER
2014 STATE OF ILLINOIS PLUMBING CODE

ELECTRIC
2020 NATIONAL ELECTRICAL CODE W/ AMENDMENTS (SECTION 22- 93 OF THE SKOKIE VILLAGE CODE)

MECHANICAL
2021 INTERNATIONAL MECHANICAL CODE W/ AMENDMENTS (SECTION 22- 123 OF THE SKOKIE VILLAGE CODE)

FUEL GAS
2021 INTERNATIONAL FUEL GAS CODE W/ AMENDMENTS (SECTION 22- 623 OF THE SKOKIE VILLAGE CODE)

ENERGY CODE
2018 INTERNATIONAL ENERGY CONSERVATION CODE W/ ILLINOIS AMENDMENTS

ACCESSIBILITY
CURRENT STATE OF ILLINOI AND FEDERAL ACCESSIBILITY CODES

FIRE
2021 INTERNATIONAL FIRE CODE W/ AMENDMENTS (SECTION 50- 52 OF THE SKOKIE VILLAGE CODE)
2021 LIFE SAFETY CODE

PROPERTY MAINTENANCE CODE
2021 INTERNATIONAL PROPERTY MAINTENANCE CODE W/ AMENDMENTS (SECTION 22- 183 OF THE SKOKIE VILLAGE CODE)

ZONING
CHAPTER 118 ZONING OF THE SKOKIE VILLAGE CODE

OCCUPANCY: RESIDENTIAL

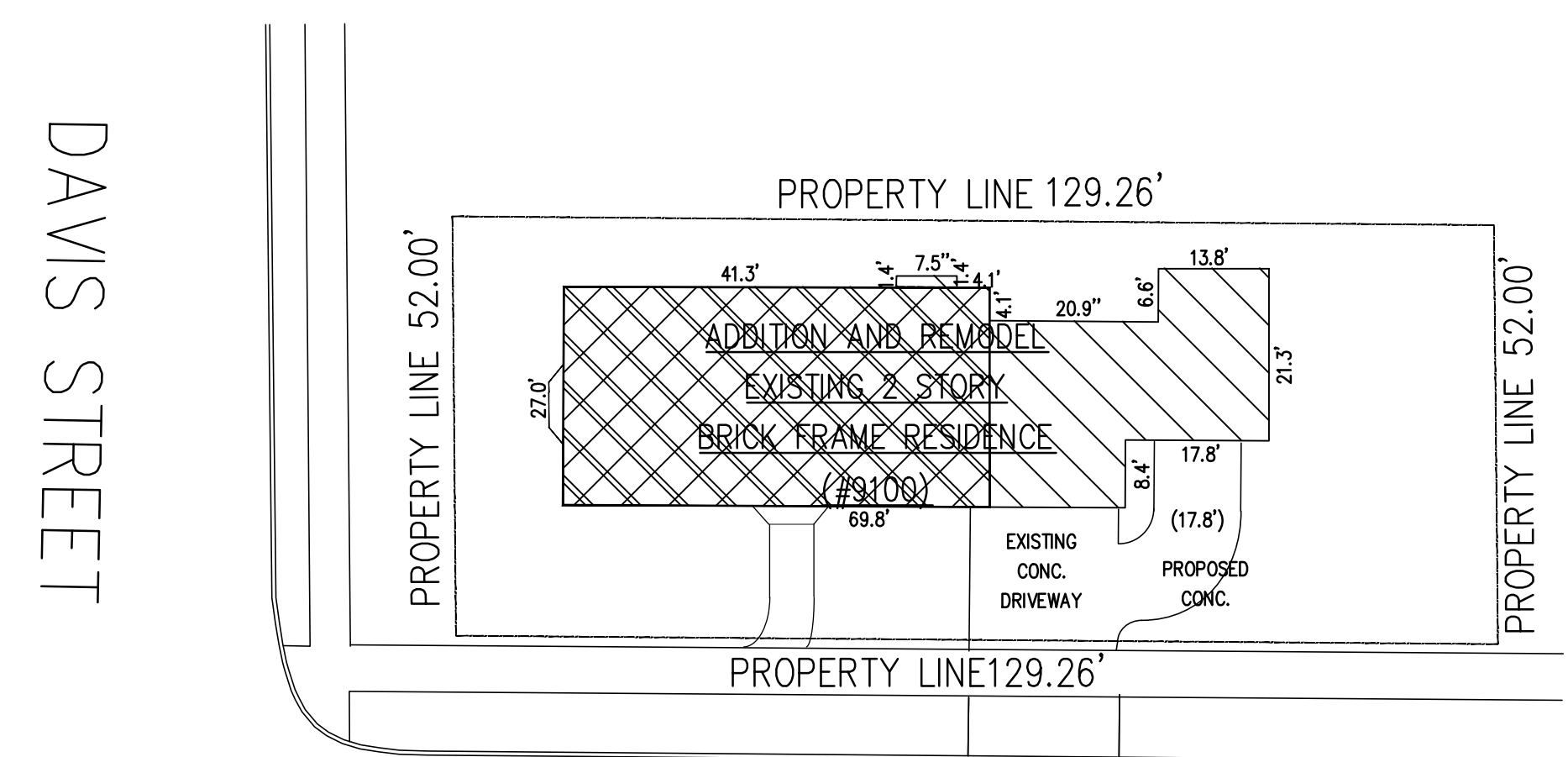
CONSTRUCTION TYPE: TYPE 5A

FLOOR AREA:

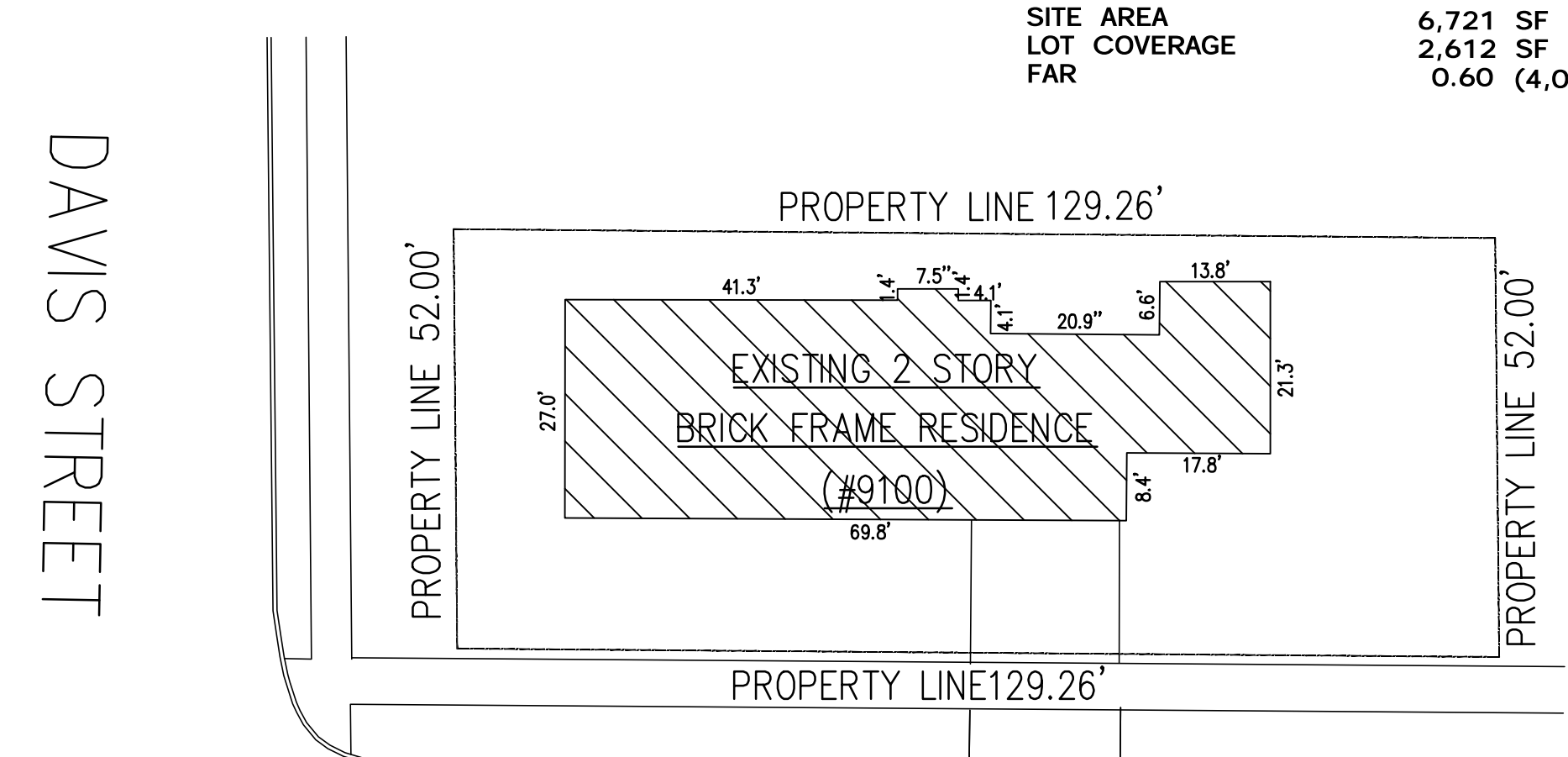
BASEMENT	731 SF
GARAGES	839 SF
GROUND FLOOR	603 SF
MID TIER & UPPER	1,568 SF
2ND FLOOR	1,022 SF

TOTAL 4,032 SF (NOT INCLUDING BASEMENT)

SITE AREA	6,721 SF
LOT COVERAGE	2,612 SF
FAR	0.60 (4,032/6,721=0.60)



PROPOSED SITE PLAN
SCALE: 1" = 20'-0"



EXISTING SITE PLAN
SCALE: 1" = 20'-0"

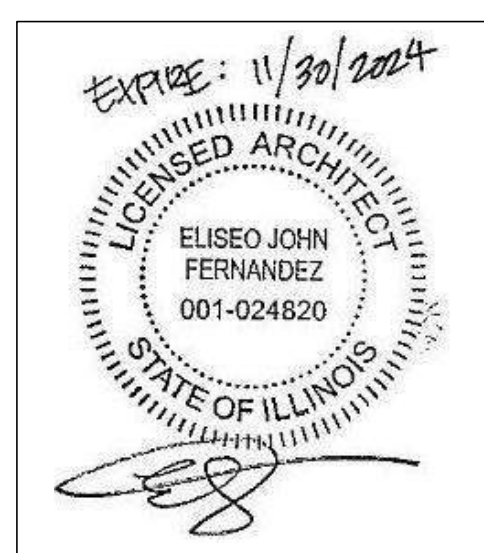
INTERIOR REMODELING AND ADDITION

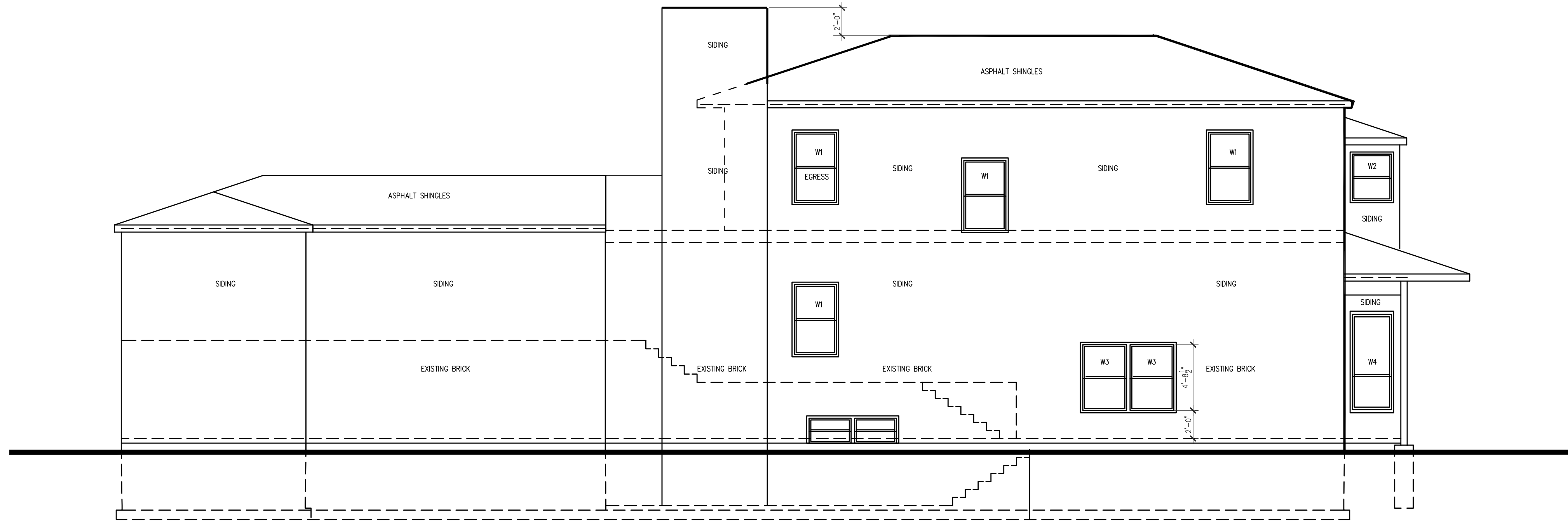
EXISTING FLOOR PLANS

JOB NUMBER 23004

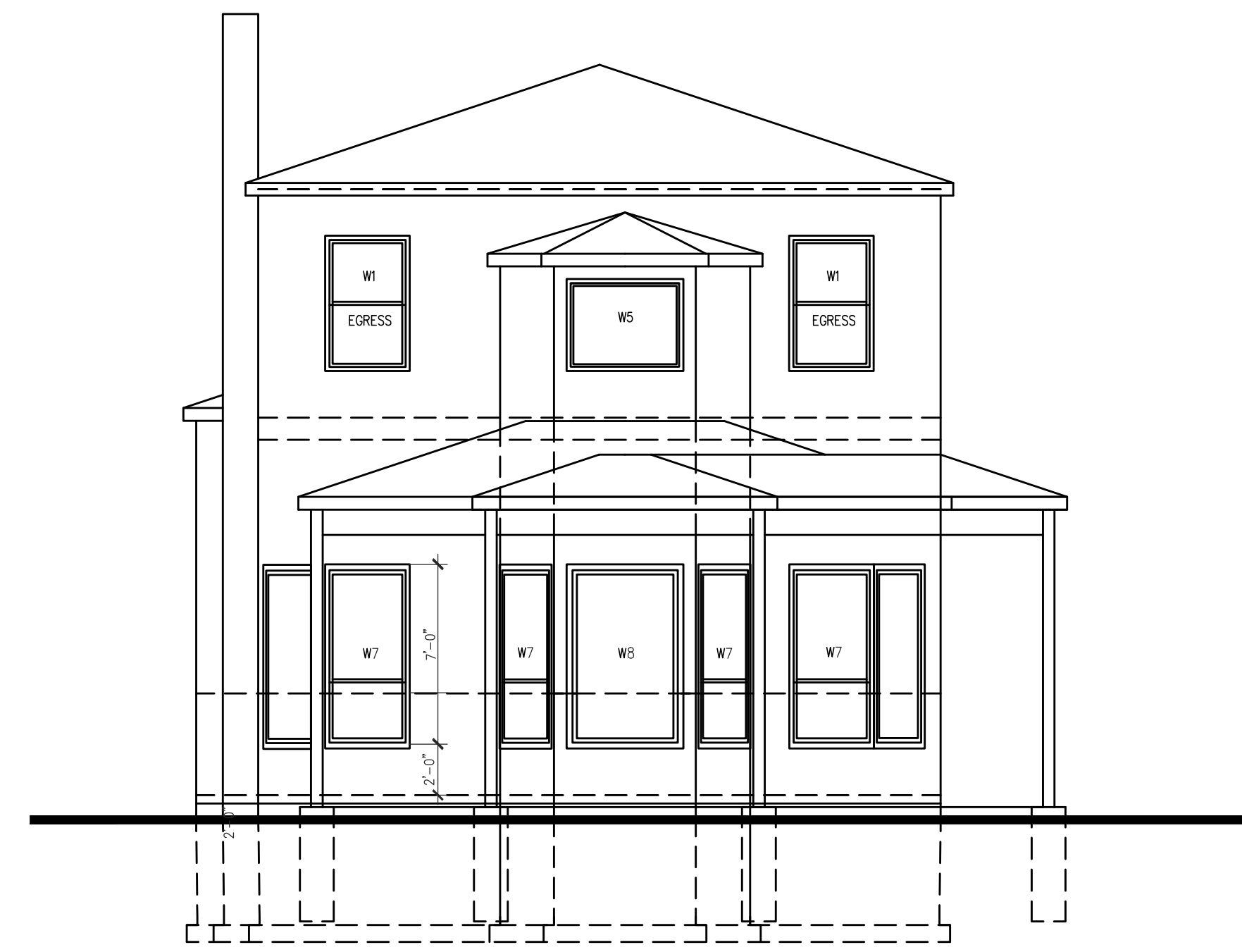
REVISIONS
▲ ISSUE FOR PERMIT 08/11/2023

ISSUED CLIENT: 8-11-2023

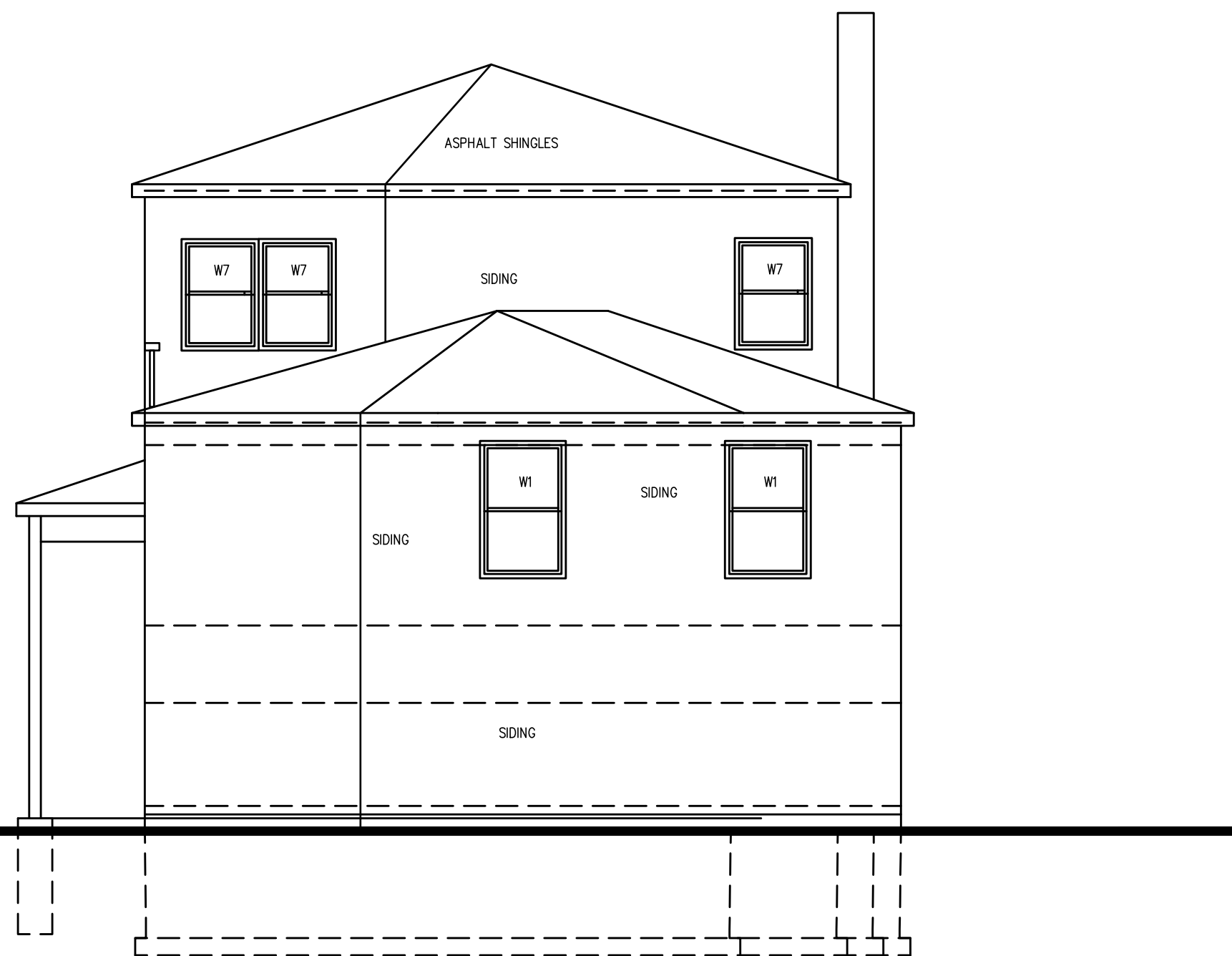




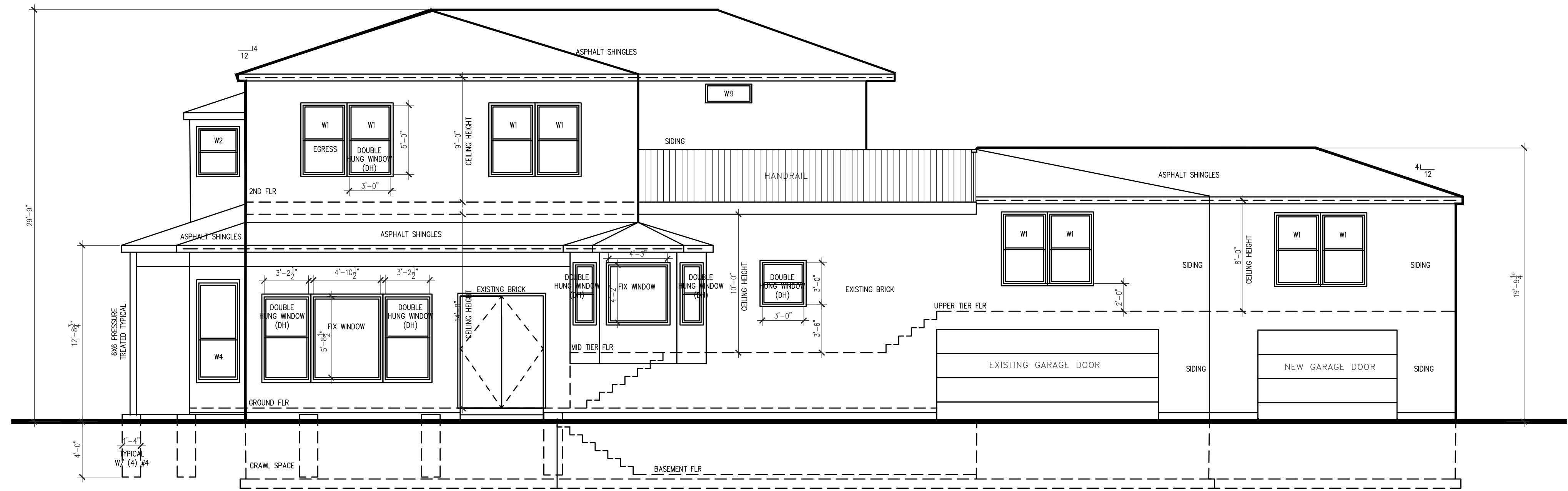
3 WEST ELEVATION
SCALE: 3/16" = 1'-0"



4 SOUTH ELEVATION
SCALE: 3/16" = 1'-0"



2 NORTH ELEVATION
SCALE: 3/16" = 1'-0"



1 EAST ELEVATION
SCALE: 3/16" = 1'-0"

INTERIOR REMODELING
AND ADDITION
9100 KENTON AVE.
SKOKIE, IL

EXTERIOR ELEVATIONS

JOB NUMBER
23004

ISSUED CLIENT: 8-11-2023

REVISIONS
ISSUE FOR PERMIT
08/11/2023

ISSUED CLIENT: 8-11-2023

ISSUE FOR PERMIT
08/11/2023

ISSUED CLIENT: 8-11-2023

ISSUE FOR PERMIT
08/11/2023

ISSUED CLIENT: 8-11-2023

ISSUE FOR PERMIT
08/11/2023

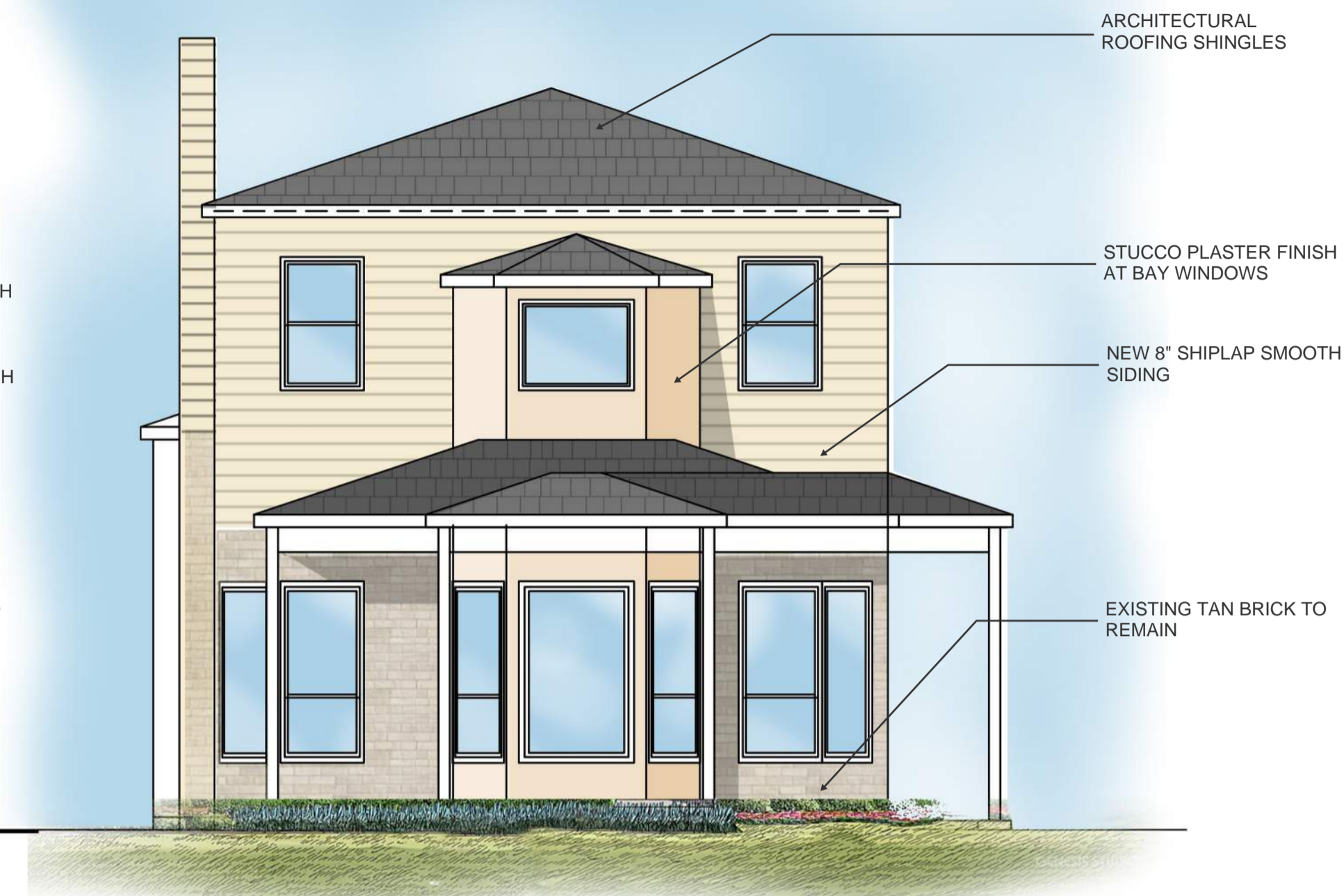
ISSUED CLIENT: 8-11-2023

ISSUE FOR PERMIT
08/11/2023

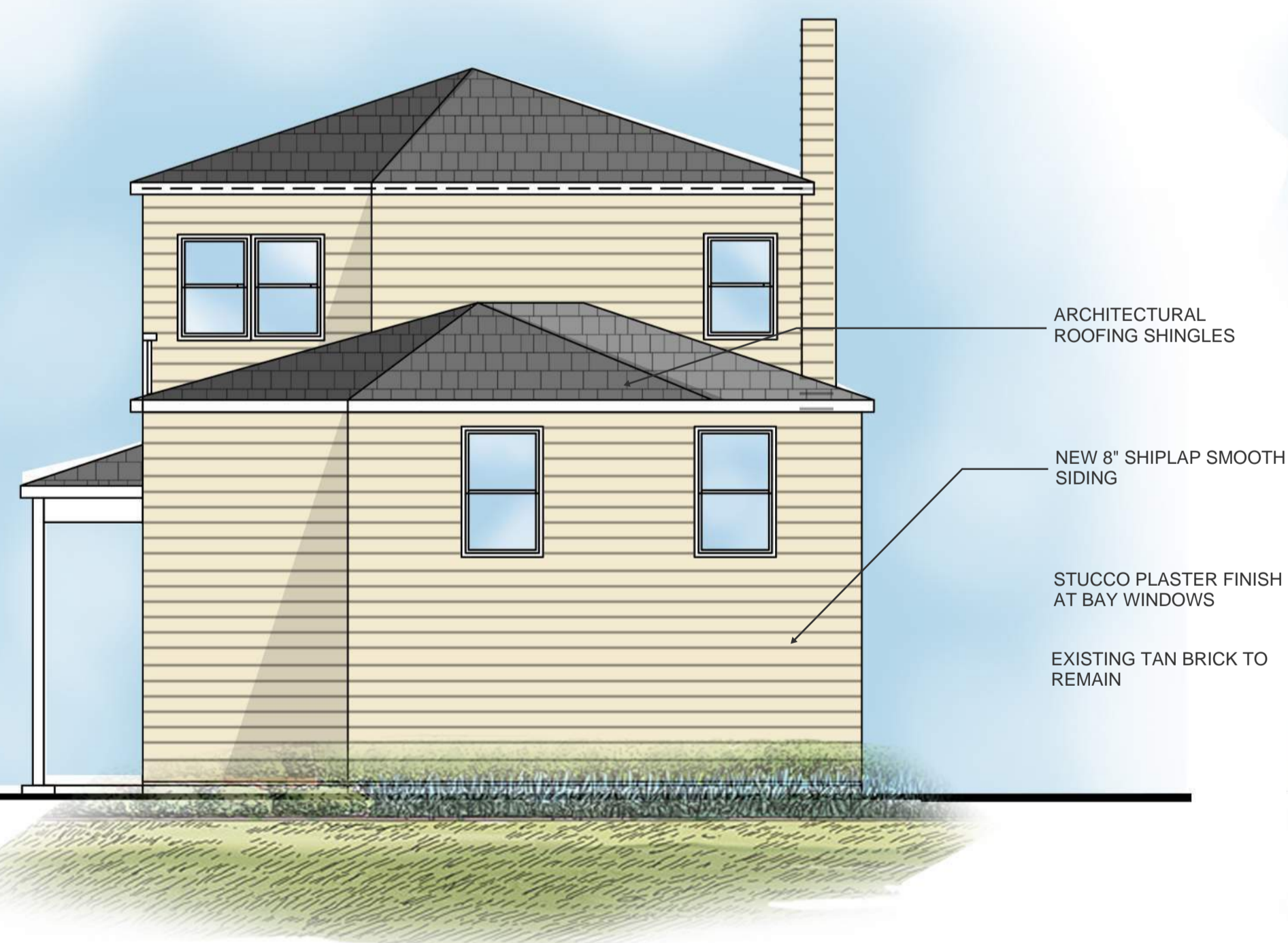




3 WEST ELEVATION
SCALE: 3/16" = 1'-0"



4 SOUTH ELEVATION
SCALE: 3/16" = 1'-0"



2 NORTH ELEVATION
SCALE: 3/16" = 1'-0"



1 EAST ELEVATION
SCALE: 3/16" = 1'-0"

INTERIOR REMODELING
AND ADDITION
9100 KENTON AVE.
SKOKIE, IL

EXTERIOR ELEVATIONS

JOB NUMBER	22125
ISSUED CLIENT: 7-27-2022	
REVISIONS	
SHEET	



ZONING INFORMATION WORKSHEET

Please provide the following information for all permits involving new single-family dwellings, single-family additions or accessory structures in the R1 or R2 Single-Family districts.
FORM MUST BE COMPLETED IN FULL.

ADDRESS _____ **ZONING DISTRICT** _____

LOT INFO _____ x _____ = _____ (This # goes on lines 1, 2, and 3)
 (LOT WIDTH) (LOT DEPTH) (TOTAL LOT AREA)

	TOTAL LOT AREA	ALLOWED	PROPOSED	DIFFERENCE BETWEEN ALLOWED & PROPOSED
BUILDING AREA	_____ (1) x .40 = _____	_____	_____ (4)	+ / - _____
IMPERMEABLE AREA	_____ (2) x .50 = _____	_____	_____ (5)	+ / - _____
FLOOR AREA	_____ (3) x .60 = _____	_____	_____ (6)	+ / - _____

AREA	EXISTING AREA	NEW AREA	PROPOSED
BASEMENT (50% above grade)	_____ + _____	_____ =	<u>731</u> (A)
1ST FLOOR (Include attached garage carport, covered porch, etc)*	_____ + _____	_____ =	_____ (B)
2ND FLOOR *	_____ + _____	_____ =	_____ (C)
ATTIC (6'-9" OR GREATER) (2 nd Floor top plate to top of roof)	_____ + _____	_____ =	_____ (D)
ACCESSORY BUILDINGS (Detached garage, shed, etc.)	_____ + _____	_____ =	_____ (E)
DRIVEWAY/APRON	_____ + _____	_____ =	_____ (F)
SIDEWALK & PATIO	_____ + _____	_____ =	_____ (G)

* Any ceiling height 16 feet in height or greater will count twice.

PROPOSED BUILDING AREA (Add lines B & E) = _____ (This # goes on line 4)


PROPOSED IMPERMEABLE AREA (Add lines B, E, F, & G) = _____ (This # goes on line 5)

PROPOSED FLOOR AREA (Add lines A, B, C, D, & E) = _____ (This # goes on line 6)

REAR YARD COVERAGE FOR ACCESSORY BUILDINGS:

_____ x _____ = _____ x .30 = _____
 (rear yard width) (rear yard depth) (rear yard) (allowed) (proposed buildings in rear yard)
 Rear yard is measured from the rear wall of the principal building to the rear lot line and from side lot line to side lot line.

The undersigned hereby acknowledges the accuracy of the above information and accepts full responsibility for any discrepancies or inaccuracies.



Signature

Date

Reviewed by Community Development Department

Date



ZONING INFORMATION WORKSHEET

Please provide the following information for all permits involving new single-family dwellings, single-family additions or accessory structures in the R1 or R2 Single-Family districts.
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IMPERMEABLE AREA	_____ (2) x .50 = _____	_____	_____ (5)	+ / - _____
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AREA	EXISTING AREA	NEW AREA	PROPOSED
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1ST FLOOR (Include attached garage carport, covered porch, etc)*	_____ + _____	_____ =	_____ (B)
2ND FLOOR *	_____ + _____	_____ =	_____ (C)
ATTIC (6'-9" OR GREATER) (2 nd Floor top plate to top of roof)	_____ + _____	_____ =	_____ (D)
ACCESSORY BUILDINGS (Detached garage, shed, etc.)	_____ + _____	_____ =	_____ (E)
DRIVEWAY/APRON	_____ + _____	_____ =	_____ (F)
SIDEWALK & PATIO	_____ + _____	_____ =	_____ (G)

* Any ceiling height 16 feet in height or greater will count twice.

PROPOSED BUILDING AREA (Add lines B & E) = _____ (This # goes on line 4)


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 Signature

 Date

 Reviewed by Community Development Department

 Date



EXISTING EAST ELEVATION



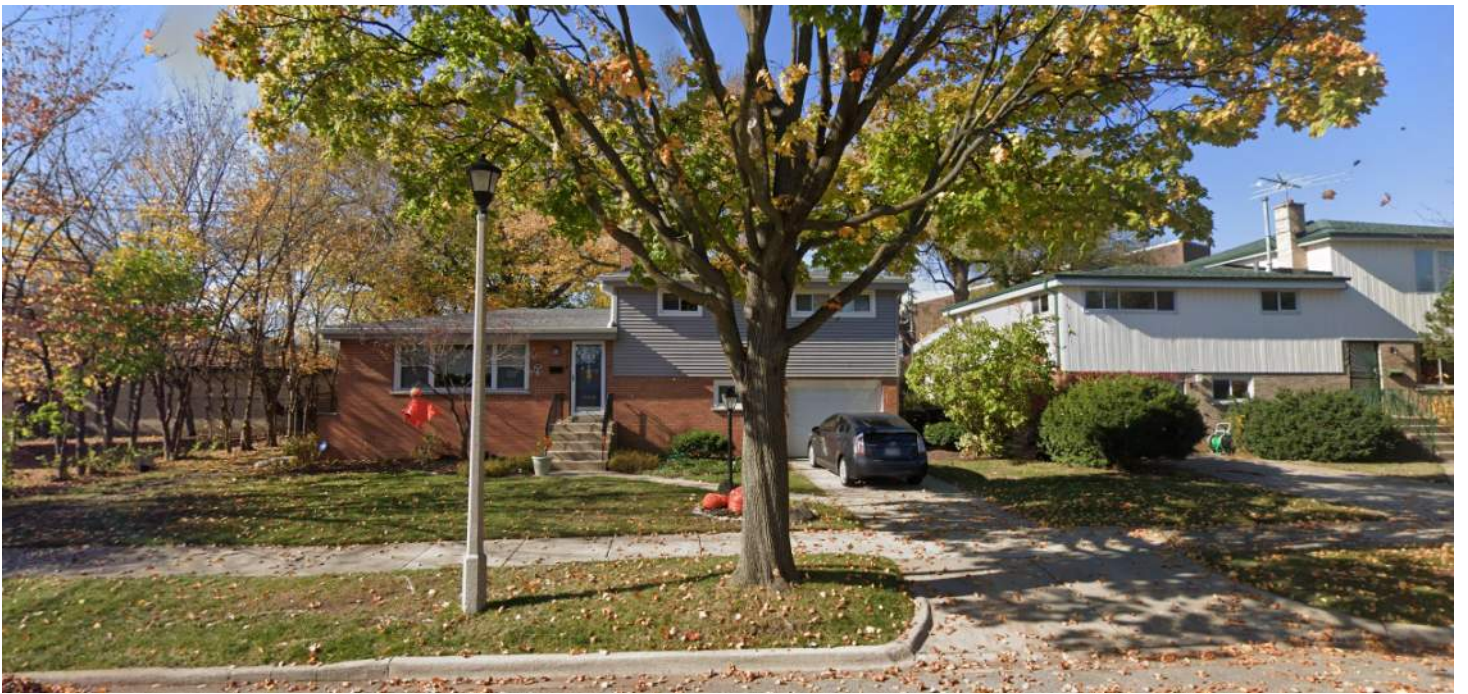
EXISTING SOUTHWEST VIEW



EXISTING SOUTHEAST VIEW



EXISTING NORTHEAST VIEW



9118 Kenton Ave. North Neighbor



East Neighbor across Kenton St



4608 Davis St. - West Neighbor



Cambridge®

IKO.COM



The Trusted Solution
for a Beautiful Roof.



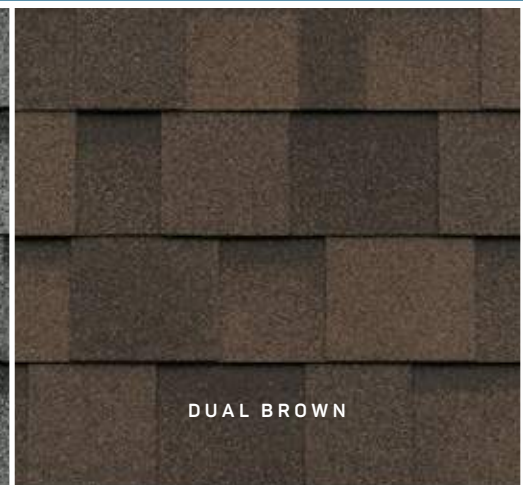
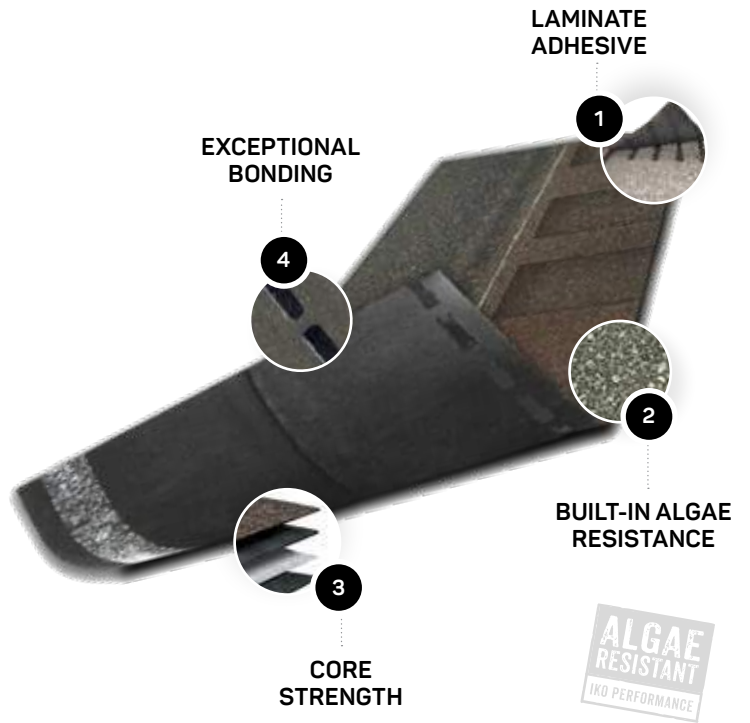
ARCHITECTURAL

BEAUTY You Can See. QUALITY You Can Feel.

NOW THAT IT'S TIME TO REPLACE YOUR ROOF, WHY TAKE ANYTHING FOR GRANTED? We never do. Since 1951, IKO has been protecting American homes and families just like yours against the elements.

Whether it's elegant and sophisticated or laid-back and casual, or somewhere in-between, **IKO Cambridge® Architectural shingles** come in a wide range of stunning color blends to express your personality, reflect your taste and potentially boost your home's resale value too.

Their modern, laminated two-piece design provides the depth, dimension and texture of genuine wood shakes for an upscale appearance without the upscale price tag. Now unleash your exterior designer and dress up your home with an exciting new look, for less than you might expect.



PERFORMANCE You Can Trust.

- 1 **LAMINATE ADHESIVE.** Five strips of our tough, construction-grade adhesive are used to laminate the shim to the tooth.
- 2 **BUILT-IN ALGAE RESISTANCE.** Special colorfast granules embedded in the shingles' surface help inhibit the growth of blue-green algae that can cause unattractive black stains, streaks and discoloration.
- 3 **CORE STRENGTH.** Our resilient fiberglass mat is coated top and bottom with weathering asphalt, then surfaced with colored granules. It's heavy-duty for exceptional durability and structural integrity.
- 4 **EXCEPTIONAL BONDING.** IKO's FastLock® sealant on the shingles' bottom edge gets extra-tacky when activated by the sun's heat. This creates a strong bond to help ensure maximum protection against wind uplift, blow-off and water penetration.

THE IKO ADVANTAGE

Limited Warranty ¹	Limited Lifetime ³
Iron Clad Protection ¹	10 Years (U.S. only)
Limited Wind Warranty ¹	110 mph (177 km/h)
Limited High-Wind Warranty Upgrade ^{1,2}	130 mph (210 km/h)
Blue-Green Algae Resistant ¹	Yes

PRODUCT SPECIFICATIONS⁴

Length	40 7/8 in (1038 mm)
Width	13 3/4 in (349 mm)
Exposure	5 7/8 in (149 mm)
Coverage per Bundle	33 1/3 ft ² (3.1 m ²)
<i>(3 bundles = 1 full square = 100 sq ft coverage)</i>	

STANDARDS⁵

ASTM D3462, ASTM D3018, ASTM D3161 – Class F, ASTM D7158 – Class H, ASTM E108/JUL 790 – Class A.



HARVARD SLATE



EARTHTONE CEDAR



DRIFTWOOD



DOVE WHITE
AVAILABLE IN SELECT MARKETS

IMPORTANT! To ensure complete satisfaction, please view several full-size shingles and an actual roof installation prior to final color selection as the shingle swatches and photography shown online, in our brochures and in our **ROOFViewer**® tool may not accurately reflect shingle color and do not fully represent the entire color blend range, nor the impact of sunlight.

Note: Product and color availability may vary by region. Products with Miami Dade NOA, FBC product approval and Texas Department of Insurance listings are available. Please contact IKO for details. ¹See Limited Warranty at IKO.com for complete terms, conditions, restrictions and application requirements. Shingles must be applied in accordance with application instructions and local building code requirements. ²High-wind application is required. ³'Lifetime' means the period of time commencing on the date of the completion of the installation of the shingles on the building, and continuing so long as the owner owns the building on which the shingles were installed. ⁴All values shown are approximate. ⁵Products are developed with reference to these standards.

Shingles are your home's first line of defense, but they protect, perform and look their best installed with the **IKO Proformax Integrated Roofing Accessories** shown below.



DECK PROTECTION	SYNTHETIC UNDERLAYMENT	ROOF STARTERS	CAPPING SHINGLES
-----------------	------------------------	---------------	------------------

1. IKO GoldSeam™ Roof Sealing Tape

- 1a.** Apply where the fascia and eaves meet.
- 1b.** Apply over seams when sealing the deck using synthetic underlayment.

StormShield®

- 1c.** Apply under shingled roofs to help prevent water infiltration due to ice dams and wind-driven rain.

2. Stormtite™

It's IKO's economical synthetic underlayment choice. Stronger than conventional felts, Stormtite installs easily, even in cool weather, due to its light weight. Stormtite is the perfect combination of strength and flexibility.

3. Leading Edge Plus™ or EdgeSeal™

Apply starter shingles with IKO's own high-strength thermally activated sealant or use the double-sided starter roll at eaves and rakes to help ensure wind resistance at that critical first course of shingles.

4. Hip & Ridge 12™

These capping shingles are available in colors that pair with every Cambridge color. Installation is easy, just separate the tapered pieces along the perforation, bend and nail in place. No waste.



To find out more about Cambridge® Architectural shingles or additional IKO products, please talk to an IKO sales representative or a professional roofing contractor, or contact IKO directly.

United States 1-888-IKO-ROOF (1-888-456-7663)
Canada 1-855-IKO-ROOF (1-855-456-7663)

The information in this literature is subject to change without notice. We assume no responsibility for errors that may appear in this literature.



HardiePlank® Lap Siding Product Description

HardiePlank lap siding is factory-primed fiber-cement lap siding available in a variety of styles and textures. Please see your local James Hardie® product dealer for product availability. HardiePlank® lap siding comes in 12 ft. lengths. Nominal widths from 5¼ in. to 12 in. create a range of exposures from 4 in. to 10¾ in.

HardiePlank lap siding is also available with ColorPlus® Technology as one of James Hardie's prefinished products. ColorPlus Technology is a factory applied, oven-baked finish available on a variety of James Hardie siding and trim products. See your local dealer for details and availability of products, colors and accessories.



Select Cedarmill®



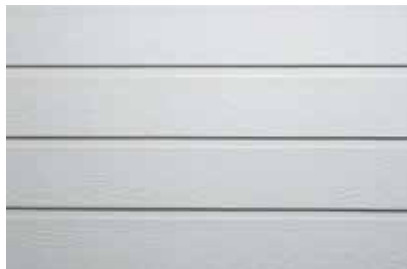
Smooth



Beaded Cedarmill®



Beaded Smooth



Custom Colonial Roughsawn®



Custom Colonial Smooth®

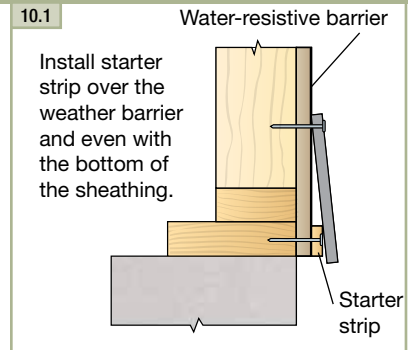


Installation of HardiePlank® Lap Siding

INSTALL A STARTER STRIP

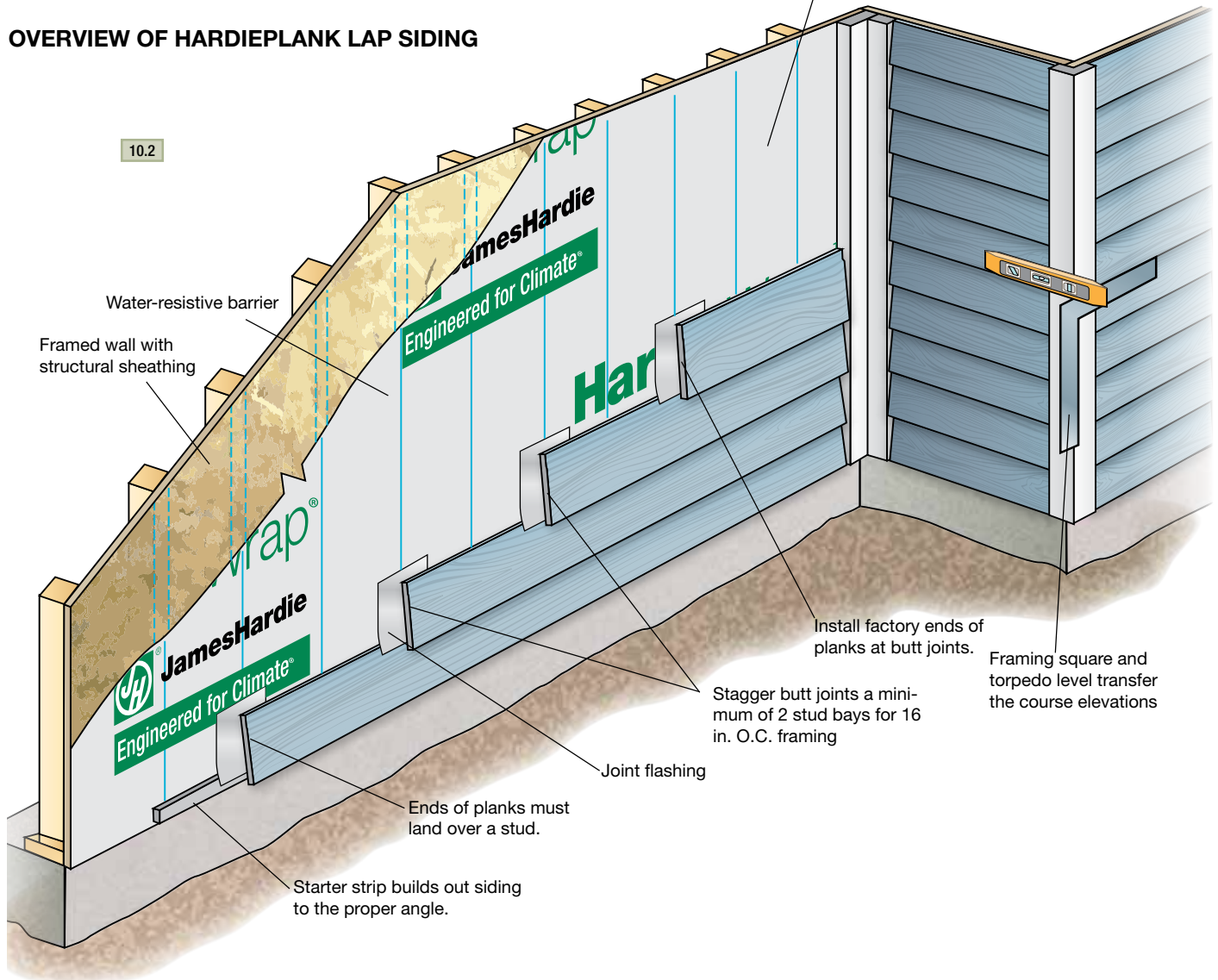
HardiePlank® lap siding requires a starter strip beneath the first course to set it on the proper angle and to create a proper drip edge at the bottom of the siding. Starter strips are easily made by ripping 1 ¼ in. pieces of HardiePlank siding from full or partial planks.

The bottom of the starter strip should be installed even with the bottom of the mudsill or the bottom edge of the sheathing. The strip must be installed over the water-resistant barrier, but occasional gaps should be left in the starter strip to allow any accumulated moisture behind the siding to drain away safely.



TIP: For accurate fastening, snap vertical chalk lines on the water-resistant barrier at the center of every stud location.

OVERVIEW OF HARDIEPLANK LAP SIDING

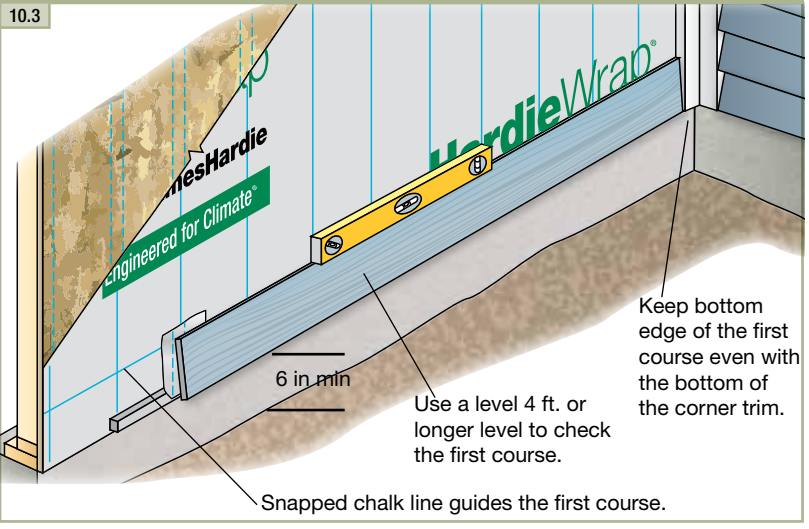


INSTALLING THE PLANKS

The first course of HardiePlank® siding is critical to the proper installation of the plank on the rest of the building. The first course should start at the lowest point of the house and within required clearances. Special attention should be made to ensure that it's straight and level. Attention should also be paid to staggering any butt joints in the planks so that the installation is attractive while making efficient use of material.

1. Use a level (4 ft. or longer) or chalked level line to be sure that the first course is level. As installation proceeds up the wall, periodically check the level and straightness of the courses. When correcting for flatness over products such as exterior insulation, use drywall shims. It is good practice to snap a chalk line every 3 to 5 courses to keep the planks straight and level.
2. Position the bottom edge of the first course of siding a minimum ¼ in. below the edge of the starter strip (maintain required clearances) and secure.
3. Run the siding to the HardieTrim® board leaving a 1/8 in. gap between the siding and trim.

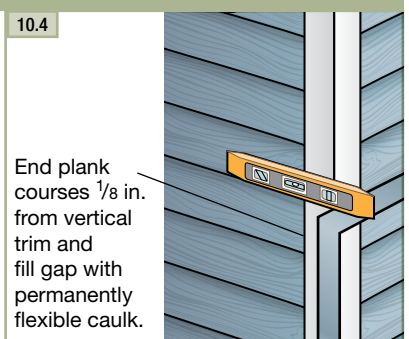
The bottom of the siding should be kept even with the bottom of the trim, or if desired, the trim may extend below the bottom of the siding. But the siding should never hang below the trim. ***When installing the first course make sure ground clearances are in accordance with James Hardie requirements and those of local codes.**



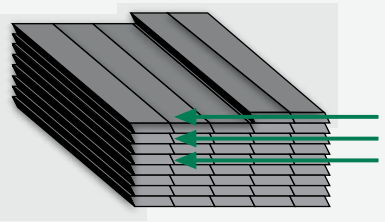
PLANK ALIGNMENT AT CORNERS

For the best looking installation, make sure that the heights of the plank courses match on both sides of a corner. Use a framing square, speed square or a level to match up the plank heights. Check every few courses to make sure proper heights are being maintained.

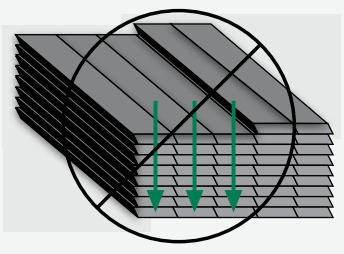
TIP: When taking planks from the pallet installation, avoid repeating the texture pattern by working across the pallet. Two to four planks can be removed from a stack at one time. But then material should be taken from adjacent stacks, again working across the pallet. Texture repeat is typically a concern on large walls with few breaks such as windows or doors.



Pull from across the stack



Do not go down the stack



Installation of HardiePlank® Lap Siding (cont.)

BLIND NAILING (nailing through top of plank)

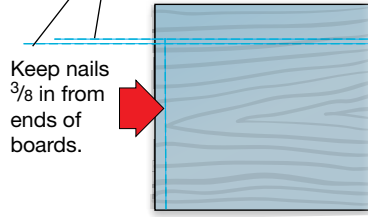
Blind nailing is recommended for installing any type of HardiePlank® lap siding including ColorPlus® siding. With blind nailing, each course covers the fasteners on the course below, which provides a better looking installation.

For blind nailing HardiePlank lap siding, James Hardie recommends driving fasteners 1 in. from the top edge of the plank. Additionally fasteners should be placed no closer than 3/8 in. from the ends of the plank.

10.5 Blind nailing measurements

Nails for blind nailing shall be between 3/4 in and 1 in. from the top of the board.

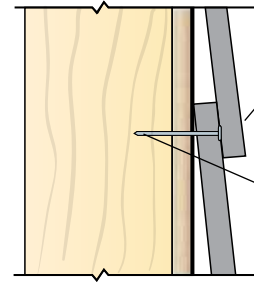
Keep nails 3/8 in from ends of boards.



10.6 Blind nailing

Fasteners are hidden by the course above.

Nails are driven through the sheathing into the studs.



Avoid placing fasteners near the top edge of the plank. This practice, called “high nailing”, may lead to loose planks, unwanted gaps or rattling. **Pin-backed corners may be done for aesthetic purposes only. Finish nails are recommended for pin-backs. Headed siding nails are allowed. Place pin-backs no closer than 1 in. from plank ends and 3/4 in. from plank edge into min. 3/8 in. wood structural panel. Pin-backs are not a substitute for blind or face nailing**

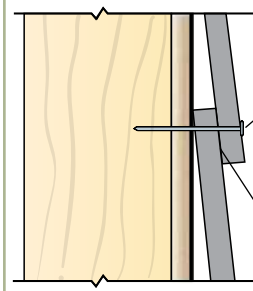
FACE NAILING (nailing through the overlap at the bottom of the plank)

Although blind nailing is recommended by James Hardie, face nailing may be required for certain installations including: installations in high wind areas, fastening into OSB or equivalent sheathing without penetrating a stud, or when dictated by specific building codes. Refer to Appendix D for related code matters.

10.7 Face nailing

Exposed fasteners are driven through the face of the boards.

Drive fasteners only where planks overlap



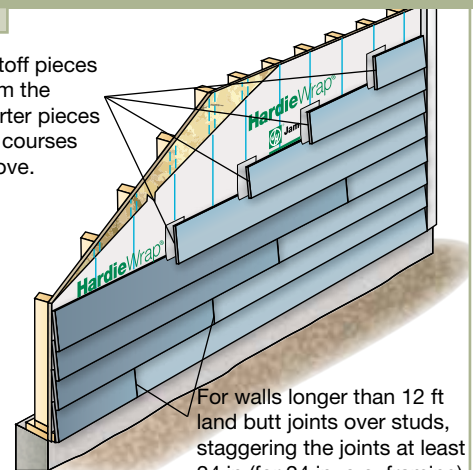
STAGGERING THE BUTT JOINTS

For walls longer than 12 ft, it is necessary to butt joint additional lengths of HardiePlank siding. These butt joints should be staggered to avoid noticeable patterns, which is determined by the placement of the first course. Butt joints between consecutive courses should be spaced apart by at least two stud bays for 16 in., o.c. framing or one bay for 24 in. o.c. framing.

While random placement of the planks is usually the most aesthetically pleasing, a progressive stagger pattern can make the job easier and faster without the pattern becoming too noticeable. With this strategy, the cut off piece for one course becomes the starter piece for a course above, making efficient use of materials and ensuring that all butt joints land on studs. The pattern can be modified for different stud placement.

10.8

Cutoff pieces form the starter pieces for courses above.



For walls longer than 12 ft land butt joints over studs, staggering the joints at least 24 in. (for 24 in. o.c. framing) or 32 in. (two stud bays for 16 in. o.c. framing).

JOINT FLASHING

One or more of the following joint treatment options are required by code (as referenced 2009 IRC R703.10.2)

- A. Joint Flashing (James Hardie recommended)
- B. Caulking* (Caulking is not recommended for ColorPlus for aesthetic reasons as the Caulking and ColorPlus will weather differently. For the same reason, do not caulk nail heads on ColorPlus products.)
- C. "H" jointer cover

Flashing behind butt joints provides an extra level of protection against the entry of water at the joint. James Hardie recommends 6 in. wide flashing that overlaps the course below by 1 in. Some local building codes may require different size flashing.

Joint-flashing material must be durable, waterproof materials that do not react with cement products. Examples of suitable material include finished coil stock and code compliant water-resistive barriers. Other products may also be suitable.

TIP: Joint flashing can be quickly and easily made by cutting a 6 in. wide section off a roll of housewrap. Tape the roll tightly at the cut mark and cut the section off using a miter saw with a carbide blade. Individual sheets then can be cut to length with a utility knife.

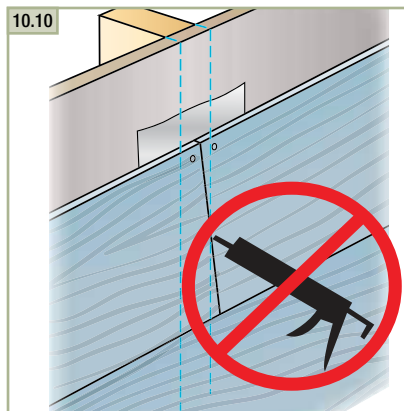
TIP: Use light-colored joint flashing when using light-colored ColorPlus lap siding or other siding with a light-colored finish. Dark-color joint flashings should be used on siding with dark finishes.

10.9 Flashing behind to add an additional layer of protection from water infiltration



Extend flashing 1 in. onto the course below

10.10

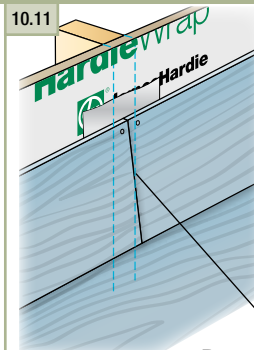


Caulking at HardiePlank lap siding butt joints is not recommended for ColorPlus for aesthetic reasons as the caulking and ColorPlus will weather differently. For the same reason, do not caulk exposed nail heads. Refer to the ColorPlus touch-up section for details

JOINT PLACEMENT AND TREATMENT

Butt joints in HardiePlank lap siding should always land on a stud. Butt joints between studs are not recommended and should be avoided. Whenever possible, factory-finished ends should be used at butt joints.

Place cut ends where the siding meets a corner, door, window trim, or other break in the wall where the joint is to be caulked. If cut ends are used in a butt joint between planks, James Hardie requires sealing cut ends for all products. For ColorPlus products, use the color-matched edge coater to seal the cut end.



Butt planks with moderate edge contact

COLORPLUS® TIP: When installing HardiePlank lap siding with ColorPlus Technology, position the plank in the immediate area where the plank is to be fastened. Do not place the plank on the course below and slide into position. Doing so may scuff or scratch the ColorPlus finish on the installed piece.

Installation of HardiePlank® Lap Siding (cont.)

CONTINUING THE INSTALLATION

Once the initial course of HardiePlank® siding is fastened to the wall, continue installing successive courses with full 12 ft. pieces (follow the stagger pattern for longer walls), or until a window, door or other opening interrupts the course (fig 10.12). Notch planks as needed to fit around windows and doors. Again, be sure to seal all cut edges. Avoid placing butt joints directly above or below windows or above doors. Separate the joint from the opening by at least one course of siding.

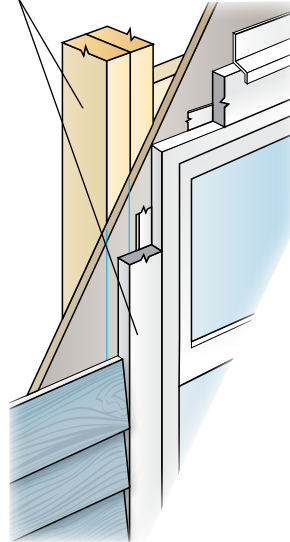
Where butt joints land on a stud, make sure there is enough stud space for plank on both sides of the joint to land properly. Optimally both sides of a butt joint should land in the middle of a stud with $\frac{3}{4}$ in landing space for each side. The minimum stud space for a plank to land is $\frac{3}{8}$ in.

Pay special attention to window, doors, and corners that have been trimmed before the siding goes on. Vertical trim boards may cover the king studs beside windows or doors, or they may cover up corner studs leaving no room for nailing the siding. In these places add extra studs as needed.

If corners are trimmed with **HardieTrim® 5/4, 4/4 boards**, it may be necessary to measure and cut the first pieces of siding to make sure the butt joints land on studs.

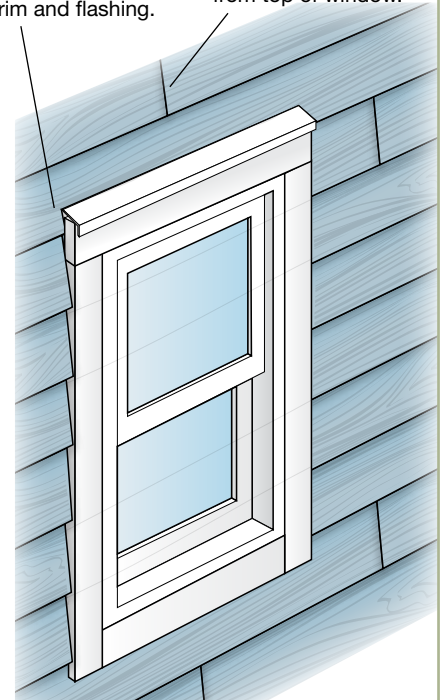
10.12 Planking around windows

Add an extra stud if necessary for nailing the ends of the planks.



Notch plank around window trim and flashing.

Keep butt joints more than one course away from top of window.



COLORPLUS TIP: HardiePlank lap siding with ColorPlus Technology is shipped with a protective laminate slip sheet, which should be left in place during cutting and fastening to reduce marring and scratching. The sheet should be removed immediately after each plank is installed.



INSTALLING HARDIEPLANK® SIDING ON GABLE WALLS

Siding gable walls can be challenging, and some of the keys to siding gable walls efficiently are determining the angle or pitch of the roof, properly staging materials, and ensuring that the plank lengths are measured accurately.

To estimate the amount of siding needed to complete a gable end, use the estimating tools located in Appendix C.

Stage enough material on the pump jacks or scaffolding to complete the gable end, but take care not to overload the staging. When possible, a cut table should be located on the pump jacks or scaffolding, which frees up crew members to work on other walls.

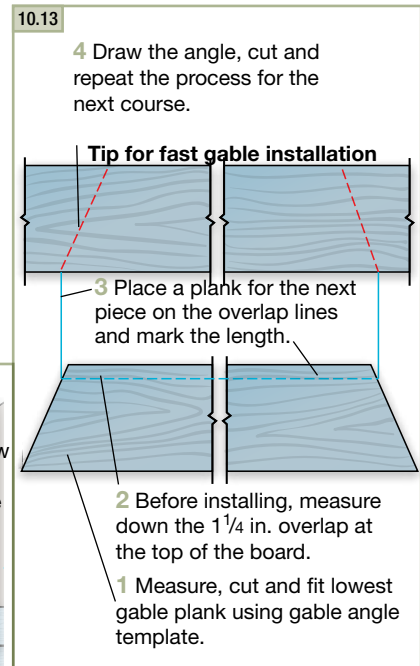
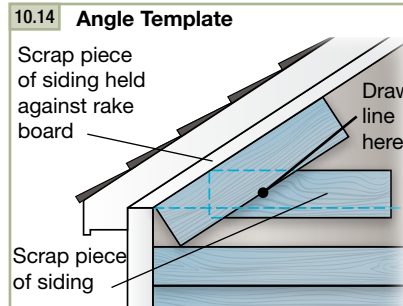
To cut planks for the gable:

1. Tack up a small scrap piece of siding where the first gable course is going.
2. Hold a second small piece of siding against the eave or rake board.
3. Trace the angle onto the scrap.
4. Cut that line and label the scrap as the template for the gable angle. The template can then be used to transfer the angle onto the larger pieces for cutting and installation.
5. Periodically check the angle as you progress up the wall.

The quickest way to measure and cut consecutive courses of siding for a gable is to work off the previous piece.

1. Cut and fit the lowest course of siding.
2. Before installing, lay it flat and measure down 1 1/4 in. from the top edge of the plank for the course overlap. Make a mark on both ends.
3. Set a piece of uncut siding on top of the first piece, aligning the bottom edge with the overlap marks. Transfer the length directly to the uncut piece.
4. Draw the gable angle with the template, cut the angle and then repeat the process for the next course.

TIP: Stainless steel fasteners are recommended when installing James Hardie® products.



HARDIEPLANK® SIDING FASTENER SPECIFICATIONS

The Fastener Specifications table shows fastener options for a variety of different nailing substrates. Please refer to the applicable ESR report online (see back page) to determine which fastener meets your wind load design criteria.

Fastener Substrate		Approved Fastener	Fastener Type
wood studs	blind nail	16 in o.c.	② 6D common .113 in. x .267 in x 2 in.
		24 in o.c.	③ ⑨ 6D siding nail .093 in. x .222 in. x 2 in.
	face nail	16 in o.c.	② ⑤ roofing nail No 11ga 1.25 in long
		24 in o.c.	② ⑤ screws Ribbed Bugle-Head No. 8 .323 in. x 1.625 in
steel studs*	blind nail	16 in o.c.	⑧ ⑬ ET&F Ribbed Wafer-Head No. 8 (.375 in x 1.25 in)
		24 in o.c.	⑧ ⑬ ET&F [AKN-100] .100 in x .25 in x 1.5 in
	face nail	16 in o.c.	⑦ ⑫ masonry nail [ASTM C-90] ASM-144-125 (P/C) .30 in x .14 in x 1.25 in
		24 in o.c.	⑦ ⑫ 8D common .113 in. x .260 in x 2.375 in
Direct to Masonry		⑭ roofing nail No 11ga 1.75 in long	
7/16 in OSB or equivalent (face nailed)		④ 4D siding nail .091 in. x .221 in. x 1.5 in	

*When blind fastening 9.5 in or wider product onto steel studs, use screws.

● indicates recommended fasteners



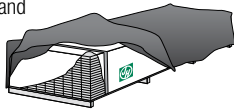
HardiePlank® Lap Siding

EFFECTIVE DECEMBER 2019

IMPORTANT: FAILURE TO FOLLOW JAMES HARDIE WRITTEN INSTALLATION INSTRUCTIONS AND COMPLY WITH APPLICABLE BUILDING CODES MAY VIOLATE LOCAL LAWS, AFFECT BUILDING ENVELOPE PERFORMANCE AND MAY AFFECT WARRANTY COVERAGE. FAILURE TO COMPLY WITH ALL HEALTH AND SAFETY REGULATIONS WHEN CUTTING AND INSTALLING THIS PRODUCT MAY RESULT IN PERSONAL INJURY. BEFORE INSTALLATION, CONFIRM YOU ARE USING THE CORRECT HARDIEZONE® PRODUCT INSTRUCTIONS BY VISITING HARDIEZONE.COM OR CALL 1-866-942-7343 (866-9-HARDIE)

STORAGE & HANDLING:

Store flat and keep dry and covered prior to installation. Installing siding wet or saturated may result in shrinkage at butt joints. Carry planks on edge. Protect edges and corners from breakage. James Hardie is not responsible for damage caused by improper storage and handling of the product.



⚠ CUTTING INSTRUCTIONS

OUTDOORS

- Position cutting station so that airflow blows dust away from the user and others near the cutting area.
- Cut using one of the following methods:
 - Best: Circular saw equipped with a HardieBlade® saw blade and attached vacuum dust collection system. Shears (manual, pneumatic or electric) may also be used, not recommended for products thicker than 7/16 in.
 - Better: Circular saw equipped with a dust collection feature (e.g. Roan® saw) and a HardieBlade saw blade.
 - Good: Circular saw equipped with a HardieBlade saw blade.

INDOORS

DO NOT grind or cut with a power saw indoors. Cut using shears (manual, pneumatic or electric) or the score and snap method, not recommended for products thicker than 7/16 in.

- DO NOT dry sweep dust; use wet dust suppression or vacuum to collect dust.
- For maximum dust reduction, James Hardie recommends using the "Best" cutting practices. Always follow the equipment manufacturer's instructions for proper operation.
- For best performance when cutting with a circular saw, James Hardie recommends using HardieBlade® saw blades.
- Go to jameshardiepros.com for additional cutting and dust control recommendations.

IMPORTANT: The Occupational Safety and Health Administration (OSHA) regulates workplace exposure to silica dust. For construction sites, OSHA has deemed that cutting fiber cement with a circular saw having a blade diameter less than 8 inches and connected to a commercially available dust collection system per manufacturer's instructions results in exposures below the OSHA Permissible Exposure Limit (PEL) for respirable crystalline silica, without the need for additional respiratory protection.

If you are unsure about how to comply with OSHA silica dust regulations, consult a qualified industrial hygienist or safety professional, or contact your James Hardie technical sales representative for assistance. James Hardie makes no representation or warranty that adopting a particular cutting practice will assure your compliance with OSHA rules or other applicable laws and safety requirements.

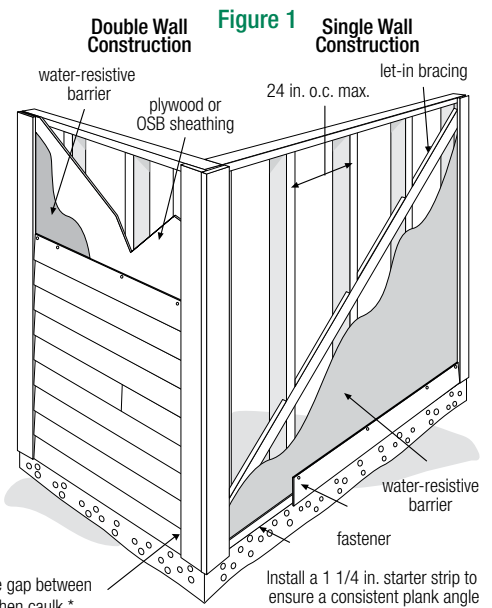
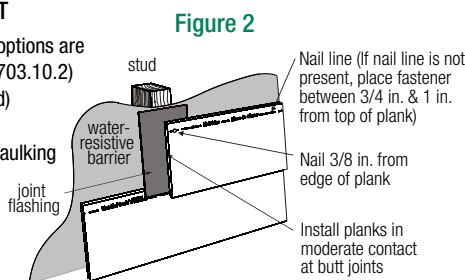
GENERAL REQUIREMENTS:

- HardiePlank® lap siding can be installed over braced wood or steel studs, 20 gauge (33 mils) minimum to 16 gauge (54 mils) maximum, spaced a maximum of 24 in o.c. or directly to minimum 7/16 in thick OSB sheathing. See General Fastening Requirements. Irregularities in framing and sheathing can mirror through the finished application. Correct irregularities before installing siding.
- Information on installing James Hardie products over non-nailable substrates (ex: gypsum, foam, etc.) can be located in JH Tech Bulletin 19 at www.jameshardie.com
- A water-resistive barrier is required in accordance with local building code requirements. The water-resistive barrier must be appropriately installed with penetration and junction flashing in accordance with local building code requirements. James Hardie will assume no responsibility for water infiltration. James Hardie does manufacture HardieWrap® Weather Barrier, a non-woven non-perforated housewrap¹, which complies with building code requirements.
- When installing James Hardie products all clearance details in figs. 3-14 must be followed.
- Adjacent finished grade must slope away from the building in accordance with local building codes - typically a minimum of 6 in. in the first 10 ft.
- Do not use HardiePlank lap siding in Fascia or Trim applications.
- Do not install James Hardie products, such that they may remain in contact with standing water.
- HardiePlank lap siding may be installed on flat vertical wall applications only.
- For larger projects, including commercial and multi-family projects, where the span of the wall is significant in length, the designer and/or architect should take into consideration the coefficient of thermal expansion and moisture movement of the product in their design. These values can be found in the Technical Bulletin "Expansion Characteristics of James Hardie® Siding Products" at www.jameshardie.com.
- James Hardie Building Products provides installation/wind load information for buildings with a maximum mean roof height of 85 feet. For information on installations above 60 feet, please contact JH technical support.

INSTALLATION: JOINT TREATMENT

One or more of the following joint treatment options are required by code (as referenced 2009 IRC R703.10.2)

- Joint Flashing (James Hardie recommended)
- Caulking* (Caulking is not recommended for ColorPlus for aesthetic reasons as the Caulking and ColorPlus will weather differently. For the same reason, do not caulk nail heads on ColorPlus products.)
- "H" jointer cover



Note: Field painting over caulking may produce a sheen difference when compared to the field painted PrimePlus. *Refer to Caulking section in these instructions.

¹For additional information on HardieWrap® Weather Barrier, consult James Hardie at 1-866-4Hardie or www.hardiewrap.com



SELECT CEDARMILL® | SMOOTH | BEADED CEDARMILL® | BEADED SMOOTH | CUSTOM COLONIAL™ SMOOTH | CUSTOM COLONIAL™ ROUGHSAWN



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HS11119 P1/4 12/19

CLEARANCE AND FLASHING REQUIREMENTS

Figure 3
Roof to Wall

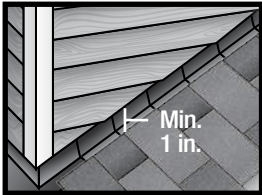


Figure 4
Horizontal Flashing

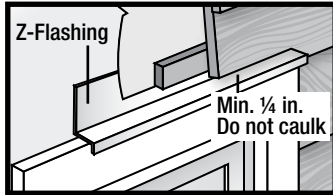


Figure 5
Kickout Flashing

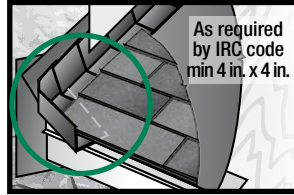


Figure 6
Slabs, Path, Steps to Siding

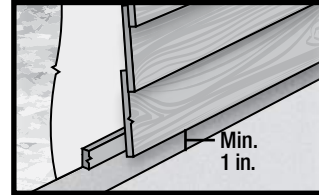


Figure 7
Deck to Wall

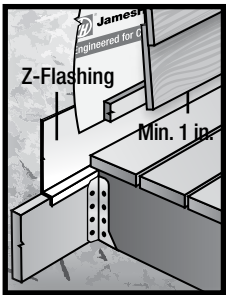


Figure 8
Ground to Siding

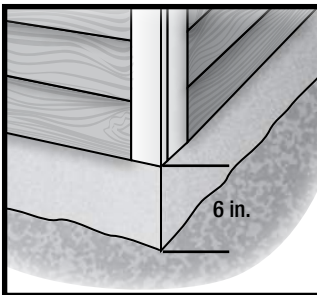


Figure 9
Gutter to Siding

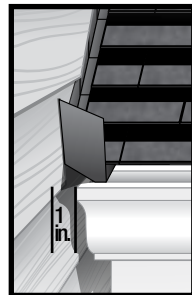


Figure 10
Sheltered Areas

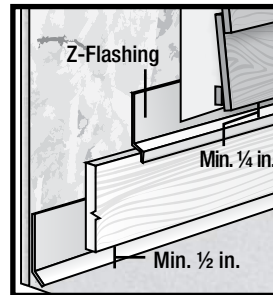


Figure 11
Mortar/Masonry

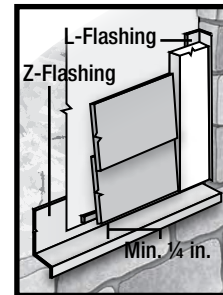


Figure 12
Drip Edge

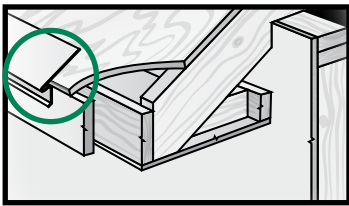


Figure 13
Block Penetration
(Recommended in HZ10)

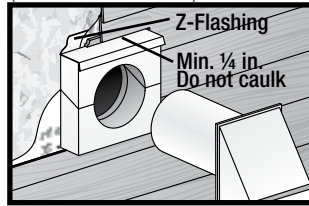
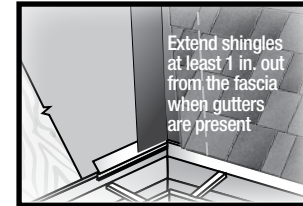


Figure 14
Valley/Shingle Extension



FASTENER REQUIREMENTS*

Refer to the applicable ESR report online to determine which fastener meets your wind load design criteria.

Blind Nailing is the preferred method of installation for HardiePlank® lap siding products. Face nailing should only be used where required by code for high wind areas and must not be used in conjunction with Blind nailing (Please see JH Tech bulletin 17 for exemption when doing a repair).

BLIND NAILING

Nails - Wood Framing

- Siding nail (0.09 in. shank x 0.221 in. HD x 2 in. long)
- 11ga. roofing nail (0.121 in. shank x 0.371 in. HD x 1.25 in. long)

Screws - Steel Framing

- Ribbed Wafer-head or equivalent (No. 8 x 1 1/4 in. long x 0.375 in. HD) Screws must penetrate 3 threads into metal framing.

Nails - Steel Framing

- ET & F Panelfast® nails or equivalent (0.10 in. shank x 0.313 in. HD x 1-1/2 in. long) Nails must penetrate minimum 1/4 in. into metal framing.

OSB minimum 7/16 in.

- Siding nail (0.09 in. shank x 0.215 in. HD x 1-1/2 in. long)
- Ribbed Wafer-head or equivalent (No. 8 x 1 5/8 in. long x 0.375 in. HD).

FACE NAILING

Nails - Wood Framing

- 6d (0.113 in. shank x 0.267 in. HD x 2 in. long)
- Siding nail (0.09" shank x 0.221" HD x 2" long)

Screws - Steel Framing

- Ribbed Bugle-head or equivalent (No. 8-18 x 1-5/8 in. long x 0.323 in. HD) Screws must penetrate 3 threads into metal framing.

Nails - Steel Framing

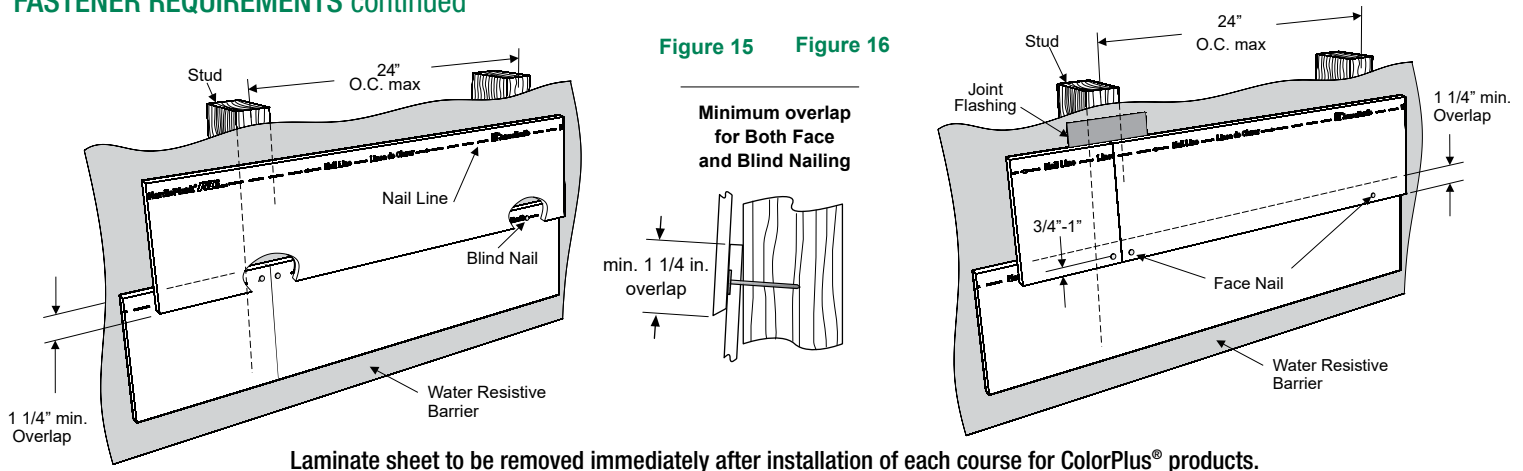
- ET & F pin or equivalent (0.10 in. shank x 0.25 in. HD x 1-1/2 in. long) Nails must penetrate minimum 1/4 in. into metal framing.

OSB minimum 7/16 in.

- Siding nail (0.09 in. shank x 0.221 in. HD x 1-1/2 in. long)

*Also see General Fastening Requirements; and when considering alternative fastening options refer to James Hardie's Technical Bulletin USTB 5 - Fastening Tips for HardiePlank Lap Siding.

FASTENER REQUIREMENTS continued



Pin-backed corners may be done for aesthetic purposes only. Finish nails are recommended for pin-backs. Headed siding nails are allowed. Place pin-backs no closer than 1 in. from plank ends and 3/4 in. from plank edge into min. 3/8 in. wood structural panel. Pin-backs are not a substitute for blind or face nailing.

GENERAL FASTENING REQUIREMENTS

Fasteners must be corrosion resistant, galvanized, or stainless steel. Electro-galvanized are acceptable but may exhibit premature corrosion. James Hardie recommends the use of quality, hot-dipped galvanized nails. James Hardie is not responsible for the corrosion resistance of fasteners. Stainless steel fasteners are recommended when installing James Hardie® products near the ocean, large bodies of water, or in very humid climates.

Manufacturers of ACQ and CA preservative-treated wood recommend spacer materials or other physical barriers to prevent direct contact of ACQ or CA preservative-treated wood and aluminum products. Fasteners used to attach HardieTrim Tabs to preservative-treated wood shall be of hot dipped zinc-coated galvanized steel or stainless steel and in accordance to 2009 IRC R317.3 or 2009 IBC 2304.9.5

- Consult applicable product evaluation or listing for correct fasteners type and placement to achieve specified design wind loads.
- NOTE: Published wind loads may not be applicable to all areas where Local Building Codes have specific jurisdiction. Consult James Hardie Technical Services if you are unsure of applicable compliance documentation.
- Drive fasteners perpendicular to siding and framing.
- Fastener heads should fit snug against siding (no air space).
- NOTE: Whenever a structural member is present, HardiePlank should be fastened with even spacing to the structural member. The tables allowing direct to OSB or plywood should only be used when traditional framing is not available.

CUT EDGE TREATMENT

Caulk, paint or prime all field cut edges. James Hardie touch-up kits are required to touch-up ColorPlus products.

CAULKING

For best results use an Elastomeric Joint Sealant complying with ASTM C920 Grade NS, Class 25 or higher or a Latex Joint Sealant complying with ASTM C834. Caulking/Sealant must be applied in accordance with the caulking/sealant manufacturer's written instructions.

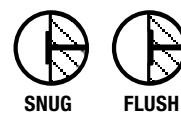
Note: some caulking manufacturers do not allow "tooling".

PAINTING

DO NOT use stain, oil/alkyd base paint, or powder coating on James Hardie® Products. Factory-primed James Hardie products must be painted within 180 days of installation. 100% acrylic topcoats are recommended. Do not paint when wet. For application rates refer to paint manufacturers specifications. Back-rolling is recommended if the siding is sprayed.

PNEUMATIC FASTENING

James Hardie products can be hand nailed or fastened with a pneumatic tool. Pneumatic fastening is highly recommended. Set air pressure so that the fastener is driven snug with the surface of the siding. A flush mount attachment on the pneumatic tool is recommended. This will help control the depth the nail is driven. If setting the nail depth proves difficult, choose a setting that under drives the nail. (Drive under driven nails snug with a smooth faced hammer - Does not apply for installation to steel framing).



<p>DO NOT</p> <p>UNDER DRIVE</p>	<p>DO NOT</p> <p>OVER DRIVE</p>	<p>DO NOT USE</p> <p>SLANT</p>	<p>ALUMINUM FASTENERS</p>
<p>IF, THEN</p>		<p>IF, THEN ADDITIONAL NAIL</p>	
<p>WOOD FRAME</p> <p>HAMMER FLUSH</p>	<p>STEEL FRAME</p> <p>REMOVE & REPLACE</p>	<p>FACE NAIL</p> <p>COUNTERSINK & FILL</p>	<p>CLIPPED HEAD NAILS</p>
			<p>STAPLES</p>



COLORPLUS® TECHNOLOGY CAULKING, TOUCH-UP & LAMINATE

- Care should be taken when handling and cutting James Hardie® ColorPlus® products. During installation use a wet soft cloth or soft brush to gently wipe off any residue or construction dust left on the product, then rinse with a garden hose.
- Touch up nicks, scrapes and nail heads using the ColorPlus® Technology touch-up applicator. Touch-up should be used sparingly. If large areas require touch-up, replace the damaged area with new HardiePlank® lap siding with ColorPlus® Technology.
- Laminate sheet must be removed immediately after installation of each course.
- Terminate non-factory cut edges into trim where possible, and caulk. Color matched caulks are available from your ColorPlus® product dealer.
- Treat all other non-factory cut edges using the ColorPlus Technology edge coat, available from your ColorPlus product dealer.

Note: James Hardie does not warrant the usage of third party touch-up or paints used as touch-up on James Hardie ColorPlus products.

Problems with appearance or performance arising from use of third party touch-up paints or paints used as touch-up that are not James Hardie touch-up will not be covered under the James Hardie ColorPlus Limited Finish Warranty.

PAINTING JAMES HARDIE® SIDING AND TRIM PRODUCTS WITH COLORPLUS® TECHNOLOGY

When repainting ColorPlus products, James Hardie recommends the following regarding surface preparation and topcoat application:

- Ensure the surface is clean, dry, and free of any dust, dirt, or mildew
- Repriming is normally not necessary
- 100% acrylic topcoats are recommended
- DO NOT use stain, oil/alkyd base paint, or powder coating on James Hardie® Products.
- Apply finish coat in accordance with paint manufacturers written instructions regarding coverage, application methods, and application temperature
- DO NOT caulk nail heads when using ColorPlus products, refer to the ColorPlus touch-up section

COVERAGE CHART/ESTIMATING GUIDE

Number of 12 ft. planks, does not include waste

COVERAGE AREA LESS OPENINGS SQ (1 SQ = 100 sq.ft.)	(exposure)	HARDIEPLANK® LAP SIDING WIDTH									
		5 1/4 4	6 1/4 5	7 1/4 6	7 1/2 6 1/4	8 6 3/4	8 1/4 7	9 1/4 8	9 1/2 8 1/4	12 10 3/4	
1		25	20	17	16	15	14	13	13	9	
2		50	40	33	32	30	29	25	25	19	
3		75	60	50	48	44	43	38	38	28	
4		100	80	67	64	59	57	50	50	37	
5		125	100	83	80	74	71	63	63	47	
6		150	120	100	96	89	86	75	75	56	
7		175	140	117	112	104	100	88	88	65	
8		200	160	133	128	119	114	100	100	74	
9		225	180	150	144	133	129	113	113	84	
10		250	200	167	160	148	143	125	125	93	
11		275	220	183	176	163	157	138	138	102	
12		300	240	200	192	178	171	150	150	112	
13		325	260	217	208	193	186	163	163	121	
14		350	280	233	224	207	200	175	175	130	
15		375	300	250	240	222	214	188	188	140	
16		400	320	267	256	237	229	200	200	149	
17		425	340	283	272	252	243	213	213	158	
18		450	360	300	288	267	257	225	225	167	
19		475	380	317	304	281	271	238	238	177	
20		500	400	333	320	296	286	250	250	186	

This coverage chart is meant as a guide. Actual usage is subject to variables such as building design. James Hardie does not assume responsibility for over or under ordering of product.

HS11119 P4/4 12/19

SILICA WARNING
DANGER: May cause cancer if dust from product is inhaled. Causes damage to lungs and respiratory system through prolonged or repeated inhalation of dust from product. Refer to the current product Safety Data Sheet before use. The hazard associated with fiber cement arises from crystalline silica present in the dust generated by activities such as cutting, machining, drilling, routing, sawing, crushing, or otherwise abrading fiber cement, and when cleaning up, disposing of or moving the dust. When doing any of these activities in a manner that generates dust you must (1) comply with the OSHA standard for silica dust and/or other applicable law, (2) follow James Hardie cutting instructions to reduce or limit the release of dust; (3) warn others in the area to avoid breathing the dust; (4) when using mechanical saw or high speed cutting tools, work outdoors and use dust collection equipment; and (5) if no other dust controls are available, wear a dust mask or respirator that meets NIOSH requirements (e.g. N-95 dust mask). During clean-up, use a well maintained vacuum and filter appropriate for capturing fine (respirable) dust or use wet clean-up methods - never dry sweep.

WARNING: This product can expose you to chemicals including respirable crystalline silica, which is known to the State of California to cause cancer. For more information go to P65Warnings.ca.gov.

RECOGNITION: In accordance with ICC-ES Evaluation Report ESR-2290, HardiePlank® lap siding is recognized as a suitable alternate to that specified in the 2006, 2009, 2012 & 2015 International Residential Code for One and Two-Family Dwellings, and the 2006, 2009, 2012 & 2015 International Building Code. HardiePlank lap siding is also recognized for application in the following: City of Los Angeles Research Report No. 24862, State of Florida Product Approval FL#13192, Miami-Dade County Florida NOA No. 17-0406.06, U.S. Dept. of HUD Materials Release 1263f, Texas Department of Insurance Product Evaluation EC-23, City of New York MEA 223-93-M, and California DSA PA-019. These documents should also be consulted for additional information concerning the suitability of this product for specific applications.

1. Product Name

- Custom Stucco Cement

2. Manufacturer

Holcim (US) Inc.
 6211 North Ann Arbor Road
 P.O. Box 122 Dundee, MI 48131
 Phone: 888-646-5246
 734-529-2411
 Fax: 734-529-4110
 E-mail: ask@holcim.com
 Web: www.holcim.us

3. Product Description

Basic Use

Custom Stucco Cement is a formulated cementitious material manufactured to be used in producing masonry mortars for scratch, brown and finish coat applications as defined in ASTM C926. It can be used in a variety of interior and exterior architectural applications.



Stucco Cement used on home in Florida

Composition and Materials

Custom Stucco Cement is composed of portland cement, plasticizers, ground limestone and air entraining additives. The above ingredients are combined and processed at LafargeHolcim US manufacturing facilities under controlled conditions to ensure uniform performance.

Sizes

Custom Stucco Cement, Type S is packaged in 36 kilogram (79.4 pound) bags.

Benefits

- Excellent workability for easy application
- Provides excellent board life, water retention, compressive strength, durability and finished appearance

4. Technical Data

Applicable Standards

ASTM International

- **ASTM C897** Standard Specification for Aggregate for Job-Mixed Portland Cement-Based Plasters
- **ASTM C926** Standard Specification for Application of Portland Cement-Based Plaster
- **ASTM C1328** Standard Specification for Plastic (Stucco) Cement

Physical/Chemical Properties

- Custom Stucco Cement is manufactured to meet ASTM C1328 requirements for a Type S cement
- Custom Stucco Cement, when mixed with the ASTM C926 recommended volume of sand meeting ASTM C897, will comply with the applicable plaster mixes listed in Table 1 of ASTM C926
- Custom Stucco Cement is manufactured to facilitate easy application, ability to be rodded (straight edged) to true planes and texturing for a variety of architectural finishes
- Custom Stucco Cement provides excellent strength and durability



5. Installation

Preparatory Work

Custom Stucco Cement should be mixed according to ASTM C926. Machine mixing is highly recommended. Mixing instructions are printed on each bag and shown below:

- Use 1 bag Custom Stucco to the appropriate aggregate volume listed in Table 2 or 3 in ASTM C926; use sand conforming to ASTM C897
- First add approximately 3/4 of the desired volume of mix water, then add 1/2 the sand and then 1 bag of Custom Stucco to the mixer
- Finally, add the rest of the sand and remaining mix water sufficient to achieve the desired field workability and uniform color
- The combined materials should be mixed for 3–5 minutes after all materials are in the mixer

Precautions

Performance

- Inadequate mixing will reduce the quality of stucco
- Re-tempering should be done only once
- Stucco should be discarded after 1-1/2 hours from initial mixing if it has not been used

Safety

Avoid direct contact with the skin. If contact occurs, wash skin with water as soon as possible. Exposure of sufficient duration to wet Custom Stucco Cement can cause serious and potentially irreversible tissue destruction in the form of chemical burns. If Custom Stucco gets into the eyes, immediately flush eyes thoroughly with water and seek medical attention.

For more complete information, reference is made to the applicable Safety Data Sheets (SDS), which should be consulted prior to use of this product. These SDS are available at www.holcim.us

6. Availability and Cost

Availability: Custom Stucco Cement is available throughout most of the United States. Contact manufacturer for information about local availability.

Cost Pricing information can be obtained from the nearest Holcim Sales Office.

7. Warranty

Upon request, Holcim US can provide Material Certification Reports demonstrating that Custom Stucco Cement meets applicable ASTM standards. Holcim will not guarantee finish work, having no control over use of this product. Holcim shall not be responsible for condition of cement after delivery to a dealer or distributor.

8. Maintenance

In areas where cleaners and sealers are used, proper instructions should be followed. Contact the appropriate product manufacturer before application.

9. Technical Services

Technical service is available by contacting the nearest Holcim Sales Office at (888) 646-5246. With advance notice, technical service can be provided at jobsite locations.

For questions on any technical information contained in this document, contact a Holcim Technical Service Engineer for further detail.

10. Filing Systems

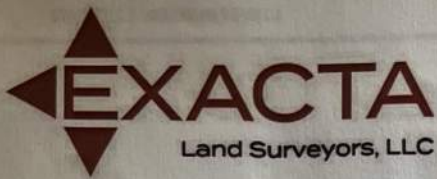
Additional product information is available from the manufacturer.

Corporate Headquarters

Holcim US
8700 Bryn Mawr Avenue
Chicago, IL 60631
(888) 646-5246

Corporate Office

6211 Ann Arbor Road
P.O. Box 122
Dundee, MI 48131
(888) 646-5246



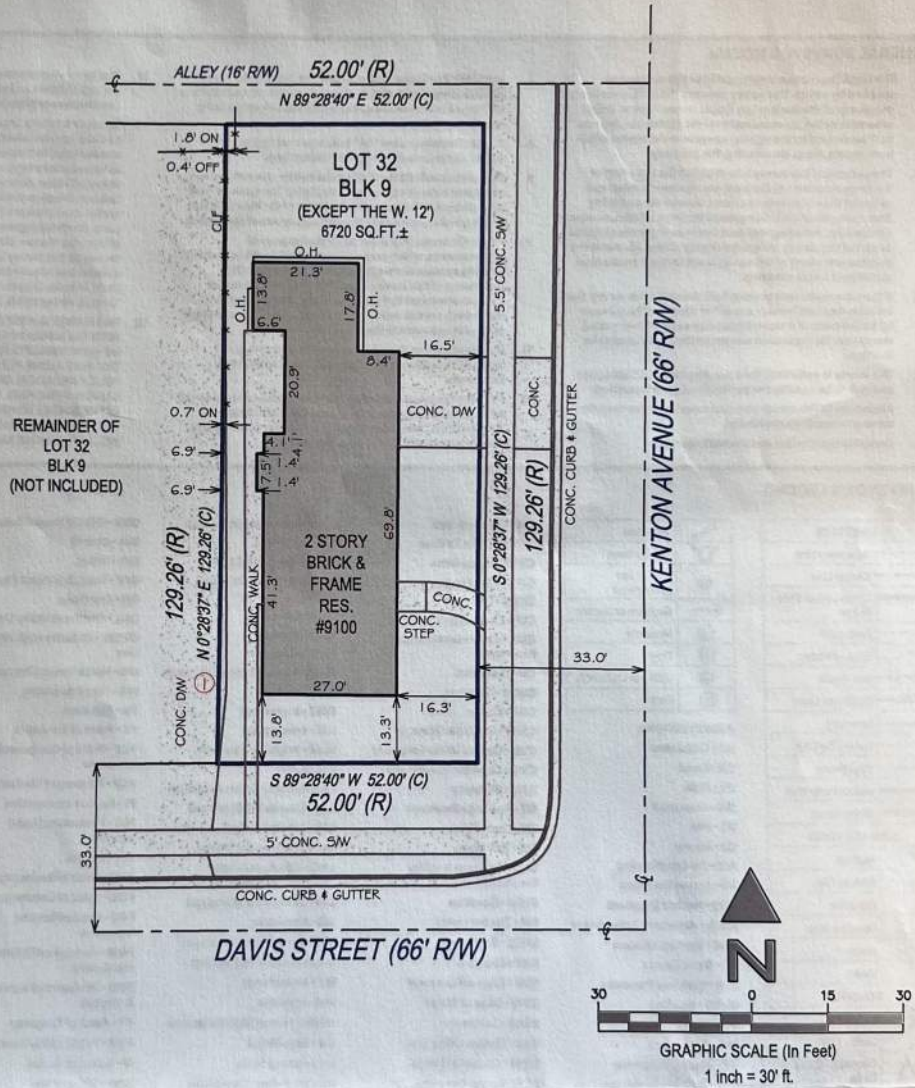
www.exactalands.com | office: 773.305.4011



PROPERTY ADDRESS: 9100 KENTON AVENUE, SKOKIE, ILLINOIS 60076

SURVEY NUMBER: IL2204.1493

IL2204.1493
BOUNDARY SURVEY
COOK COUNTY



STATE OF ILLINOIS }
COUNTY OF LASALLE } 55

THIS IS TO CERTIFY THAT THIS PROFESSIONAL SERVICE CONFORMS TO THE CURRENT ILLINOIS MINIMUM STANDARDS FOR A BOUNDARY SURVEY, GIVEN UNDER MY HAND AND SEAL THIS DATE HEREON.



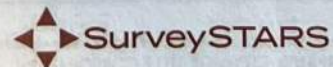
ILLINOIS PROFESSIONAL LAND SURVEYOR No. 2971
LICENSE EXPIRES 11/30/2022
EXACTA LAND SURVEYORS, LLC
PROFESSIONAL DESIGN FIRM 184008059-0008

POINTS OF INTEREST:

1. CONCRETE DRIVEWAY OVER PROPERTY LINE



Exacta Land Surveyors, LLC
PLS# 184008059
o: 773.305.4011
316 East Jackson Street | Morris, IL 60450



DATE OF SURVEY: 04/16/22
FIELD WORK DATE: 4/15/2022
REVISION DATE(S): (REV.0 4/16/2022)

SEE PAGE 2 OF 2 FOR LEGAL DESCRIPTION
PAGE 1 OF 2 - NOT VALID WITHOUT ALL PAGES

JOB SPECIFIC SURVEYOR NOTES:

LEGAL DESCRIPTION:

LOT 32 (EXCEPT THE WEST 12 FEET) IN BLOCK 9 IN KRENN AND DATO'S DEVONSHIRE MANOR, BEING A SUBDIVISION IN THE SOUTH 1/2 OF SECTION 15, TOWNSHIP 41 NORTH, RANGE 13, EAST OF THE THIRD PRINCIPAL MERIDIAN, IN COOK COUNTY, ILLINOIS.

GENERAL SURVEYOR NOTES:

- The Legal Description used to perform this survey was supplied by others. This survey does not determine nor imply ownership of the lands or any fences shown hereon. Unless otherwise noted, an examination of the abstract of title was NOT performed by the signing surveyor to determine which instruments, if any, are affecting this property.
- The purpose of this survey is to establish the boundary of the lands described by the legal description provided and to depict the visible improvements thereon for a pending financial transaction. Underground footings, utilities, or other service lines, including roof eave overhangs were not located as part of this survey. Unless specifically stated otherwise the purpose and intent of this survey is not for any construction activities or future planning.
- If there is a septic tank or drain field shown on this survey, the location depicted hereon was either shown to the surveyor by a third party or it was estimated by visual above ground inspection. No excavation was performed to determine its location.
- This survey is exclusively for a pending financial transaction and only to be used by the parties to whom it is certified.
- Alterations to this survey map and report by other than the signing surveyor are prohibited.
- Dimensions are in feet and decimals thereof.
- Any FEMA flood zone data contained on this survey is for informational purposes only. Research to obtain said data was performed at www.fema.gov and may not reflect the most recent information.
- Unless otherwise noted "SIR" indicates a set iron rebar, 5/8 inch in diameter and twenty-four inches long.
- The symbols reflected in the legend and on this survey may have been enlarged or reduced for clarity. The symbols have been plotted at the approximate center of the field location and may not represent the actual shape or size of the feature.
- Points of Interest (POI's) are select above-ground improvements, which may appear in conflict with boundary, building setback or easement lines, as defined by the parameters of this survey. These POI's may not represent all items of interest to the viewer. There may be additional POI's which are not shown or called-out as POI's, or which are otherwise unknown to the surveyor.
- Utilities shown on the subject property may or may not indicate the existence of recorded or unrecorded utility easements.
- The information contained on this survey has been performed exclusively by and is the sole responsibility of Exakta Land Surveyors, LLC. Additional logos or references to third party firms are for informational purposes only.
- Due to varying construction standards, building dimensions are approximate and are not intended to be used for new construction or planning.
- Surveyor bearings are used for angular reference and are used to show angular relationships of lines only and are not related or orientated to true or magnetic north. Bearings are shown as surveyor bearings, and when shown as matching those on the subdivision plats on which this survey is based, they are to be deemed no more accurate as the determination of a north orientation made on and for those original subdivision plats. North 00 degrees East is assumed and upon preparation of this plat, the resulting bearing between found points as shown on this survey is the basis of said surveyor bearings as defined and required to be noted by Illinois Administrative Code Title 68, Chapter VII, Sub-Chapter B, Part 1270, Section 1270.56, Paragraph B, Sub-Paragraph 6, Item k.
- THIS SURVEY IS A PROFESSIONAL SERVICE IN COMPLIANCE WITH THE MINIMUM STANDARDS OF THE STATE OF ILLINOIS. NO IMPROVEMENTS SHOULD BE MADE ON THE BASIS OF THIS PLAT ALONE. PLEASE REFER ALSO TO YOUR DEED, TITLE POLICY AND LOCAL ORDINANCES. COPYRIGHT BY EXAKTA ILLINOIS SURVEYORS. THIS DOCUMENT MAY ONLY BE USED BY THE PARTIES TO WHICH IT IS CERTIFIED. PLEASE DIRECT QUESTIONS OR COMMENTS TO EXAKTA ILLINOIS SURVEYORS, INC. AT THE PHONE NUMBER SHOWN HEREON.

SURVEYOR'S LEGEND

LINETYPES	
	Boundary Line
	Center Line
	Chain Link or Wire Fence
	Easement
	Edge of Water
	Iron Fence
	Overhead Lines
	Structure
	Survey Tie Line
	Vinyl Fence
	Wall or Party Wall
	Wood Fence
SURFACE TYPES	
	Asphalt
	Brick or Tile
	Concrete
	Covered Area
	Water
	Wood
SYMBOLS	
	Benchmark
	Center Line
	Central Angle or Delta
	Common Ownership
	Control Point
	Catch Basin

	Elevation
	Fire Hydrant
	Find or Set Monument
	Guywire or Anchor
	Manhole
	Tree
	Utility or Light Pole
	Well

ABBREVIATIONS

(C) - Calculated	(D) - Deed	(F) - Field	(M) - Measured	(P) - Plat	(S) - Survey
A/C - Air Conditioning	AE - Access Easement	ANE - Anchor Easement	ASBL - Accessory Setback Line	B/W - Bay/Box Window	BC - Block Corner
BFP - Backflow Preventer	BLDG - Building	BLK - Block	BM - Benchmark	BR - Bearing Reference	BRL - Building Restriction Line
BSMT - Basement	C - Curve	C/L - Center Line	C/P - Covered Porch		

C/S - Concrete Slab	CATV - Cable TV Riser	CB - Concrete Block	CH - Chord Bearing	CHIM - Chimney	CLF - Chain Link Fence	CME - Canal Maintenance Easement	CO - Clean Out	CONC - Concrete	COR - Corner	CS/W - Concrete Sidewalk	CUE - Control Utility Easement	CVG - Concrete Valley Gutter	D/W - Driveway	DE - Drainage Easement	DF - Drain Field	DH - Drill Hole	DUE - Drainage & Utility Easement	ELEV - Elevation	EM - Electric Meter	ENCL - Enclosure	ENT - Entrance	EOP - Edge of Pavement	EOW - Edge of Water	ESMT - Easement	EUB - Electric Utility Box	F/DH - Found Drill Hole	FCM - Found Concrete Monument	FF - Finished Floor	FIP - Found Iron Pipe	FIPC - Found Iron Pipe & Cap	FIR - Found Iron Rod
FIRC - Found Iron Rod & Cap	FN - Found Nail	FN&D - Found Nail & Disc	FRRSBK - Found Rail Road Spike	GAR - Garage	GM - Gas Meter	ID - Identification	IE/EE - Ingress/Egress Easement	ILL - Illegible	INST - Instrument	INT - Intersection	IRRE - Irrigation Easement	L - Length	LAE - Limited Access Easement	LB# - License No. (Business)	LBE - Limited Buffer Easement	LE - Landscape Easement	LME - Lake/Landscape Maintenance Easement	LS# - License No. (Surveyor)	MB - Map Book	ME - Maintenance Easement	MES - Mitered End Section	MF - Metal Fence	MH - Manhole	MHWL - Mean High Water Line	NR - Non-Radial	NTS - Not to Scale	NAVD88 - North American Vertical Datum 1988	NGVD29 - National Geodetic Vertical Datum 1929	OG - On Ground	ORB - Official Records Book	

ORV - Official Record Volume	O/A - Overall	O/S - Offset	OFF - Outside Subject Property	OH - Overhang	OHL - Overhead Utility Lines	OHWL - Ordinary High Water Line	ON - Inside Subject Property	P/E - Pool Equipment	PB - Plat Book	PC - Point of Curvature	PCC - Point of Compound Curvature	PCP - Permanent Control Point	PI - Point of Intersection	PLS - Professional Land Surveyor	PLT - Planter	POB - Point of Beginning	POC - Point of Commencement	PRC - Point of Reverse Curvature	PRM - Permanent Reference Monument	PSM - Professional Surveyor & Mapper	PT - Point of Tangency	PUE - Public Utility Easement	R - Radius or Radial	R/W - Right of Way	RES - Residential	RGE - Range	ROE - Roof Overhang Easement	RP - Radius Point	S/W - Sidewalk	SBL - Setback Line	SCL - Survey Closure Line	SCR - Screen	SEC - Section	SEP - Septic Tank	SEW - Sewer	SIRC - Set Iron Rod & Cap	SMWE - Storm Water Management Easement	SND - Set Nail and Disc	SQFT - Square Feet	STL - Survey Tie Line	STY - Story	SV - Sewer Valve	SWE - Sidewalk Easement	TBM - Temporary Bench Mark	TEL - Telephone Facilities	TOB - Top of Bank	TUE - Technological Utility Easement	TWP - Township	TX - Transformer	TYP - Typical	UE - Utility Easement	UG - Underground	UP - Utility Pole	UR - Utility Riser	VF - Vinyl Fence	W/C - Witness Corner	W/F - Water Filter	WF - Wood Fence	WM - Water Meter/Valve Box	WV - Water valve
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CERTIFIED TO:
HAUSHAD QUREISHI; CITYWIDE TITLE CORPORATION;

DATE SIGNED: 04/16/22

BUYER: HAUSHAD QUREISHI

LENDER:

TITLE COMPANY: CITYWIDE TITLE CORPORATION

COMMITMENT DATE: NOT REVIEWED

CLIENT FILE NO: 764799

SEE PAGE 1 OF 2 FOR MAP OF PROPERTY
PAGE 2 OF 2 - NOT VALID WITHOUT ALL PAGES



Exakta Land Surveyors, LLC
PLS# 184008059
o: 773.305.4011
316 East Jackson Street | Morris, IL 60450

FLOOD ZONE INFORMATION:



Village of Skokie APPEARANCE COMMISSION APPLICATION

Community Development Department - Building & Zoning Division
5127 Oakton St. Skokie, IL 60077
Phone 847/933-8223 Fax 847/933-8230

The Appearance Commission meets the 2nd Wednesday of each month at 7:30 p.m.

Until further notice, applications will only be accepted in a PDF format.

APPLICATION DATE: 8-23-2023

APPLICATION TYPE (Please check all that apply):

New Construction 1st Floor Addition 2nd Floor Addition Façade Signage Other

LAND USE:

Single Family Residential Multifamily Residential Mixed Use Commercial Industrial Other

SUBJECT ADDRESS: 10001 SKOKIE BLVD

OWNER INFORMATION:

Please print legibly.

NAME(S): PENNY MUSTARD FURNISHINGS
ADDRESS: 6800 INDUSTRIAL LOOP CITY, STATE ZIP: GREENDALE, WI 53129
PHONE#: 414 659 0439 (CODY RUD) EMAIL: CODY@PENNYMUSTARD.COM

AGENT/PETITIONER INFORMATION (if other than owner):

NAME(S): NATHAN KRISKA DAYTIME PHONE #: 847 983 8383
ADDRESS: P.O. BOX 8421 CITY, STATE ZIP: NORTHFIELD, IL 60093
EMAIL: NKARCHTECT@USA.COM SIGNATURE: [Signature]

Please submit the following PDFs to appearance@skokie.org to complete your digital-only application:

1. Elevations, floor plans, and site plans. Scale 1/4" = 1'-0" is preferred, but not required. If the file size is greater than 5MB, multiple emails are allowed. Ensure "Appearance Commission PDF" and the project's property address are in the subject line of the email. Color elevations or one color rendering is required.
2. Completed Zoning Information Worksheet (residential projects only)
3. Photographs (all sides of the subject building and the fronts of neighboring buildings)
4. Excerpts of brochures and/or cut sheets of new materials and colors proposed for the project. Matching existing materials and colors can be confirmed with the submitted photographs.
5. Plat of Survey

*** The Building, Zoning, will not take in or hold material or color samples.

*** Visit <https://www.skokie.org/357/Appearance-Commission> to access the staff report prior to the meeting.

Fee Schedule

Residential Site (new) ... \$100 plus \$50.00 per unit
Non-Residential Site* (new) ... \$100 plus \$50.00 per 1,000 square feet (based on square footage of building)

* Any non-residentially zoned site (Business, Industrial, Mixed-Use districts)

Any Other Appearance Review (Additions, Façade, Sign Package, etc.) ... \$50.00

If you have already paid for a preliminary plan review there is no charge.

For Office Use Only:

Case Number _____ Meeting Date _____

Acct # NR Amt \$ _____ Cash / Credit Card/ Check # _____

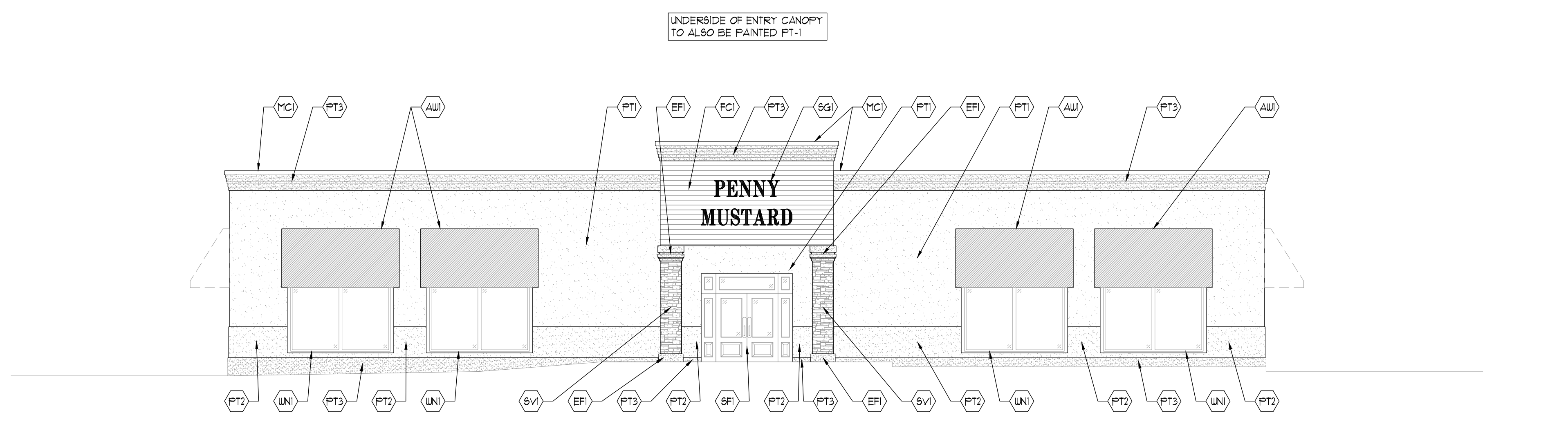
Any required fees or monies owed by the applicant to the Village must be paid as a condition of approval.

A EXTERIOR MATERIALS				
TAG	MATERIAL	MANUF. (OR EQUAL)	COLOR/SPECS.	REMARKS
AW1	EXISTING AWNING			
EF1	NEW EIFS		PAINT TO MATCH "PT3"	EIFS CAPITALS & BASE
FC1	FIBER CEMENT PANEL	NICHIHA	18" X 10" VINTAGE WOOD_BARK COLOR	INSTALL PER MANUF. RECOMMENDATIONS
MC1	EXISTING METAL COPING		PAINT TO MATCH "PT3"	
PT1	PAINT	SHERWIN WILLIAMS	SW7043 "WORLDLY GRAY"	EXISTING EIFS FIELD, BRICK, AND DOORS
PT2	PAINT	SHERWIN WILLIAMS	SW7046 "ANONYMOUS"	EXISTING EIFS WAINSCOT
PT3	PAINT	SHERWIN WILLIAMS	SW6990 "CAVIAR"	EXISTING EIFS ON CAPITALS & PARAPET
SF1	EXISTING STOREFRONT			
SG1	SIGNAGE		TBD	INSTALL PER MANUF. RECOMMENDATIONS
SV1	STONE VENEER	HALQUIST	LEDGE COLLECTION, "BLACK FOREST" COLOR	INSTALL PER MANUF. RECOMMENDATIONS
WN1	EXISTING WINDOW			

EXTERIOR MATERIALS NOTES:
 1. PROVIDE COLOR SAMPLES OF ALL EXT. MATERIALS TO OWNER/ARCH. FOR APPROVAL PRIOR TO INSTALLATION
 2. PROVIDE ELECTRIC AS NEEDED AT SIGN LOCATIONS
 3. COPING AND BREAK METAL SILLS SHALL BE CONSTRUCTED WITH APPROPRIATE GAUGE METAL, SLIP JOINTS, JOINT COVERS, ETC. PER MFG. INSTALLATION INSTRUCTIONS TO PROVIDE A CLEAN STRAIGHT APPEARANCE AND PREVENT OIL CANNING. TYP.

EXTERIOR MATERIAL SCHEDULE

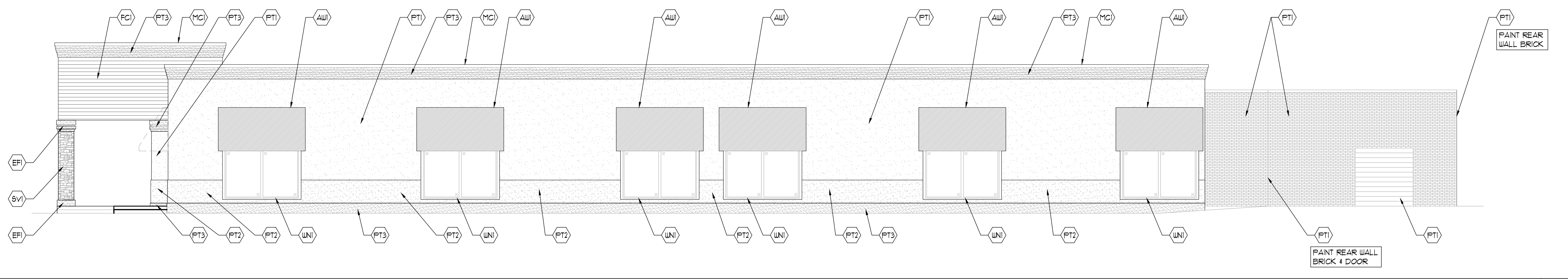
4



PROPOSED WEST EXTERIOR ELEVATION

SCALE: 1/8" = 1'-0"

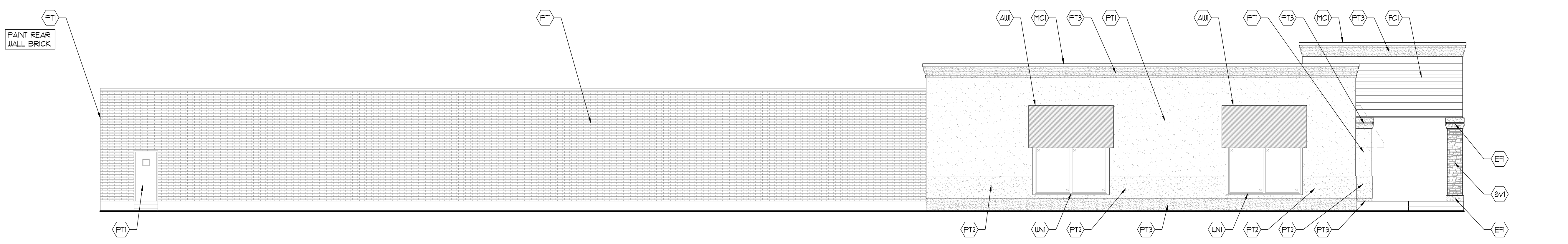
3



PROPOSED SOUTH EXTERIOR ELEVATION

SCALE: 1/8" = 1'-0"

2




PROPOSED NORTH EXTERIOR ELEVATION

SCALE: 1/8" = 1'-0"

1

FULL SIZE PRINT = 24" x 36" SHEET

COPYRIGHT PERSPECTIVE DESIGN, INC. 2023. ALL RIGHTS RESERVED. THIS DRAWING IS NOT TO BE REPRODUCED, CHANGED, COPIED, OR ASSIGNED TO ANY THIRD PARTY IN ANY FORM OR MANNER WITHOUT FIRST OBTAINING THE EXPRESSED WRITTEN PERMISSION OF PERSPECTIVE DESIGN, INC. THE CLIENT AGREES TO INDEMNIFY AND HOLD THE ARCHITECT HARMLESS FROM ANY DAMAGES, LIABILITY, OR COST, INCLUDING ATTORNEY'S FEES AND COSTS OF DEFENSE ARISING FROM ANY CHANGES OR ALTERATIONS MADE BY ANYONE OTHER THAN THE ARCHITECT, OR FROM ANY REUSE OF THE DRAWINGS OR DATA WITHOUT THE PRIOR WRITTEN CONSENT OF THE ARCHITECT.

REV. #	REV. DATE	DESCRIPTION	REV. BY:
Project:			
Building Alteration for:			
Penny Mustard			
10001 Skokie Blvd.			
Skokie, IL 60077			
PERSPECTIVE DESIGN, INC.			
11525 W. North Avenue			
Wauwatosa, WI 53226			
Tel: (414) 302-1780 Fax: (414) 302-1781			
			
Drawing Title:			
EXTERIOR ELEVATIONS			
THIS BOX IS 1/2" x 1/2"			
Date:	06/01/23		
Scale:	NOTED		
Drawn:	MJ		
Job:	23-049		
Sheet:	A2.1		

PENNY MUSTARD

PENNY
MUSTARD
FURNISHINGS





A modern, single-story commercial building with a central entrance. The building features a light-colored facade, dark horizontal siding on the upper portion, and a central entrance with stone pillars. Large windows are visible on both sides of the entrance, each with a black awning. The building is surrounded by a chain-link fence.

A white-painted crosswalk on the asphalt road, consisting of several parallel lines.

A white sign with a black arrow pointing left and the word "ONLY" below it, indicating a left-turn lane.

A small white sign with black text that reads "LEFT ON GREEN ONLY".

The rear portion of a dark-colored car, showing the taillight and bumper.



1 Rd





Village of Skokie APPEARANCE COMMISSION APPLICATION

Community Development Department - Building & Zoning Division
5127 Oakton St. Skokie, IL 60077
Phone 847/933-8223 Fax 847/933-8230

The Appearance Commission meets the 2nd Wednesday of each month at 7:30 p.m.

Until further notice, applications will only be accepted in a PDF format.

APPLICATION DATE: 7/27/2023

APPLICATION TYPE (Please check all that apply):

New Construction 1st Floor Addition 2nd Floor Addition Façade Signage Other

LAND USE:

Single Family Residential Multifamily Residential Mixed Use Commercial Industrial Other

SUBJECT ADDRESS: 9300 Skokie Blvd.

OWNER INFORMATION:

Please print legibly.

NAME(S): OP Associates, LLC c/o Newcastle Properties

ADDRESS: 1030 W. Higgins Rd. CITY, STATE ZIP: Park Ridge, IL 60068

PHONE#: (847) 685-9800 EMAIL: lgeisel@newcastleproperties.com

AGENT/PETITIONER INFORMATION (if other than owner):

NAME(S): Mehran Farahmandpour DAYTIME PHONE #: (312) 961-3961 cell

ADDRESS: 3996 Orchard Lane CITY, STATE ZIP: Long Grove, IL 60047

EMAIL: Mehran@Maemarpc.com SIGNATURE: Mehran Farahmandpour

Please submit the following PDFs to appearance@skokie.org to complete your digital-only application:

1. Elevations, floor plans, and site plans. Scale 1/4" = 1'-0" is preferred, but not required. If the file size is greater than 5MB, multiple emails are allowed. Ensure "Appearance Commission PDF" and the project's property address are in the subject line of the email. Color elevations or one color rendering is required.
2. Completed Zoning Information Worksheet (residential projects only)
3. Photographs (all sides of the subject building and the fronts of neighboring buildings)
4. Excerpts of brochures and/or cut sheets of new materials and colors proposed for the project. Matching existing materials and colors can be confirmed with the submitted photographs.
5. Plat of Survey

*** The Building, Zoning, will not take in or hold material or color samples.

*** Visit <https://www.skokie.org/357/Appearance-Commission> to access the staff report prior to the meeting.

Fee Schedule

Residential Site (new) ...	\$100 plus \$50.00 per unit
Non-Residential Site* (new) ...	\$100 plus \$50.00 per 1,000 square feet (based on square footage of building)

* Any non-residentially zoned site (Business, Industrial, Mixed-Use districts)

Any Other Appearance Review (Additions, Façade, Sign Package, etc.) ... \$50.00

If you have already paid for a preliminary plan review there is no charge.

For Office Use Only:

Case Number _____ Meeting Date _____

Acct # NR Amt \$ _____ Cash / Credit Card/ Check # _____

Any required fees or monies owed by the applicant to the Village must be paid as a condition of approval.



300

9306

RESERVED
PARKING
3-25-17



500



ORCHARD PLAZA - UNIT RENOVATION

9300 - 9304 SKOKIE RLVD. SKOKIE, ILLINOIS



IMAGE FROM GOOGLE EARTH

SITE MAP

SCALE: N.T.S

AREA OF WORK
4549 SF

DRAWING LIST

- T-1 TITLE SHEET
- A-1 EXIST/ DEMO PLAN
- A-2 EXIST/DEMO ELEVATIONS
- A-3 PROPOSED FLOOR PLAN
- A-4 PROPOSED ELEVATIONS & STOREFRONT TYPES
- A-4C PROPOSED COLOR ELEVATIONS 2
- A-5 PROPOSED RCP
- A-6 RESTROOM INTERIOR ELEVATIONS & DOOR SCHEDULE
- A-7 WALL SECTIONS & DETAILS
- M-1 HVAC PLAN
- E-1 POWER & LIGHTING PLAN
- P-1 PLUMBING PLAN & RISER DIAGRAMS

APPLICABLE CODES

- 2021 INTERNATIONAL BUILDING CODE W/ AMENDMENTS
- 2014 STATE OF ILLINOIS PLUMBING CODE
- 2020 NATIONAL ELECTRIC CODE W/ AMENDMENTS
- 2021 NATIONAL MECHANICAL CODE W/ AMENDMENTS
- 2018 ENERGY CONSERVATION CODE W/ ILLINOIS AMENDMENTS
- 2018 STATE OF ILLINOIS & FEDERAL ACCESSIBILITY CODES
- 2021 INTERNATIONAL FIRE CODE W/ AMENDMENTS 2
- 2021 LIFE SAFETY CODE
- 2021 PROPERTY MAINTENANCE CODE W/ AMENDMENTS

ISSUED FOR PERMIT REVISED 07-24-2023

ORCHARD PLAZA - UNIT RENOVATION

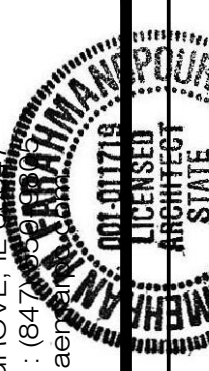
9300 - 9304 SKOKIE RLVD. SKOKIE, ILLINOIS

T-1

TITLE SHEET

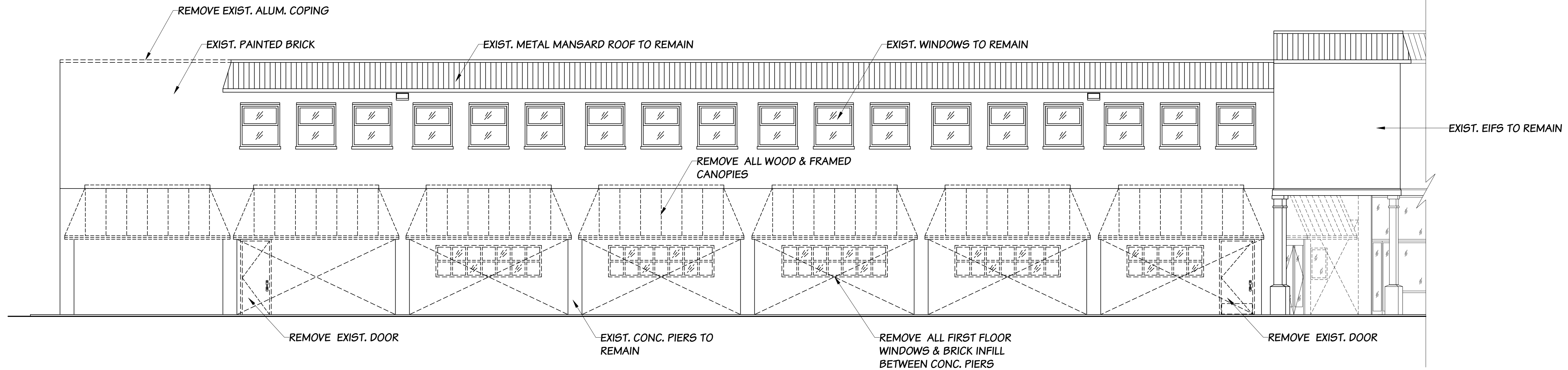
MAEMAR P.C.
A FULL SERVICE ARCHITECTURAL PRACTICE

3996 ORCHARD LANE
LONG GROVE, IL 60047
PHONE : (847) 431-1111
WWW.MAEMAR.COM



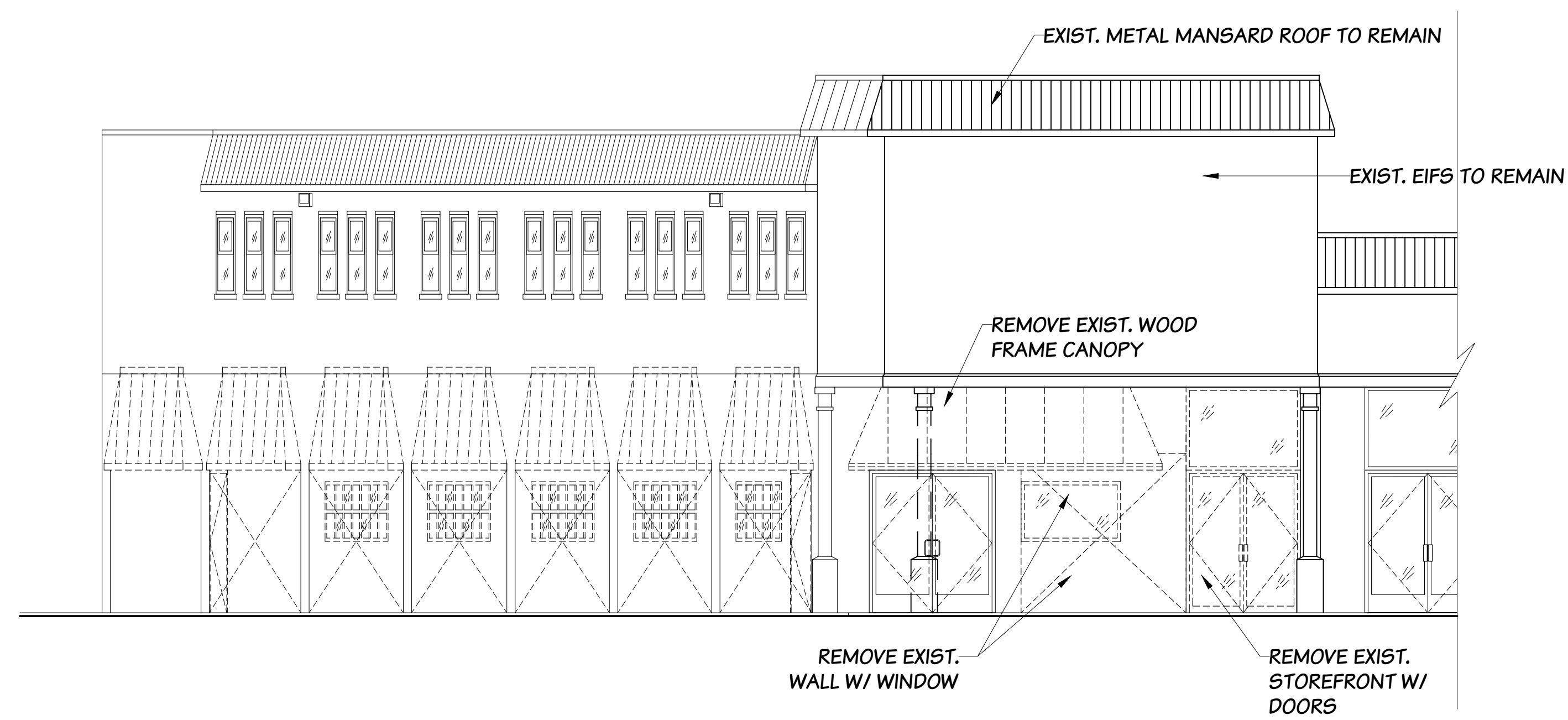
THE UNDERSIGNED CERTIFIES THAT THESE PLANS
WERE PREPARED BY ME OR UNDER MY
SUPERVISION AND THAT TO THE BEST OF MY
KNOWLEDGE & BELIEF THEY MEET THE REQUIREMENTS
OF ADA AND VILLAGE OF SKOKIE BUILDING CODE.

REV. DATE: 07-05-2023	REV. DATE: 07-24-2023
ISSUED FOR PERMIT	REV. DATE:
SCALE: N.T.S	REV. DATE:
PROJECT # : 2315	REV. DATE:



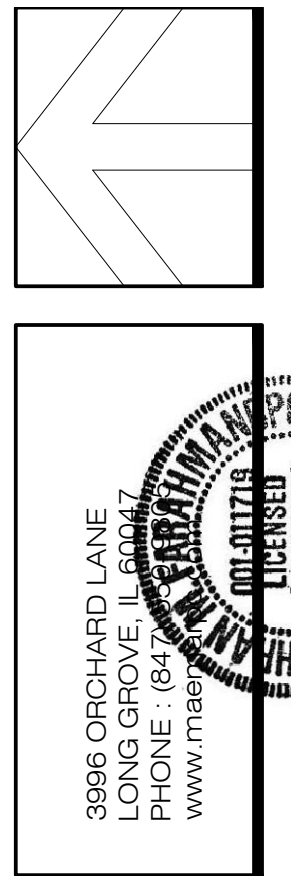
EXIST/DEMO SOUTH ELEVATION

SCALE: 3/16" = 1'-0"



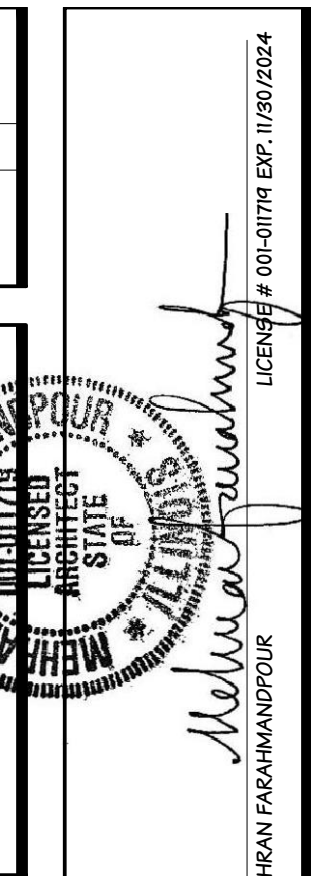
EXIST/DEMO EAST ELEVATION

SCALE: 3/16" = 1'-0"



MAEMAR P.C.
A FULL SERVICE ARCHITECTURAL PRACTICE

3996 ORCHARD LANE
LONG GROVE, IL 60047
PHONE: (847) 426-1100
WWW.MAEMAR.COM



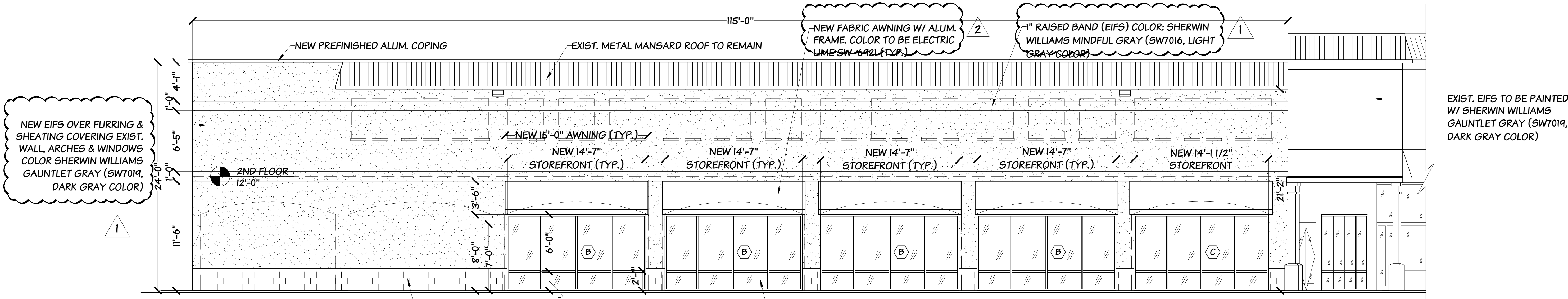
REV. DATE: 07-05-2023	REV. DATE:
REV. DATE:	REV. DATE:
REV. DATE:	REV. DATE:
REV. DATE:	REV. DATE:

DATE: 05-23-2023	ISSUED FOR: PERMIT
SCALE: 3/16" = 1'-0"	PROJECT #: 2315

ORCHARD PLAZA - UNIT RENOVATION
9300 - 9304 SKOKIE RLVD. SKOKIE, ILLINOIS

SHEET TITLE
EXIST/DEMO EXTERIOR ELEVATIONS

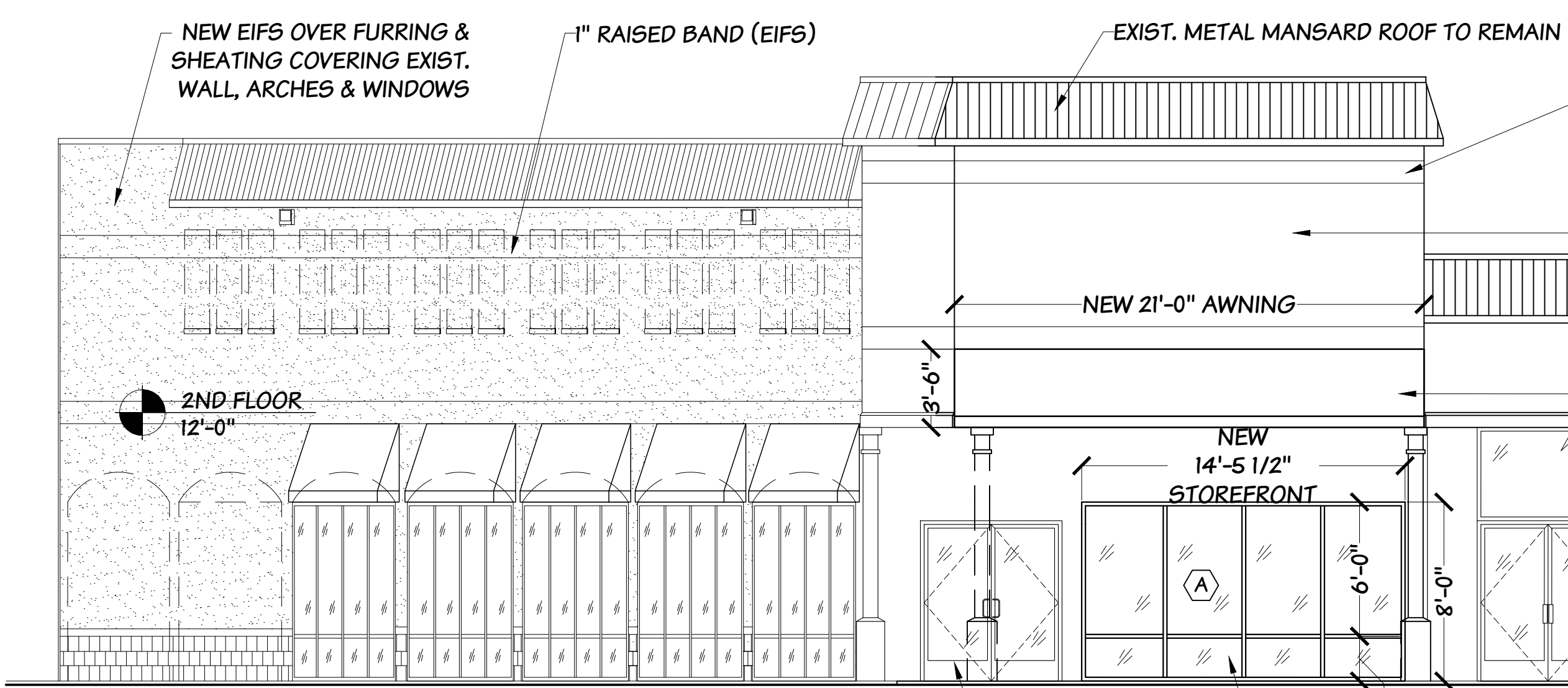
SHEET #
A-2



PROPOSED SOUTH ELEVATION

SCALE: 3/16" = 1'-0"

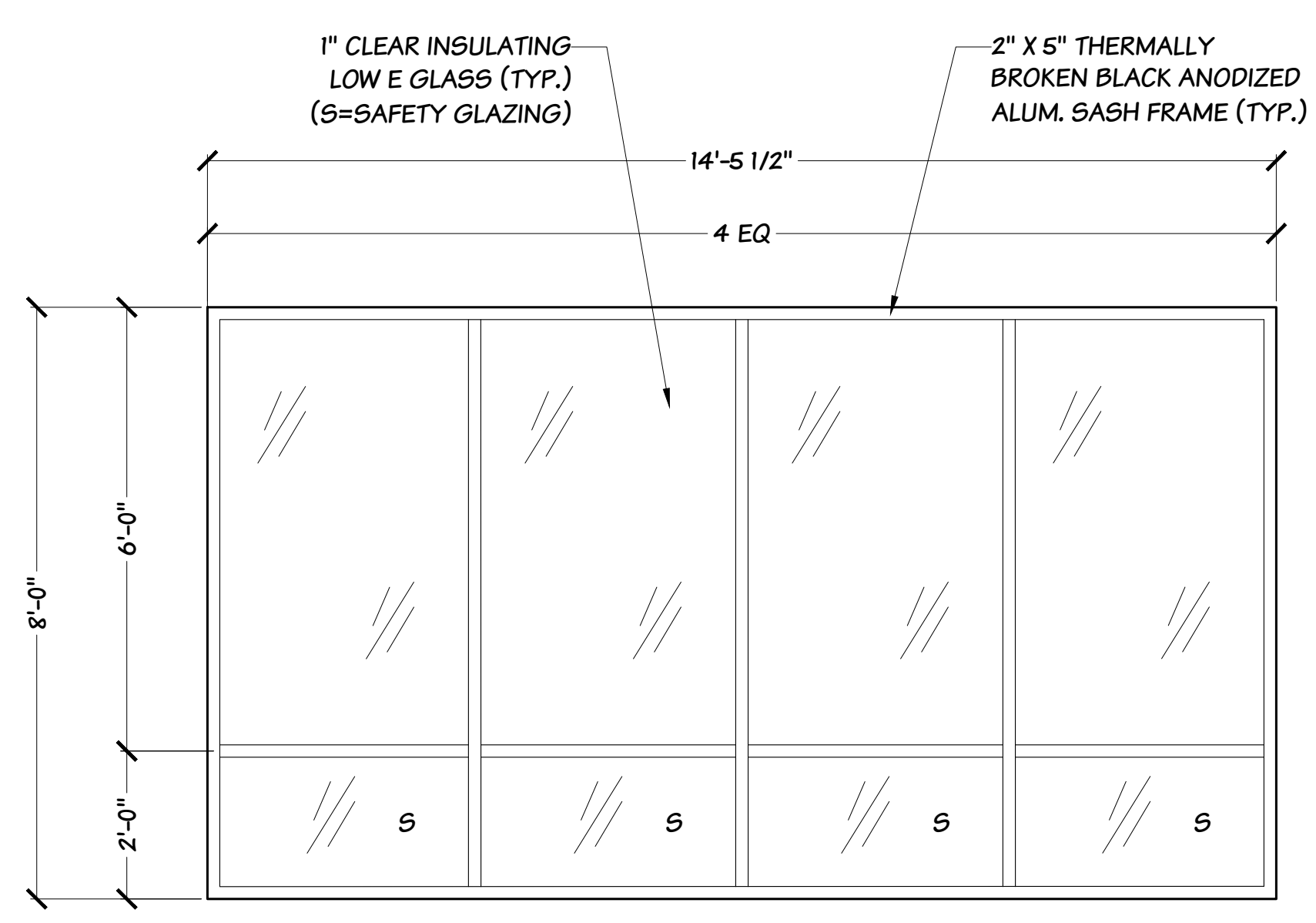
ECHOLON SMOOTHFACE PREFINISHED ARCHITECTURAL CONC. BLOCKS 5/8" THICK X 7 5/8" X 15 5/8" COLOR: SEASHELL W/ 4" H. X 2" DEEP LIMESTONE COPING



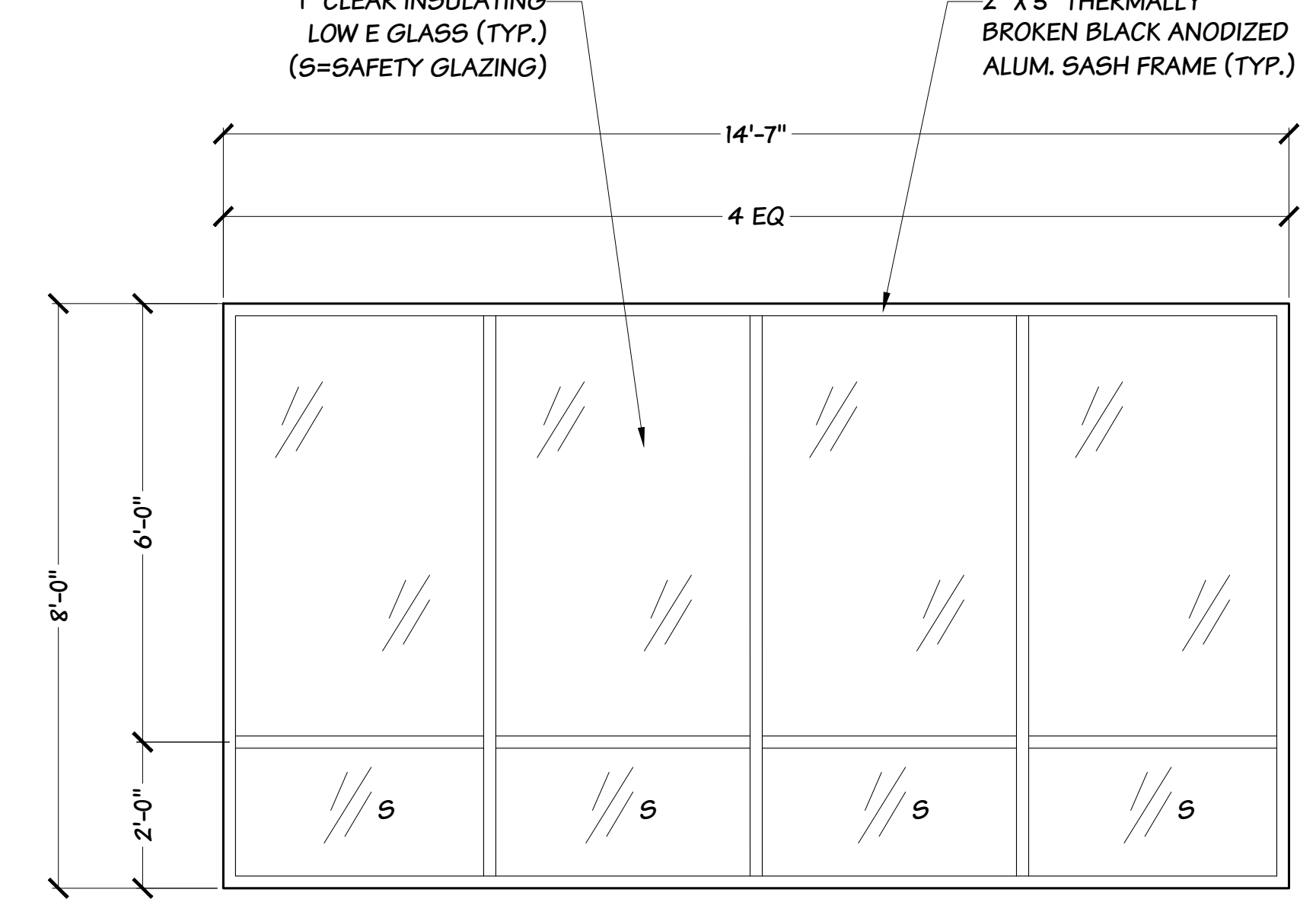
PROPOSED EAST ELEVATION

SCALE: 3/16" = 1'-0"

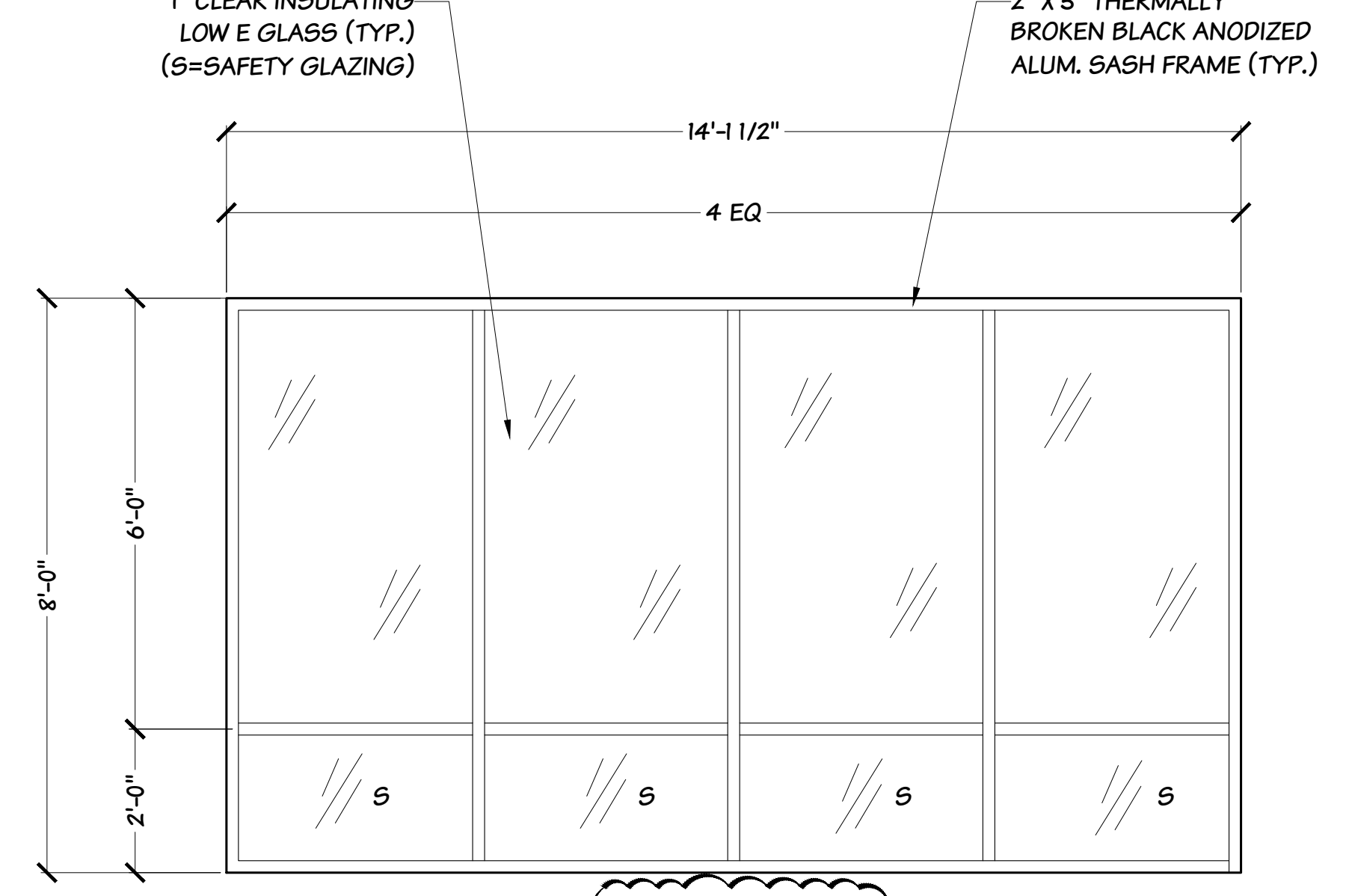
ENERGY CODE REQUIREMENTS:
 MAX. U FACTOR FOR FIXED WINDOW = 0.38
 U FACTOR FOR ENTRANCE DOOR = 0.77
 SHGC FOR ALL WINDOWS AND DOORS ON S/E/W/ ORIENTATION TO BE 0.40



A



B



C

STOREFRONT TYPES

SCALE: 1/2" = 1'-0"

3996 ORCHARD LANE
 LONG GROVE, IL 60047
 PHONE: (847) 550-9805
 www.maemarpcc.com

MAEMAR P.C.
 A FULL SERVICE ARCHITECTURAL PRACTICE

ORCHARD PLAZA - UNIT RENOVATION
 9300 - 9304 SKOKIE RLVD. SKOKIE, ILLINOIS

DATE: 05-23-2023
 ISSUED FOR: PERMIT
 SCALE: AS INDICATED
 PROJECT #: 2315

REV. DATE: 07-05-2023
 REV. DATE: 07-24-2023
 REV. DATE:
 REV. DATE:

THE UNDERSIGNED CERTIFIES THAT THESE PLANS ARE HIS/HER OWN WORK AND THAT TO THE BEST OF HIS/HER KNOWLEDGE & BELIEF THEY MEET THE REQUIREMENTS OF ADA AND VILLAGE OF SKOKIE BUILDING CODE.

CS20/RIGHT © MAEMAR PC 2023

3996 Orchard Lane
 Long Grove, IL 60047
 Phone: (847) 550-9805
 www.maemarpcc.com

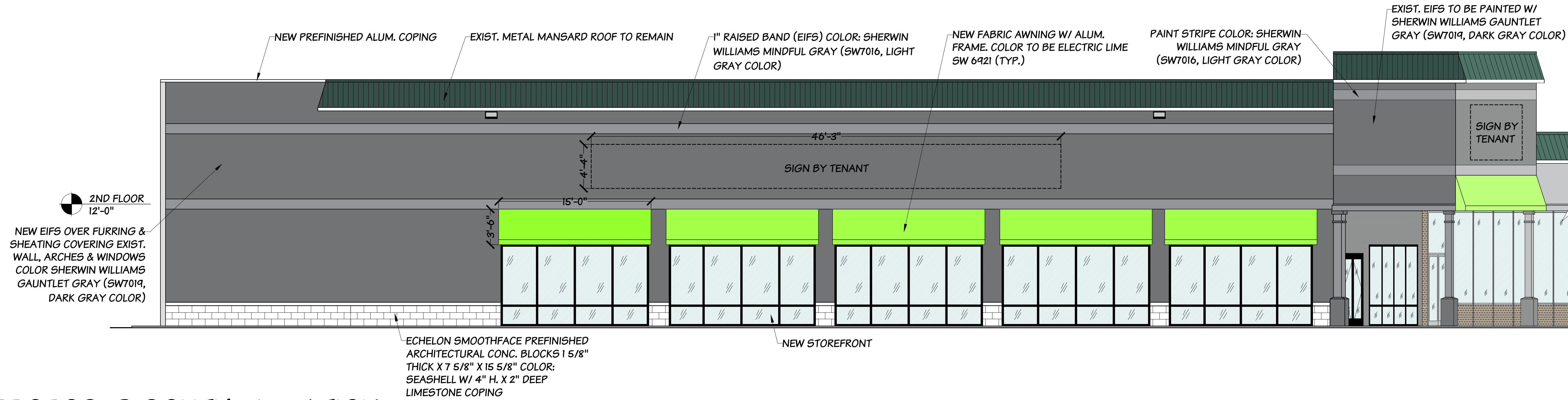
MAEMAR FARAHANPOUR
 LICENSE # 08-0178 EXP. 11/30/2024

SHEET #
A-4

PROPOSED EXTERIOR ELEVATIONS & STOREFRONT TYPES

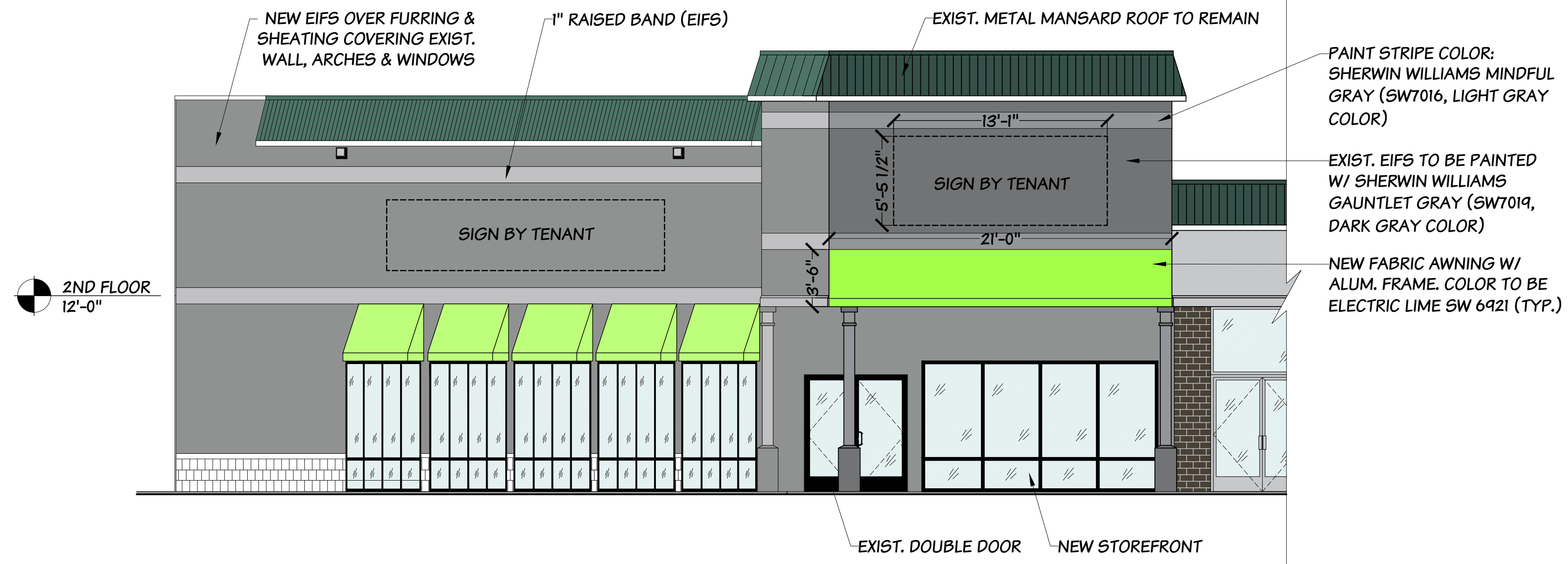
PROPOSED SOUTH ELEVATION

SCALE: 3/16" = 1'-0"



PROPOSED EAST ELEVATION

SCALE: 3/16" = 1'-0"



ORCHARD PLAZA - UNIT RENOVATION
 9300 - 9304 SKOKIE RLVD. SKOKIE, ILLINOIS

MAEMAR P.C.
 A FULL SERVICE ARCHITECTURAL PRACTICE
 3986 ORCHARD LANE
 LONG GROVE, IL 60047
 PHONE : (847) 550-9805
 WWW.MAEMARP.C.COM

SHEET #
A-4C

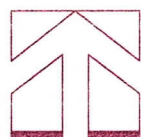
SHEET TITLE
PROPOSED COLOR ELEVATIONS

DATE: 05-23-2023
 ISSUED FOR: PERMIT
 SCALE: AS INDICATED
 PROJECT #: 2315

REV. DATE: 07-24-2023
 REV. DATE:
 REV. DATE:
 REV. DATE:

CS23/0101 © MAEMAR PC 2023
 THE UNDERSIGNED CERTIFIES THAT THESE PLANS
 WERE PREPARED BY HIMSELF OR UNDER HIS
 SUPERVISION AND THAT TO THE BEST OF HIS
 KNOWLEDGE & BELIEF THEY MEET THE REQUIREMENTS
 OF ADA AND VILLAGE OF SKOKIE BUILDING CODE.

LICENSE # 08-01198 EXP. 11/30/2024
 MERKAY FARAHMANDPOUR



August 4, 2023

Mr. Brian Augustine

Zoning Administrator & Permit Supervisor
Village of Skokie

Re: 9300 Skokie Blvd – Hassleless Mattress Appearance Review

Mr. Augustine;

Attached please find our application and related elevation drawings for above noted location. Also enclosed are a couple of file pictures taken a couple of months ago.

We are proposing, on behalf of Hassleless Mattress, to abandon the vacant second floor and cover all the windows, remove existing awnings, and remove the brick infills under the existing concrete archways of the existing wall at first floor. We are proposing to then add new storefront and cover the exterior south face of the building with a manufactured stone base and EIFS above. The EIFS colors, as well as the green awnings are nationally branded colors of Hassleless. The storefront and façade work are Landlord's scope of work while the signage and awnings are Tenant's scope of work.

Sincerely;

Mehran Farahmandpour
Principal, Maemar PC
(312) 961-3961 cell
mehran@maemarpc.com



SMOOTH FACE

Seashell – Northfield



Village of Skokie APPEARANCE COMMISSION APPLICATION

Community Development Department - Building & Zoning Division
5127 Oakton St. Skokie, IL 60077
Phone 847/933-8223 Fax 847/933-8230

The Appearance Commission meets the 2nd Wednesday of each month at 7:30 p.m.

Until further notice, applications will only be accepted in a PDF format.

APPLICATION DATE: August 8, 2023

APPLICATION TYPE: Façade

LAND USE: Commercial

SUBJECT ADDRESS: 4832 Main Street, Skokie, IL 60077

OWNER INFORMATION:

Please print legibly.

NAME(S): Josephine Pangilinan

ADDRESS: 505 N. Lakeshore Drive

CITY, STATE ZIP: Chicago, IL 60611

PHONE#: 312.671.0916

EMAIL: jo@11-eleven.net

AGENT/PETITIONER INFORMATION (if other than owner): NAME(S): N/A

Please submit the following PDFs to appearance@skokie.org to complete your digital-only application:

1. Elevations, floor plans, and site plans. Scale 1/4" = 1'-0" is preferred, but not required. If the file size is greater than 5MB, multiple emails are allowed. Ensure "Appearance Commission PDF" and the project's property address are in the subject line of the email. Color elevations or one color rendering is required.
2. Completed Zoning Information Worksheet (residential projects only)
3. Photographs (all sides of the subject building and the fronts of neighboring buildings)
4. Excerpts of brochures and/or cut sheets of new materials and colors proposed for the project. Matching existing materials and colors can be confirmed with the submitted photographs.
5. Plat of Survey

*** The Building, Zoning, will not take in or hold material or color samples.

*** Visit <https://www.skokie.org/357/Appearance-Commission> to access the staff report prior to the meeting.

Fee Schedule

Residential Site (new) ... \$100 plus \$50.00 per unit

Non-Residential Site* (new) ... \$100 plus \$50.00 per 1,000 square feet (based on square footage of building)

* Any non-residentially zoned site (Business, Industrial, Mixed-Use districts)

Any Other Appearance Review (Additions, Façade, Sign Package, etc.) ... \$50.00

If you have already paid for a preliminary plan review there is no charge.

For Office Use Only:

Case Number _____ Meeting Date _____

Acct # NR Amt \$ _____ Cash / Credit Card/ Check # _____

Any required fees or monies owed by the applicant to the Village must be paid as a condition of approval.

2023 Appearance Commission Schedule

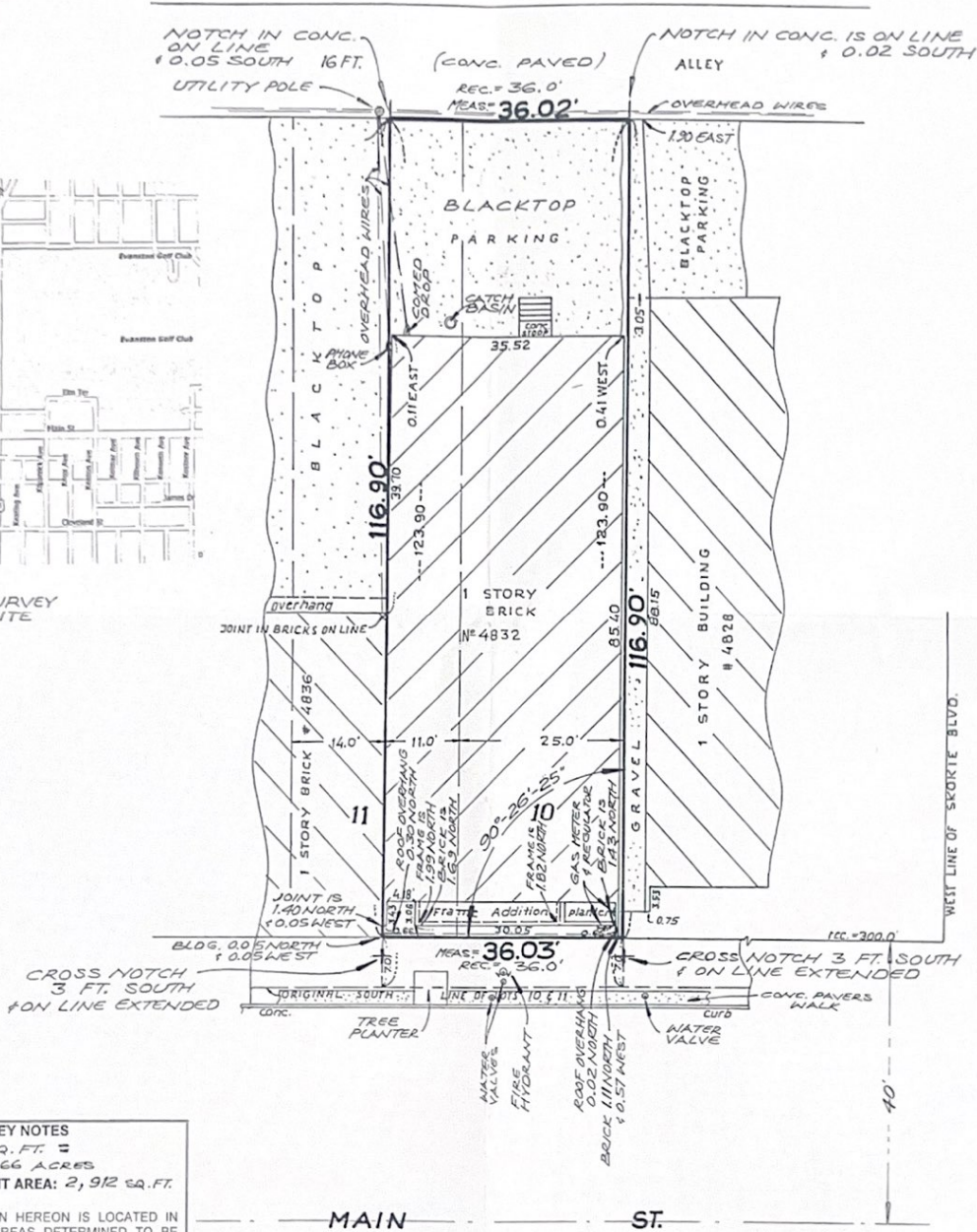
<u>Meeting Date</u>	<u>Submittal Deadline</u>
January 11, 2023	December 28, 2022
February 8, 2023	January 25, 2023
March 8, 2023	February 22, 2023
April 26, 2023	April 12, 2023
May 10, 2023	April 26, 2023
June 14, 2023	May 31, 2023
July 12, 2023	June 28, 2023
August 9, 2023	July 26, 2023
September 13, 2023	August 30, 2023
October 11, 2023	September 27, 2023
November 8, 2023	October 25, 2023
December 20, 2023	December 6, 2023

CERTIFIED SURVEY, INC.

1440 Renaissance Dr., Suite 140, Park Ridge, IL 60068 Phone 847-296-6900 Fax 847-296-6906

ALTA/ACSM LAND TITLE SURVEY

LOT 10 AND THE EAST 11 FEET OF LOT 11 IN MAIN STREET AND CICERO AVENUE SUBDIVISION, IN THE SOUTH 1/4 OF THE SOUTH 1/2 OF THE NORTHEAST 1/4 OF SECTION 21, TOWNSHIP 41 NORTH, RANGE 13, EAST OF THE THIRD PRINCIPAL MERIDIAN, IN COOK COUNTY, ILLINOIS.



SURVEY NOTES
 AREA: 4,211 SQ. FT. = 0.09666 ACRES
 BUILDING FOOTPRINT AREA: 2,912 SQ. FT.
 THE PROPERTY SHOWN HEREON IS LOCATED IN UNSHADED ZONE X (AREAS DETERMINED TO BE OUTSIDE THE 500 YEAR FLOOD) PER THE FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP PANEL NO. 17031C0265 F EFFECTIVE DATE: NOVEMBER 6, 2000.

DIMENSIONS ARE NOT TO BE ASSUMED FROM SCALING
 Order No. **97455**
 Scale: 0' 15' 30' feet
 Date: AUGUST 5TH 2008
 Ordered by CHRISTINA A. CARINI



(STATE OF ILLINOIS)
 (COUNTY OF COOK) SS
 TO: CHICAGO TITLE INSURANCE COMPANY; INLAND BANK & TRUST;
 SOMERCORD SOA, INC.; REEL SOUNDS, LLC
 THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE "MINIMUM STANDARD DETAIL REQUIREMENTS" FOR ALTA/ACSM LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS IN 2005 AND INCLUDES ITEMS 1, 2, 3, 4, 7A, 7B(1), 8, 9, 10 AND 11A OF TABLE A THEREOF. PURSUANT TO THE ACCURACY STANDARDS AS ADOPTED BY ALTA AND NSPS AND IN EFFECT ON THE DATE OF THIS CERTIFICATION, UNDERSIGNED FURTHER CERTIFIES THAT IN MY PROFESSIONAL OPINION, AS A LAND SURVEYOR REGISTERED IN THE STATE OF ILLINOIS, THE RELATIVE POSITIONAL ACCURACY OF THIS SURVEY DOES NOT EXCEED THAT WHICH IS SPECIFIED THEREIN.

DATE: AUGUST 5, 2008

[Signature]
 PROFESSIONAL LAND SURVEYOR NO. 3408
 LICENSE EXPIRES NOVEMBER 30, 2008

PHOTOGRAPHS



FRONT ELEVATION OF THE PROPERTY



REAR ELEVATION OF THE PROPERTY



PARTIAL WEST ELEVATION



EAST ELEVATION



NEIGHBOR TO THE WEST SIDE



NEIGHBOR TO THE EAST SIDE

architect: **alc architects**
 4840 main street | skokie illinois 60077
 office 847. 529. 0801 | fax 847. 763. 8708
 info@acarchitects.net | www.acarchitects.net

project name: **INTERIOR REMODELING**

project address: **4832 MAIN STREET
 SKOKIE, IL 60077**

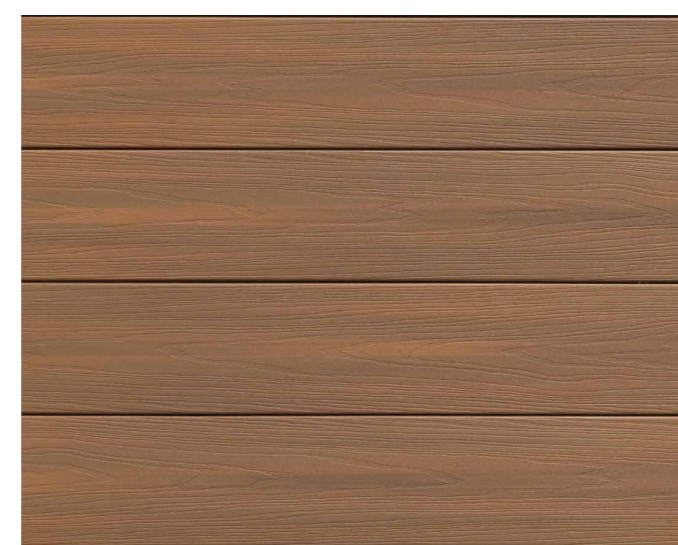
owner: -

consultants: -

MATERIALS

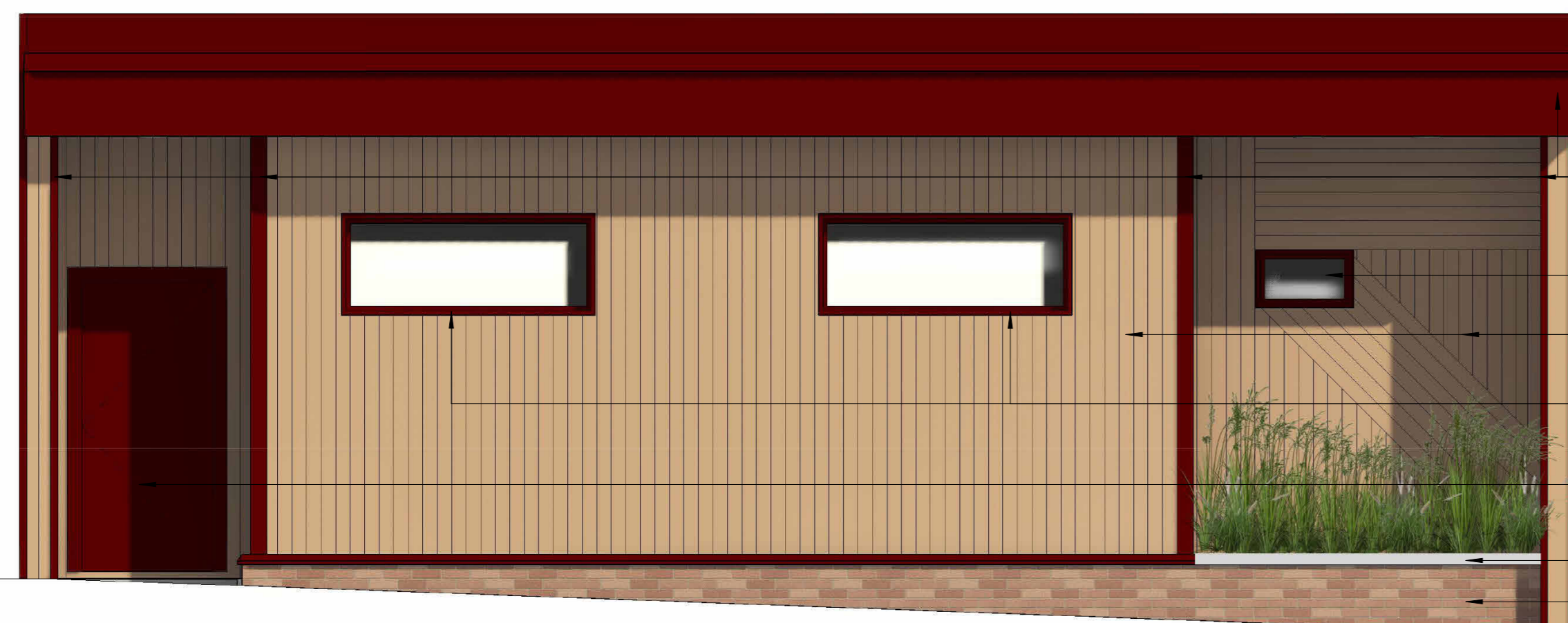


ARCH ROOFS, WALLS AND FASCIA
 COLONIAL RED PVDF



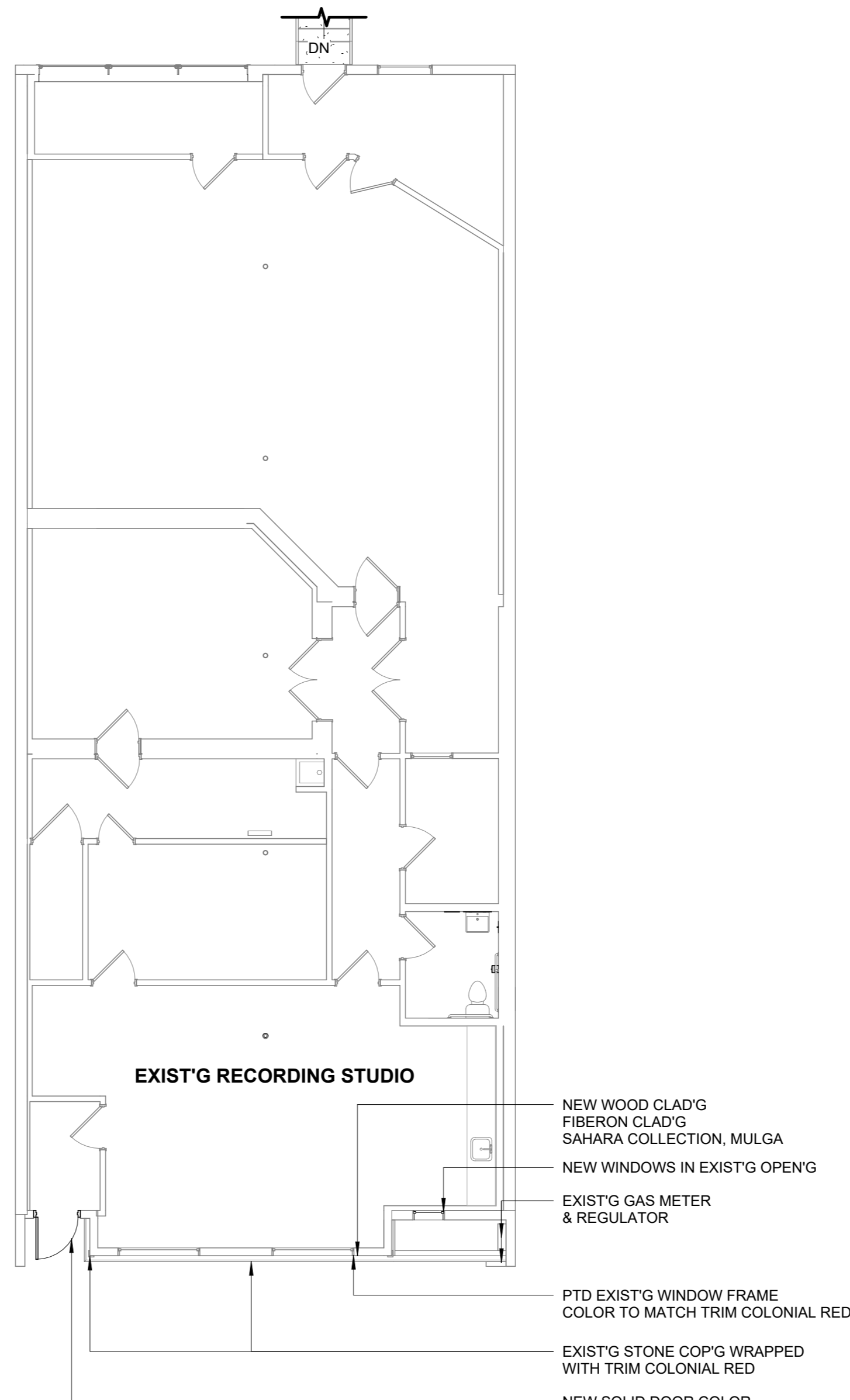
FIBERON CLADDING
 SAHARA COLLECTION, MULGA

COLOR ELEVATION AND MATERIAL DESCRIPTION

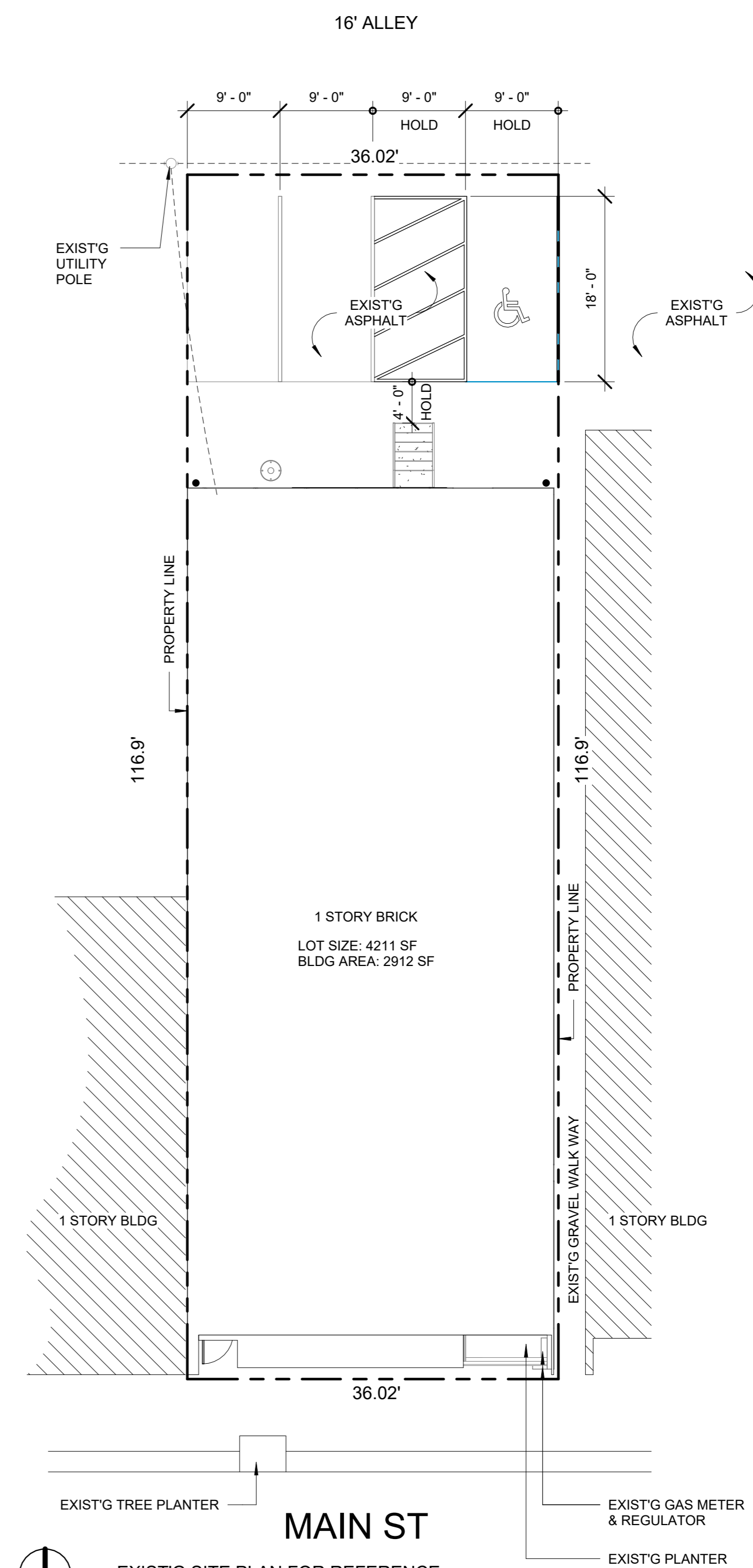


PROPOSED SOUTH ELEVATION

- ARCH ROOFS, WALLS AND FASCIA
COLONIAL RED PVDF
- NEW WINDOW IN EXIST'G OPEN'G
- FIBERON CLAD'G
SAHARA COLLECTION, MULGA
- PTD EXIST'G WINDOW FRAME
COLOR TO MATCH TRIM COLONIAL RED
- NEW SOLID DOOR
COLOR TO MATCH TRIM COLONIAL RED
- EXIST'G STONE COP'G TO REMAIN
- EXIST'G BRICK TO REMAIN



2 PROPOSED 1ST FLR PLAN
 1/8" = 1'-0"



1 EXIST'G SITE PLAN FOR REFERENCE
 1" = 10'-0"

AC SUBMITTAL

architects notes:

revisions:

#	description	date
AC SUBMITTAL		08.22.2023
project: 1059		
drawn: JZ SES		date: 08.22.2023
checked: -		scale: As indicated
sheet:		

PROPOSED PLAN /
 ELEVATION /
 MATERIALS/ PHOTOS

drawing:

A1.01



Village of Skokie APPEARANCE COMMISSION APPLICATION

Community Development Department - Building & Zoning Division
5127 Oakton St. Skokie, IL 60077
Phone 847/933-8223 Fax 847/933-8230

The Appearance Commission meets the 2nd Wednesday of each month at 7:30 p.m.

Until further notice, applications will only be accepted in a PDF format.

** Application for
9/13 M TG.*

APPLICATION DATE: 8-27-23

APPLICATION TYPE (Please check all that apply):

New Construction 1st Floor Addition 2nd Floor Addition Façade Signage Other

LAND USE:

Single Family Residential Multifamily Residential Mixed Use Commercial Industrial Other

SUBJECT ADDRESS: 8057 Niles Center Road

OWNER INFORMATION:

Please print legibly.

NAME(S): John Haben

ADDRESS: 8057 Niles Center Road CITY, STATE ZIP: Skokie, IL

PHONE#: 847-910-0208 EMAIL: JDH@HABENFUNERAL.COM

** General Contractor **

AGENT/PETITIONER INFORMATION (if other than owner):

NAME(S): Miller Architects & Builders DAYTIME PHONE #: (320) 426-0982

ADDRESS: 3335 W. St. Germain CITY, STATE ZIP: St. Cloud, MN

EMAIL: ANTONKE.MILLER@AB.COM SIGNATURE: Anton Kriz

Please submit the following PDFs to appearance@skokie.org to complete your digital-only application: *(Project Mgr.)*

1. Elevations, floor plans, and site plans. Scale 1/4" = 1'-0" is preferred, but not required. If the file size is greater than 5MB, multiple emails are allowed. Ensure "Appearance Commission PDF" and the project's property address are in the subject line of the email. Color elevations or one color rendering is required.
2. Completed Zoning Information Worksheet (residential projects only)
3. Photographs (all sides of the subject building and the fronts of neighboring buildings)
4. Excerpts of brochures and/or cut sheets of new materials and colors proposed for the project. Matching existing materials and colors can be confirmed with the submitted photographs.
5. Plat of Survey

*** The Building, Zoning, will not take in or hold material or color samples.

*** Visit <https://www.skokie.org/357/Appearance-Commission> to access the staff report prior to the meeting.

Fee Schedule

Residential Site (new) ...	\$100 plus \$50.00 per unit
Non-Residential Site* (new) ...	\$100 plus \$50.00 per 1,000 square feet (based on square footage of building)

* Any non-residentially zoned site (Business, Industrial, Mixed-Use districts)

Any Other Appearance Review (Additions, Façade, Sign Package, etc.) ... \$50.00

If you have already paid for a preliminary plan review there is no charge.

For Office Use Only:

Case Number _____ Meeting Date _____

Acct # NR Amt \$ _____ Cash / Credit Card/ Check # _____

Any required fees or monies owed by the applicant to the Village must be paid as a condition of approval.



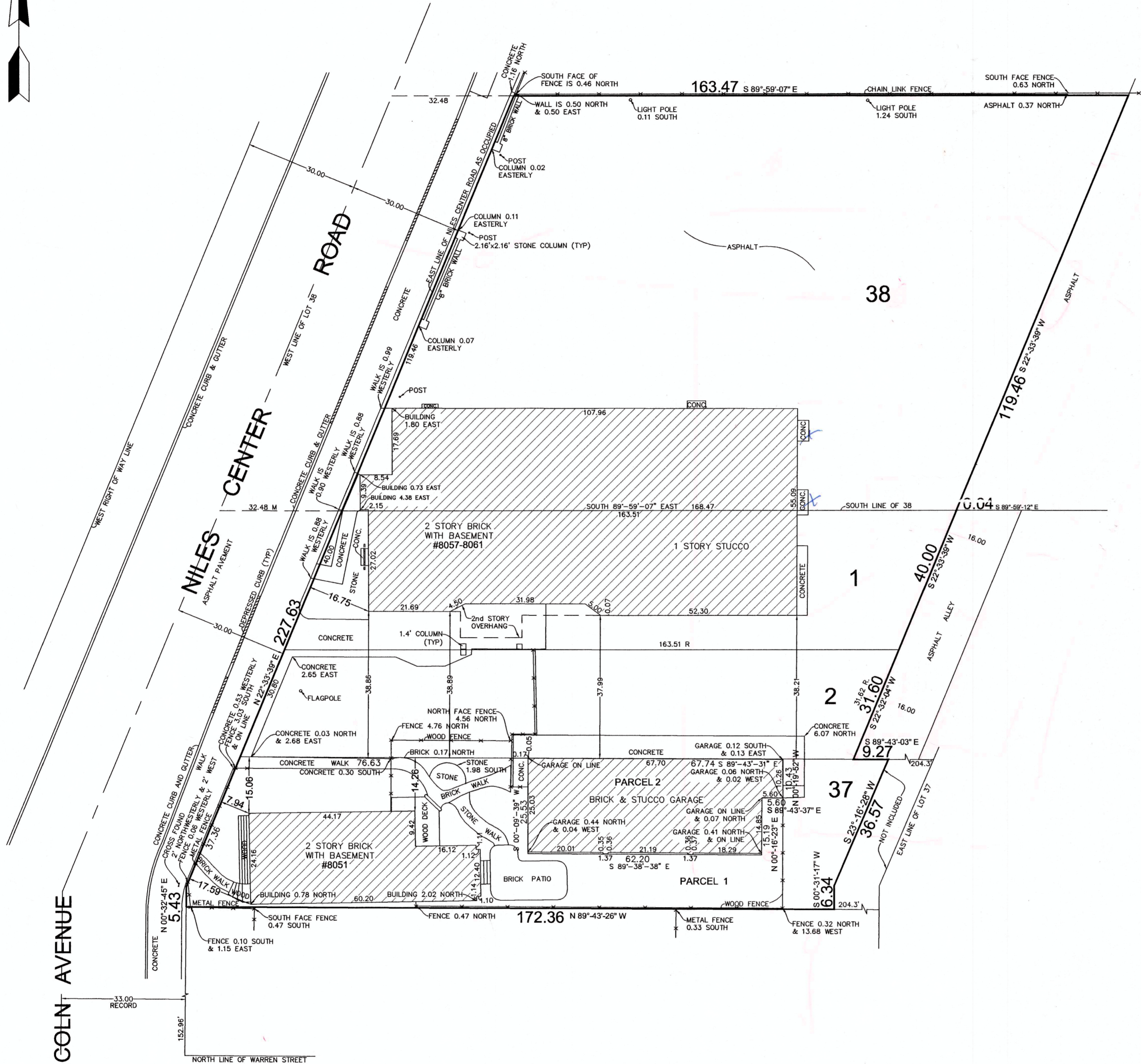
PLAT OF SURVEY

BY:
SAMBORSKI, MATTIS, INC.
LAND SURVEYORS
4332 OAKTON STREET SKOKIE, ILL. 60076
(847) 674- 7373
OF

LOTS 1 AND 2 IN THE RE-SUBDIVISION OF LOT 37 (EXCEPT THE SOUTH 40 FEET THEREOF) OF PETER BLAMEUSER'S SUBDIVISION OF THE SOUTH 105 ACRES OF THE SOUTHEAST QUARTER OF SECTION 21, TOWNSHIP 41 NORTH, RANGE 13, EAST OF THE THIRD PRINCIPAL MERIDIAN, IN COOK COUNTY, ILLINOIS, ALSO;

PARCEL 1: THE SOUTH 40 FEET OF LOT 37 (EXCEPT THE EAST 204.30 FEET THEREOF AS MEASURED ALONG THE NORTH LINE OF THE SOUTH 40 FEET OF SAID LOT 37) IN THE SUBDIVISION OF THE SOUTH 105 ACRES OF THE SOUTHEAST QUARTER OF SECTION 21, TOWNSHIP 41 NORTH, RANGE 13, EAST OF THE THIRD PRINCIPAL MERIDIAN, (EXCEPTING THEREFROM THE FOLLOWING DESCRIBED PARCEL: COMMENCING AT THE INTERSECTION OF THE NORTH LINE OF THE SAID SOUTH 40 FEET AND THE EAST LINE OF GROSS POINT ROAD, AS MONUMENTED AND OCCUPIED; THENCE NORTH 90° EAST ALONG SAID NORTH LINE OF THE SAID SOUTH 40 FEET, A DISTANCE OF 76.63 FEET, TO THE PLACE OF BEGINNING; THENCE SOUTH 0° 06' 46" EAST 25.53 FEET; THENCE NORTH 89° 55' 02" EAST 62.20 FEET; THENCE NORTH 0° EAST 15.19 FEET; THENCE NORTH 90° EAST 5.60 FEET; THENCE NORTH 0° 20' 06" EAST 10.43 FEET TO A POINT ON THE NORTH LINE OF THE SAID SOUTH 40 FEET; THENCE NORTH 90° WEST ALONG SAID NORTH LINE 67.91 FEET TO THE PLACE OF BEGINNING); ALSO;

PARCEL 2: THAT PART OF THE SOUTH 40 FEET OF LOT 37 IN THE SUBDIVISION OF THE SOUTH 105 ACRES OF THE SOUTHEAST QUARTER OF SECTION 21, TOWNSHIP 41 NORTH, RANGE 13, EAST OF THE THIRD PRINCIPAL MERIDIAN, DESCRIBED AS FOLLOWS: COMMENCING AT THE INTERSECTION OF THE NORTH LINE OF THE SAID SOUTH 40 FEET AND THE EAST LINE OF GROSS POINT ROAD, AS MONUMENTED AND OCCUPIED; THENCE NORTH 90° EAST ALONG SAID NORTH LINE OF THE SAID SOUTH 40 FEET A DISTANCE OF 76.63 FEET, TO THE PLACE OF BEGINNING; THENCE SOUTH 0° 06' 46" EAST 25.53 FEET; THENCE NORTH 89° 55' 02" EAST 62.20 FEET; THENCE NORTH 0° EAST 15.19 FEET; THENCE NORTH 90° EAST 5.60; THENCE NORTH 0° 20' 06" EAST 10.43 FEET TO A POINT ON THE NORTH LINE OF THE SAID SOUTH 40 FEET; THENCE NORTH 90° WEST ALONG SAID NORTH LINE 67.91 FEET TO THE PLACE OF BEGINNING, ALL IN COOK COUNTY, ILLINOIS.



SCALE: 1 inch = 15 feet
ORDER NO. 52-87 B
ORDERED BY: JOHN HABEN

Note:
1. Please check Legal Description with Deed and report any discrepancies immediately.
2. Compare all points before building by same and report any discrepancies at once.
3. Building lines, if any, shown herein are building lines shown on the recorded subdivision plan.
4. Consult local authorities for building lines established by local ordinance.
5. No dimensions are to be assumed by scaling.
6. Bearing Dates in Ascending.

04/17/2004
STATE OF ILLINOIS }
COUNTY OF COOK } SS
This is to certify that this Professional Service conforms to the current Illinois Minimum Standards of Practice applicable to boundary surveys. Field work completed this 20th day of February A.D. 2003 and 23rd Day of January A.D. 2004.
Michael J. Mattis, Illinois Professional Land Surveyor No. 2104 License expires 1/30/2004
Illinois Professional Land Survey Firm No. 018-000128 02004 Samborski, Mattis, Inc.

H A B E N F U N E R A L H O M E B U I L D I N G A D D I T I O N

PROJECT TEAM		SHEET INDEX	
OWNER: HABEN FUNERAL HOME & CREMATORY, LLC 8057 NILES CENTER ROAD SKOKIE, IL 60077 ATTN: JOHN HABEN PHONE: 847.673.6111	MECHANICAL ENGINEER: WT GROUP 2675 PRATUM AVENUE HOFFMAN ESTATES, ILLINOIS 60192 ATTN: MARK VENTRELLI PHONE: 224.293.6333	NO.	SHEET NAME
ARCHITECT: MILLER ARCHITECTURE INC. 3335 W. ST. GERMAIN STREET ST. CLOUD, MN 56302 ATTN: BRADLEY A. TOROK, AIA PHONE: 320.251.4109	ELECTRICAL ENGINEER: B-ELECTRIC, INC. 7220 ST. LOUIS AVENUE SKOKIE, ILLINOIS 60076 ATTN: DANIEL BEERS PHONE: 847.674.9200	A-001	TITLE SHEET
STRUCTURAL ENGINEER: NUTTER TRANKINA ENGINEERING 32023 ARMY TRAIL ROAD - SUITE 100 WAYNE, IL 60184 ATTN: JOHN TRANKINA PHONE: 630.513.8711	GENERAL CONTRACTOR: MILLER ARCHITECTS & BUILDERS, LLC. 3335 W. ST. GERMAIN STREET ST. CLOUD, MN 56302 ATTN: ANTON KRIZ PHONE: 320.426.0982 (MOBILE)	A-101	SITE PLAN / DEMOLITION PLAN
CIVIL ENGINEER: DANIEL CREANEY COMPANY 450 SKOKIE BLVD. SUITE 105 NORTHBROOK, IL 60062 ATTN: ROBERT HANSEN PHONE: 847.480.5757		A-201	FIRST FLOOR PLAN
		A-301	REF. CEILING PLAN / ROOF PLAN / SCHEDULES
		A-401	BUILDING ELEVATIONS / SECTIONS
		A-501	DETAILS
		A-601	SPECIFICATIONS
		A-802	SPECIFICATIONS
		C	
		C-1 of 4	EXISTING CONDITIONS / DEMILITION PLAN
		C-2 of 4	PROPOSED PAVING PLAN
		C-3 of 4	PROPOSED GRADING PLAN
		C-4 of 4	GENERAL NOTES / DETAILS
		E	
		E-301a	MODIFIED REFLECTED CEILING PLAN
		M	
		M101	FIRST FLOOR MECHANICAL PLAN
		S	
		S1	GENERAL NOTES
		S2	FOUNDATION PLAN / ROOF FRAMING PLAN
		S3	DETAILS

ABBREVIATIONS			
AB ANCHOR BOLT	FPW FLOOD PROTECTION WALL	PREF PRE-FINISHED	PF POUNDS PER SQUARE FOOT
ACOUS ACOUSTICAL	FM FACTORY MUTUAL	PSI POUNDS PER SQUARE INCH	PINT PAINT
ADJUST ADJUSTABLE	FRP FIBERGLASS REINFORCED	PVC POLYVINYL CHLORIDE	PVG PAVING
ADJ ADJACENT	FRPP FIREPROOF	PMT PAVEMENT	PL PROPERTY LINE
AD ACCESS DOOR	FSEC FOOD SERVICE	PLC PRECAST	PPF PRE-FINISHED PANEL
AFF ABOVE FINISH FLOOR	FS FULL SIZE	PLC PRECAST	QT QUARRY TILE
AGG AGGREGATE	FT FOOTING	R RADIUS	RA RETURN AIR
AHU AIR HANDLING UNIT	FTG FOOTING	RIA RETURN AIR GRILLE	RAG REINFORCED CONCRETE
ALT ALTERNATE	FT FURNISHED	RCP REINFORCED CONCRETE	RD ROOF DRAIN
ALUM ALUMINUM	FURN FURNISHED	REC RECESSED	REBAR REINFORCED BAR
ANOD ANODIZED	FURN FURNISHED	RECEP RECEPTACLE	RECEPT RECEPTION
APPROX APPROXIMATELY	FURR FURRED (ING)	RECOM RECOMMENDATION	REG REGULATION
AP ACCESS PANEL	FURV FIRE VALVE CABINET	RENE REINFORCED	REQ REQUIRED
ARCH ARCHITECTURAL	GALV GALVANIZED	RES RESILIENT	REVISION REVISION
ASPH ASPHALT	GALV GALVANIZED	RET RETURN	REV REVISION
ATN ATTENUATION(ING)	GA GAGE	REF REFER TO	RFG ROOFING
AUTO AUTOMATIC	GALV GALLON	RH RIGHT HAND	RI RISER
AUX AUXILIARY	GB GYPSUM BOARD	RM ROOM	ROW RIGHT OF WAY
AVE AVENUE	GC GENERAL CONTRACTOR	RSB REBAR	SC SOLID CORE
AVERAGE AVERAGE	GD GRADE, GRADING	RECEP RECEPTACLE	SCHED SCHEDULE
AC AIR CONDITIONING	GEN GENERAL	RECEP RECEPTACLE	SECT SECTION
AD ADD	GI GALVANIZED IRON	RECEP RECEPTACLE	SE SQUARE FEET
ADDD ADD VISUAL	GL GLASS, GLAZING	RECOM RECOMMENDATION	SECT SECTION
AD BOARD	GMP GUARANTEED MAXIMUM	REG REGULATION	SE SHELVES (ING)
BLDG BUILDING	GR PRICE	REQ REQUIRED	SH SHEET
BLKG BLOCKING	GR GROUND	RES RESILIENT	SHV SHEATHING
BLK BLOCK	GT GRANITE TILE	RET RETURN	SHV SHEATHING
BM BEAM	GYP GYPSUM	REV REVISION	SHV SHEATHING
BOT BOTTOM	HB HOSE BIBB	REF REFER TO	SHV SHEATHING
BRG BEARING	HC HOLLOW CORE	RFG ROOFING	SHV SHEATHING
BRKT BRACKET	HCFP HANDICAPPED	RH RIGHT HAND	SHV SHEATHING
BST BASEMENT	HWDR HARDWARE	RI RISER	SHV SHEATHING
BSTW BETWEEN	HD HEAD	RM ROOM	SHV SHEATHING
BUR BUILT UP ROOFING	HFS HALF FULL SIZE	ROW RIGHT OF WAY	SHV SHEATHING
B&B BALLED & BURLAPPED	HM HOLLOW METAL	SC SOLID CORE	SHV SHEATHING
B BACK TO BACK	HOR HORIZONTAL	SCHED SCHEDULE	SHV SHEATHING
B.M BENCH MARK	HP HORSEPOWER	SECT SECTION	SHV SHEATHING
BF BOTH FACES	HR HOUR	SE SQUARE FEET	SHV SHEATHING
CAB CABINET	HT HEIGHT	SECT SECTION	SHV SHEATHING
CB CATCH BASIN	HVAC HEATING/VENTILATING/	SHV SHEATHING	SHV SHEATHING
CCTV CLOSED CIRCUIT TELEVISION	HYD HYDRANT	SHV SHEATHING	SHV SHEATHING
CEM CEMENT	ID INSIDE DIAMETER	SHV SHEATHING	SHV SHEATHING
CER CERAMIC	INCAND INCANDESCENT	SHV SHEATHING	SHV SHEATHING
CFMF COLD FORMED METAL	INCL INCLUDE	SHV SHEATHING	SHV SHEATHING
CIP CAST IN PLACE	INFO INFORMATION	SHV SHEATHING	SHV SHEATHING
CI PIPE CAST IRON PIPE	INSUL INSULATION (ING)	SHV SHEATHING	SHV SHEATHING
CJ CONTROL JOINT	INT INTERIOR	SHV SHEATHING	SHV SHEATHING
CKBD CHALKBOARD	IN INCH	SHV SHEATHING	SHV SHEATHING
CLG CEILING	IPS INSIDE PIPE SIZE	SHV SHEATHING	SHV SHEATHING
CLR CLEARANCE	JAN JANITOR	SHV SHEATHING	SHV SHEATHING
CL CLOSET	JST JOIST	SHV SHEATHING	SHV SHEATHING
CMU CONCRETE MASONRY UNIT	JT JOINT	SHV SHEATHING	SHV SHEATHING
CONTR COUNTER	KD KNOCK DOWN	SHV SHEATHING	SHV SHEATHING
COL COLUMN	LAM LAMINATE (D)	SHV SHEATHING	SHV SHEATHING
COMPRES COMPRESSIBLE	LAV LAVATORY	SHV SHEATHING	SHV SHEATHING
COMP COMPOSITION	LGTH LENGTH	SHV SHEATHING	SHV SHEATHING
CONC CONCRETE	LAM LAMINATE (D)	SHV SHEATHING	SHV SHEATHING
COND CONDITION	LAV LAVATORY	SHV SHEATHING	SHV SHEATHING
CONF CONFERENCE	LGTH LENGTH	SHV SHEATHING	SHV SHEATHING
CONST CONSTRUCTION	LAM LAMINATE (D)	SHV SHEATHING	SHV SHEATHING
CONTR CONTRACTOR	LAV LAVATORY	SHV SHEATHING	SHV SHEATHING
CONT CONTINUOUS	LGTH LENGTH	SHV SHEATHING	SHV SHEATHING
CORRU CORRUGATED	LH LEFT HAND	SHV SHEATHING	SHV SHEATHING
CORR CORRUGATED	LEV LEVEL	SHV SHEATHING	SHV SHEATHING
CG CORNER GAURD	LN LINEAR	SHV SHEATHING	SHV SHEATHING
CPT CARPET	LL LEVEL LOAD	SHV SHEATHING	SHV SHEATHING
CSMT CASEMENT	LT LIGHT	SHV SHEATHING	SHV SHEATHING
CTR CENTER	LWT LIGHTWEIGHT	SHV SHEATHING	SHV SHEATHING
CTSK COUNTERSUNK	MACH MACHINE	SHV SHEATHING	SHV SHEATHING
CU FT CUBIC FOOT (FEET)	MAINT MAINTENANCE	SHV SHEATHING	SHV SHEATHING
CU YD CUBIC YARD	MAS MASONRY	SHV SHEATHING	SHV SHEATHING
C CURB	MATL MATERIAL	SHV SHEATHING	SHV SHEATHING
C-C CENTER TO CENTER	MAX MAXIMUM	SHV SHEATHING	SHV SHEATHING
CAF CLOSET OPENING	MECH MECHANICAL	SHV SHEATHING	SHV SHEATHING
DEFL DEFLECTION	MEMB MEMBRANE	SHV SHEATHING	SHV SHEATHING
DF DRINKING FOUNTAIN	MEP MECHANICAL ELECTRICAL	SHV SHEATHING	SHV SHEATHING
DIAG DIAGONAL	MFR MANUFACTURER	SHV SHEATHING	SHV SHEATHING
DIA DIAMETER	MH MANHOLE	SHV SHEATHING	SHV SHEATHING
DIM DIMENSION	MIN MINIMUM	SHV SHEATHING	SHV SHEATHING
DISC DISCONNECT	MISC MISCELLANEOUS	SHV SHEATHING	SHV SHEATHING
DISP DISPENSER	ML METAL LATH	SHV SHEATHING	SHV SHEATHING
D DEAD LOAD	MO MASONRY OPENING	SHV SHEATHING	SHV SHEATHING
DAMP DAMP PROOFING	MR MOISTURE RESISTANT	SHV SHEATHING	SHV SHEATHING
DN DOWN	MTG MOUNTING	SHV SHEATHING	SHV SHEATHING
DR DOOR	MTL METAL	SHV SHEATHING	SHV SHEATHING
DS DOWNSPOUT	MUL MULCH	SHV SHEATHING	SHV SHEATHING
DTL DETAIL	NOM NOMINAL	SHV SHEATHING	SHV SHEATHING
DWC DRYWALL FURRING CHANNEL	NO, OR NUMBER	SHV SHEATHING	SHV SHEATHING
DWG DRAWING	NRC NOISE REDUCTION	SHV SHEATHING	SHV SHEATHING
D DEPTH	NTS NOT TO SCALE	SHV SHEATHING	SHV SHEATHING
EA EACH	OA OVERALL	SHV SHEATHING	SHV SHEATHING
EFOB EXTERIOR FACE OF BUILDING	OC ON CENTER (S)	SHV SHEATHING	SHV SHEATHING
EJ EXPANSION JOINT	OD OUTSIDE DIAMETER	SHV SHEATHING	SHV SHEATHING
ELAS ELASTIC (ELASTOMERIC)	OFCI OWNER FURNISHED	SHV SHEATHING	SHV SHEATHING
ELEC ELECTRICAL	OFI CONTRACTOR INSTALLED	SHV SHEATHING	SHV SHEATHING
ELEV ELEVATION	OFF OFFICE	SHV SHEATHING	SHV SHEATHING
EMER EMERGENCY	OFI OWNER FURNISHED	SHV SHEATHING	SHV SHEATHING
EP EXPLOSION PROOF	OH OVERHEAD	SHV SHEATHING	SHV SHEATHING
EQUIP EQUIPMENT	OPH OPERABLE PARTITION	SHV SHEATHING	SHV SHEATHING
EQ EQUAL	OPH OPERABLE PARTITION	SHV SHEATHING	SHV SHEATHING
ESR ELASTIC SHEET ROOFING	OPH OPERABLE PARTITION	SHV SHEATHING	SHV SHEATHING
EW ELECTRIC WATER COOLER	OPH OPERABLE PARTITION	SHV SHEATHING	SHV SHEATHING
EW EACH WAY	OPH OPERABLE PARTITION	SHV SHEATHING	SHV SHEATHING
EXH EXHAUST	OPH OPERABLE PARTITION	SHV SHEATHING	SHV SHEATHING
EXIST EXISTING	OPH OPERABLE PARTITION	SHV SHEATHING	SHV SHEATHING
EXPAN EXPANSION	OPH OPERABLE PARTITION	SHV SHEATHING	SHV SHEATHING
EXP EXPOSED	OPH OPERABLE PARTITION	SHV SHEATHING	SHV SHEATHING
EXT EXTERIOR	OPH OPERABLE PARTITION	SHV SHEATHING	SHV SHEATHING
FA FIRE ALARM	OPH OPERABLE PARTITION	SHV SHEATHING	SHV SHEATHING
FC FIRE CODE	OPH OPERABLE PARTITION	SHV SHEATHING	SHV SHEATHING
FD FLOOR DRAIN	OPH OPERABLE PARTITION	SHV SHEATHING	SHV SHEATHING
FEC FIRE EXTINGUISHER	OPH OPERABLE PARTITION	SHV SHEATHING	SHV SHEATHING
FIC FIRE HOSE CABINET	OPH OPERABLE PARTITION	SHV SHEATHING	SHV SHEATHING
FH FIRE HYDRANT	OPH OPERABLE PARTITION	SHV SHEATHING	SHV SHEATHING
FIN FINISH (ES)	OPH OPERABLE PARTITION	SHV SHEATHING	SHV SHEATHING
FIXT FIXTURE	OPH OPERABLE PARTITION	SHV SHEATHING	SHV SHEATHING
FLRG FLOORING	OPH OPERABLE PARTITION	SHV SHEATHING	SHV SHEATHING
FLR FLOOR	OPH OPERABLE PARTITION	SHV SHEATHING	SHV SHEATHING
FLSHG FLASHING	OPH OPERABLE PARTITION	SHV SHEATHING	SHV SHEATHING
FLUOR FLUORESCENT	OPH OPERABLE PARTITION	SHV SHEATHING	SHV SHEATHING

320.251.4109 | 320.251.4693 fx
3335 West St Germain Street
PO Box 1228
St Cloud, MN 56302

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Architect under the laws of the State of ILLINOIS.

Bradley A. Torok
Signature: BRADLEY A. TOROK
Reg. No.: 001.018042 Date: 07-21-2023
Design Firm Reg. No.: F 5993-562-3



DOCUMENT SIGNED LICENSE EXPIRES
07-21-2023 11-30-2024

HABEN FUNERAL HOME
BUILDING ADDITION
8057 NILES CENTER ROAD
SKOKIE, ILLINOIS 60077

REVISIONS		
Issue ID	Issue Name	Issue Date

SHEET TITLE		
TITLE	DATE	PROJ. NO.
A-001	7/21/23	32249

SHEET NO.
A-001

DRAWING CONVENTIONS

KEYED NOTE: (X) KEYED NOTE

DEMOLITION NOTE / REVISION NUMBER: (Triangle with X) DEMOLITION NOTE / REVISION NUMBER

LEVEL DIMENSION: (Double arrow) LEVEL DIMENSION

ROOM NAME / ROOM NUMBER: (Line) ROOM NAME / ROOM NUMBER

W-00X: (Line) WALL LABEL

G: (Circle) STRUCTURAL GRID

DETAIL NAME / SCALE: (Circle) DETAIL NAME / SCALE

NORTH ARROW: (North arrow symbol)

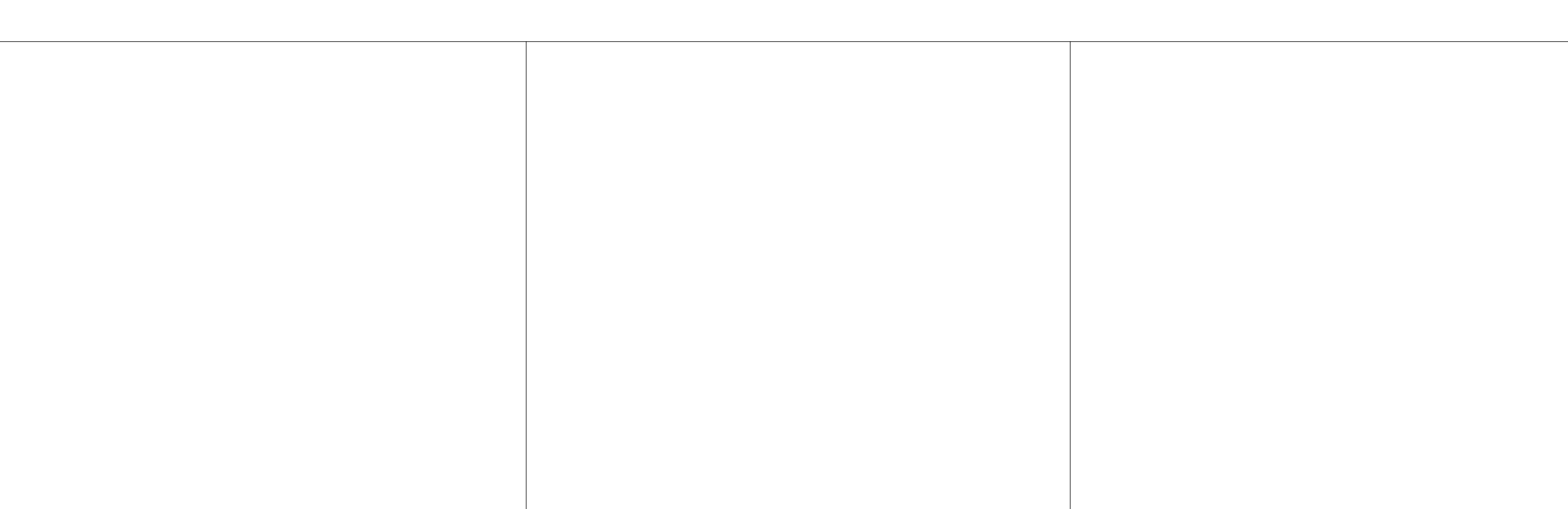
SECTION INDICATOR: (Line with circle) SECTION INDICATOR

ELEVATION INDICATOR: (Line with circle) ELEVATION INDICATOR

REVISION INDICATOR: (Cloud shape) REVISION INDICATOR

DOOR REFERENCE: (Line with circle) DOOR REFERENCE

WINDOW REFERENCE: (Line with circle) WINDOW REFERENCE

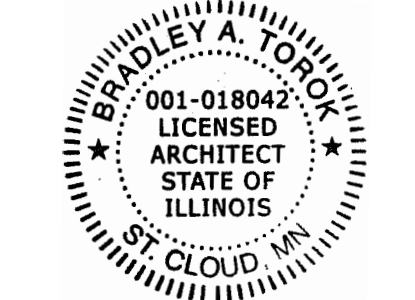


PROJECT LOCATION

Map showing the project location at 8057 Niles Center Road, Skokie, IL. The map includes surrounding streets like Madison St, Lockwood Ave, and Oakton St, and nearby landmarks like Skokie Public Library and Skokie House.

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Architect under the laws of the State of ILLINOIS.

Signature: *Bradley A. Torok*
BRADLEY A. TOROK
Reg. No.: 001-018042 Date: 07-21-2023
Design Firm Reg. No.: F 5993-562-3



DOCUMENT SIGNED LICENSE EXPIRES
07-21-2023 11-30-2024

**HABEN FUNERAL HOME
BUILDING ADDITION**
8057 NILES CENTER ROAD
SKOKIE, ILLINOIS 60077

REVISIONS

Issue ID	Issue Name	Issue Date

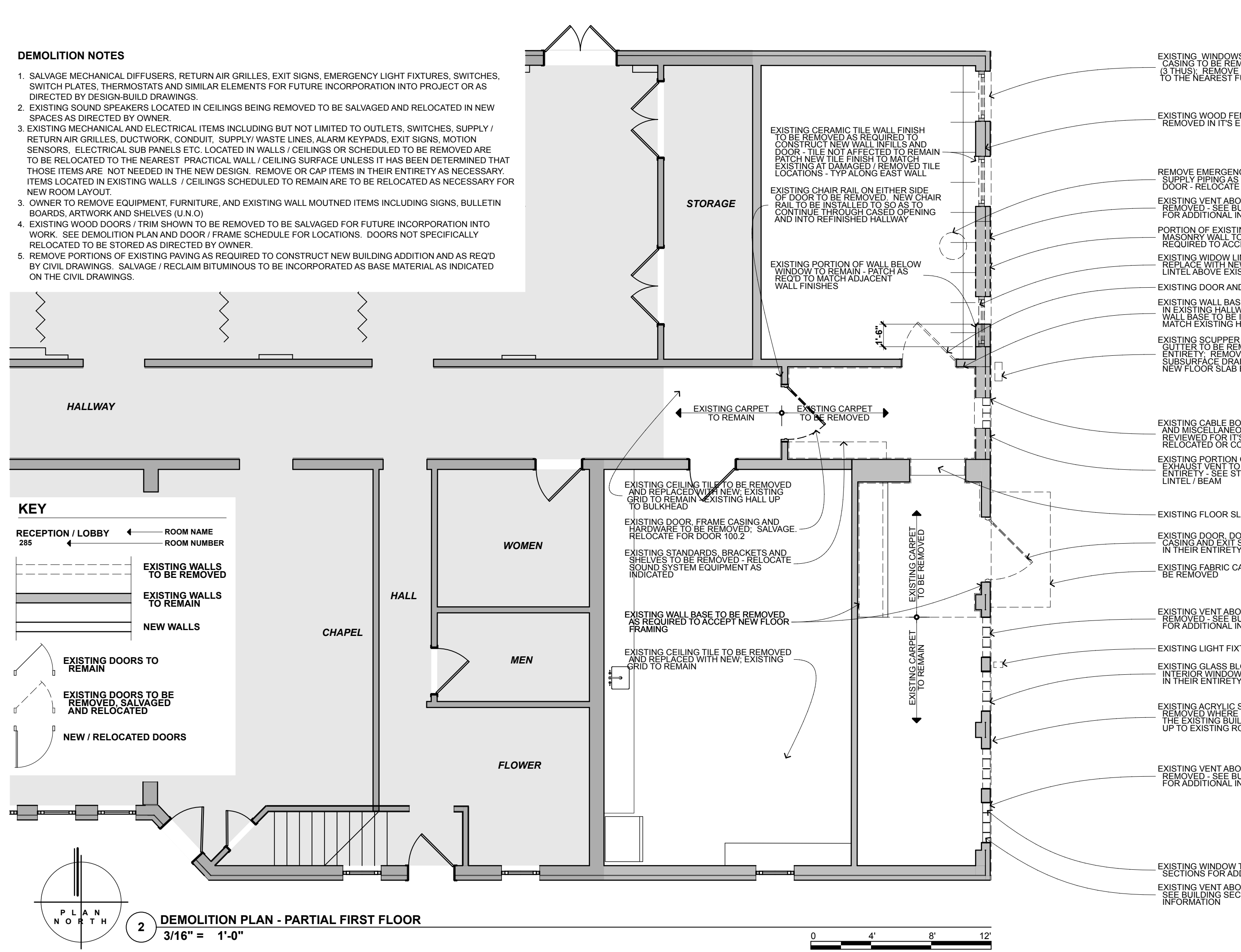
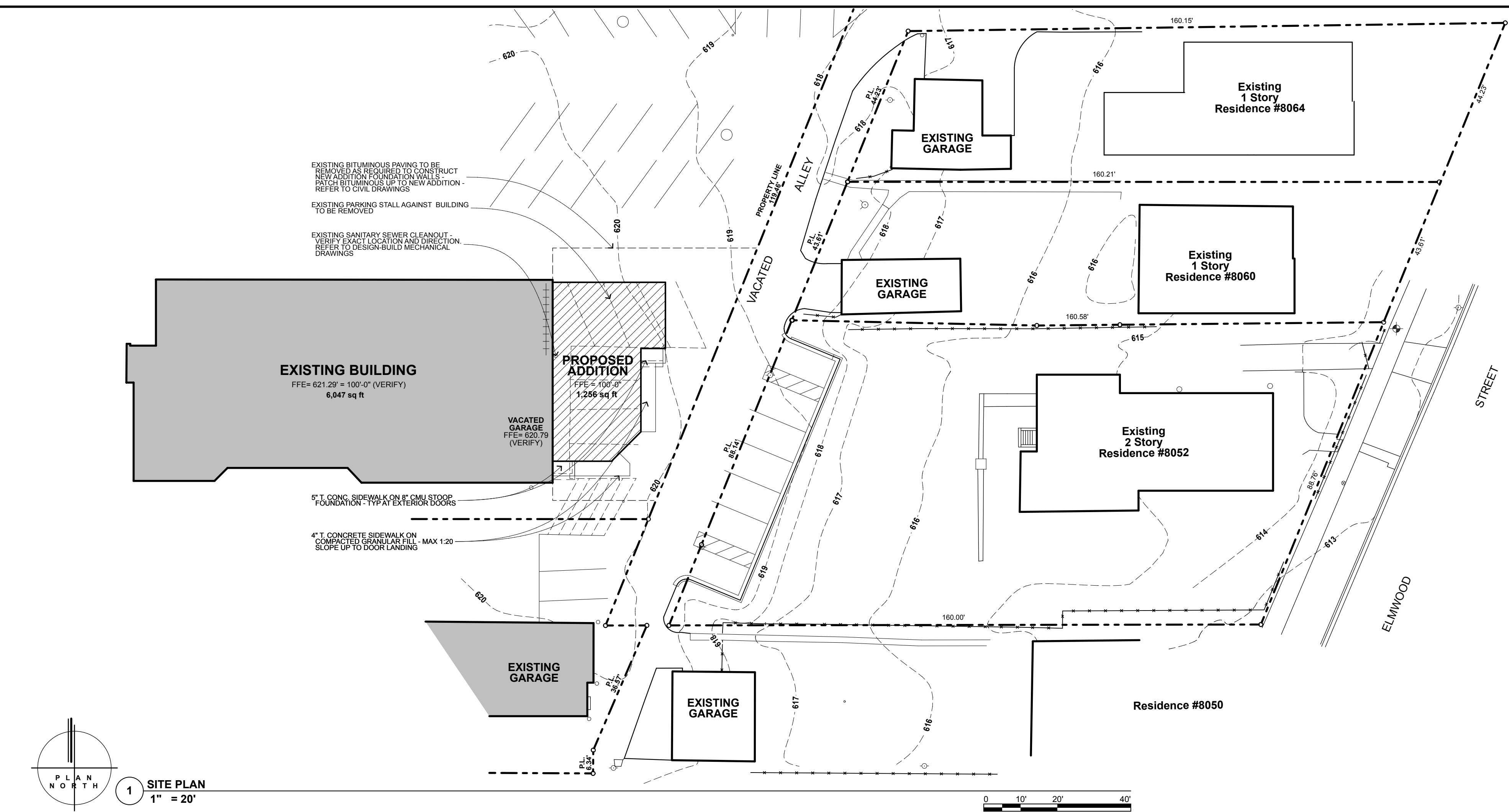
SHEET TITLE
SITE PLAN / DEMOLITION PLAN

DRAWN BY: S/JG/BAT	DATE: 7/21/23	PROJ. NO.: 32249
------------------------------	-------------------------	----------------------------

SHEET NO.
A-101

GENERAL NOTES - SITE PLAN

- THE GENERAL CONTRACTOR SHALL STAKE OUT BUILDING AND PAVING SURFACES PRIOR TO THE COMMENCEMENT OF CONSTRUCTION. NOTIFY THE ARCHITECT OF ANY DISCREPANCIES BETWEEN THE PLANS AND IN-FIELD DIMENSIONS FOR RESOLUTION.
- CONTRACTORS SHALL COMPLETELY FAMILIARIZE THEMSELVES WITH THE SITE CONDITIONS PRIOR TO SUBMITTING BIDS.
- VERIFY THE LOCATIONS OF ALL UTILITY LINES PRIOR TO CONSTRUCTION. CONTACT DIGGERS HOTLINE FOR FURTHER INFORMATION.
- PROVIDE SITE GRADING TO ACHIEVE POSITIVE DRAINAGE AWAY FROM THE BUILDING AND ENTRANCES. SEE CIVIL DRAWINGS FOR GRADING AND DRAINAGE REQUIREMENTS.
- CONTRACTOR SHALL MAINTAIN TEMPORARY SITE ACCESS AND EMPLOY SOIL CONSERVATION TECHNIQUES AS REQUIRED BY THE LOCAL MUNICIPALITY. ALL CARE SHALL BE TAKEN TO MINIMIZE DISTURBANCES TO ADJACENT STRUCTURES AND SITE ELEMENTS. IN-PLACE ELEMENTS DAMAGED BY CONSTRUCTION OPERATIONS TO BE REPLACED TO MATCH EXISTING CONDITIONS.
- PAVING TO BE CONSTRUCTED WITH MAXIMUM 2% SLOPE AT HANDICAP ACCESS AISLES AND ACCESS PATH TO ENTRY (TYP. U.N.O.).
- NEW SIDEWALKS TO MATCH EXISTING ELEVATIONS WHERE NEW ABUTS EXISTING.
- PATCH EXISTING PAVING WHERE NEW CONSTRUCTIONS ABUT EXISTING. PATCH AGGREGATE BASE AND SUB-BASE AS OCCURS TO MATCH ADJACENT EXISTING CONDITIONS. MATCH EXISTING PAVING ELEVATIONS WHERE NEW ABUTS EXISTING.
- REFER TO CIVIL DRAWINGS FOR DIMENSIONED PLAN AND SITE DETAILS.



I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Architect under the laws of the State of ILLINOIS.

Signature: *Bradley A. Torok*
BRADLEY A. TOROK
Reg. No.: 001.018042 Date: 07-21-2023
Design Firm Reg. No.: F 5993-562-3



DOCUMENT SIGNED 07-21-2023 LICENSE EXPIRES 11-30-2024

HABEN FUNERAL HOME BUILDING ADDITION

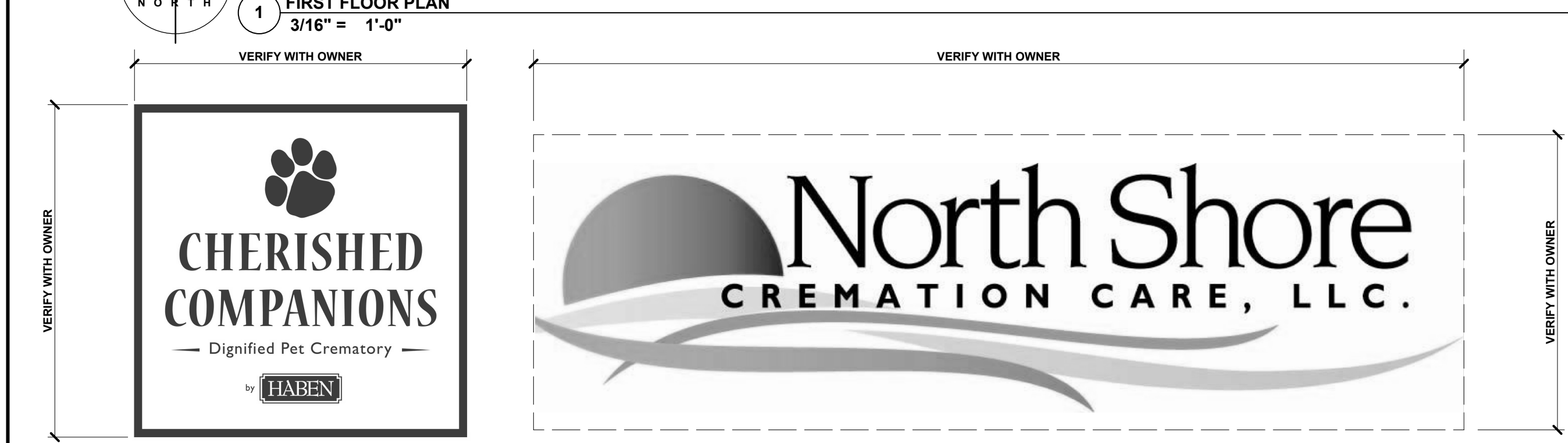
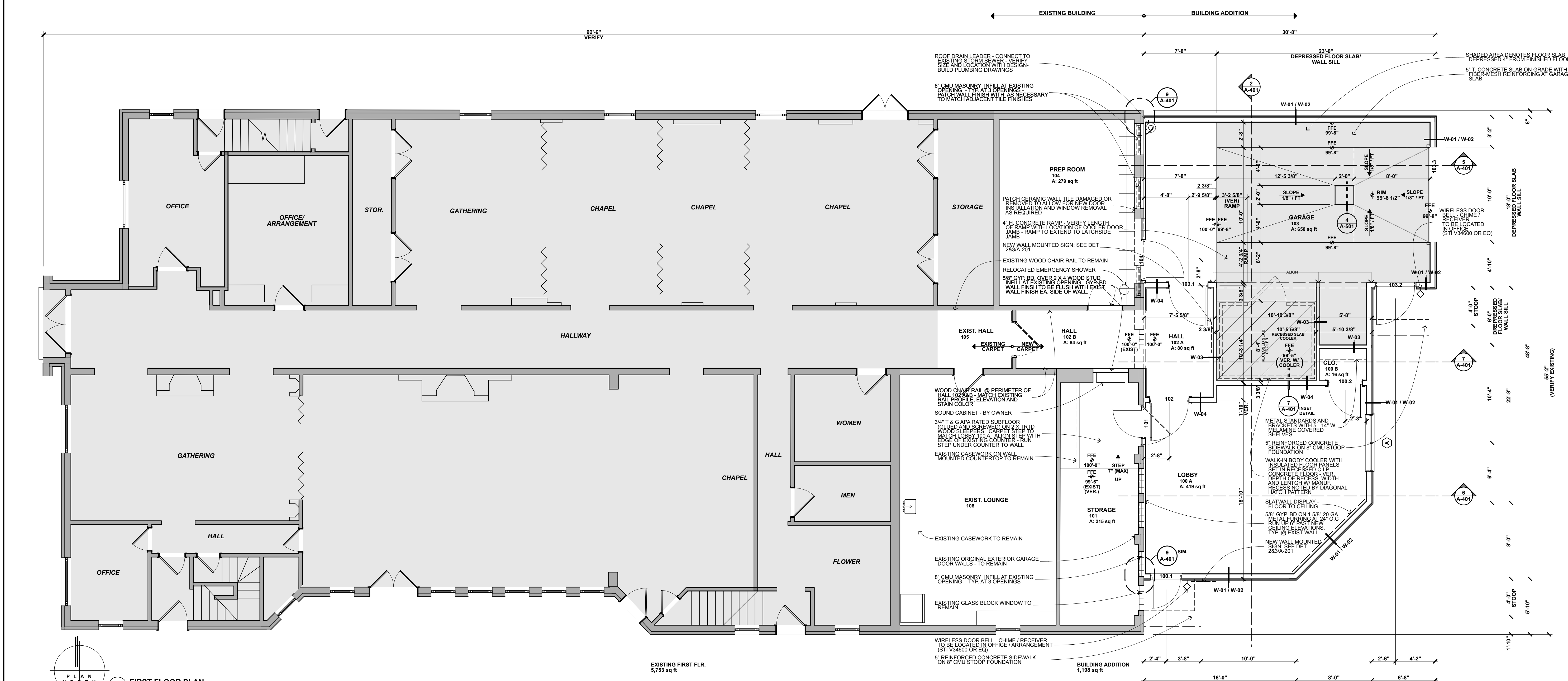
8057 NILES CENTER ROAD
SKOKIE, ILLINOIS 60077

Issue ID	Issue Name	Issue Date

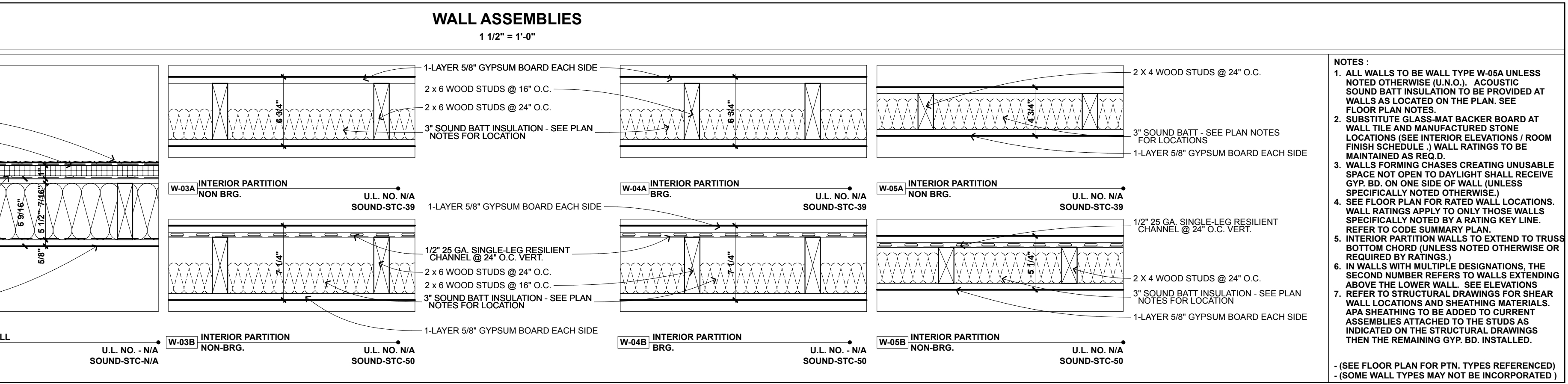
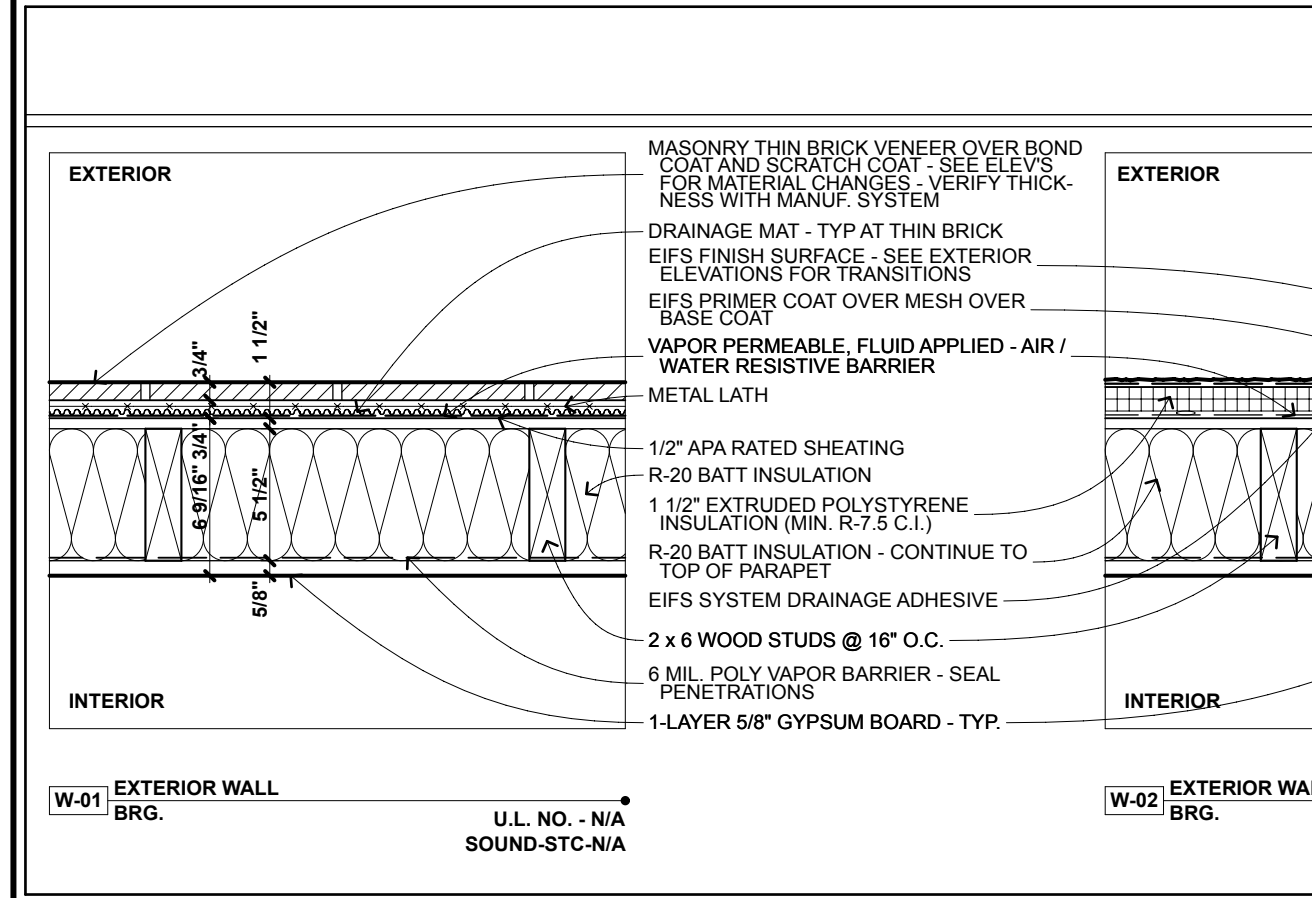
SHEET TITLE
FIRST FLOOR PLAN

DRAWN BY: SJB BAT **DATE:** 7/21/23 **PROJ. NO.:** 32249

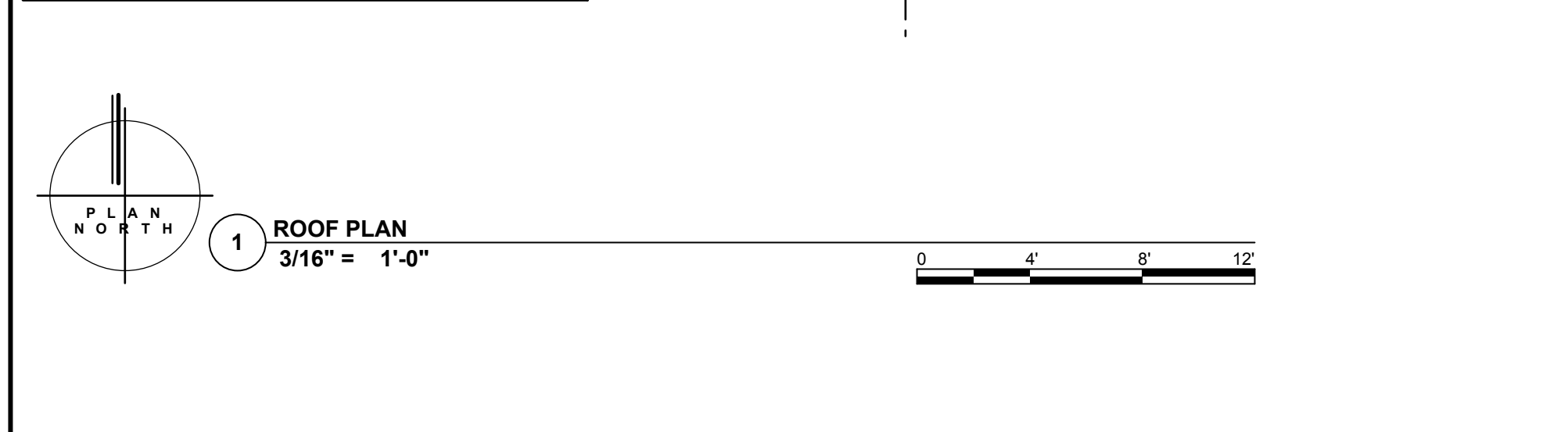
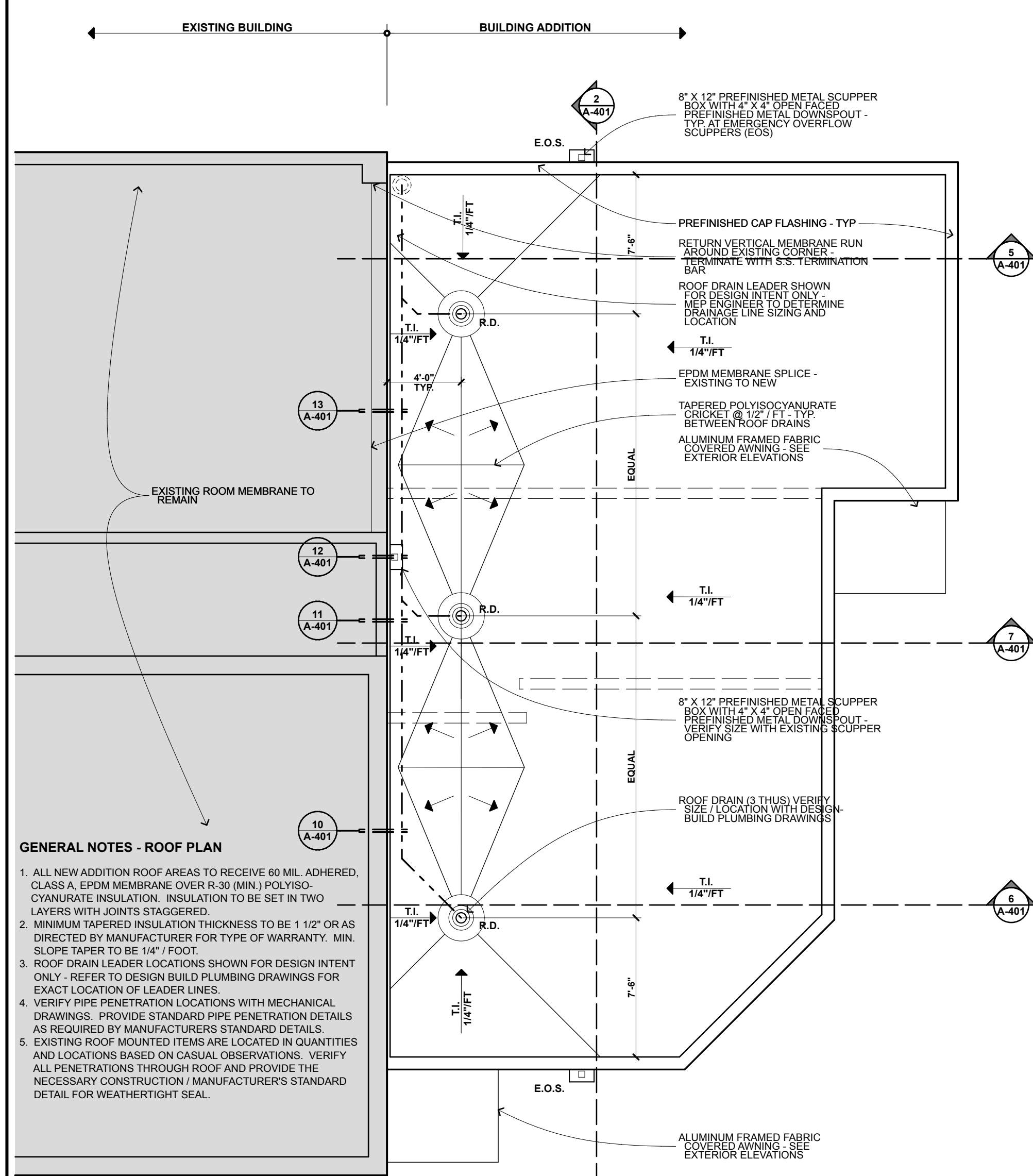
SHEET NO.
A-201



1 FIRST FLOOR PLAN
3/16" = 1'-0"
VERIFY WITH OWNER



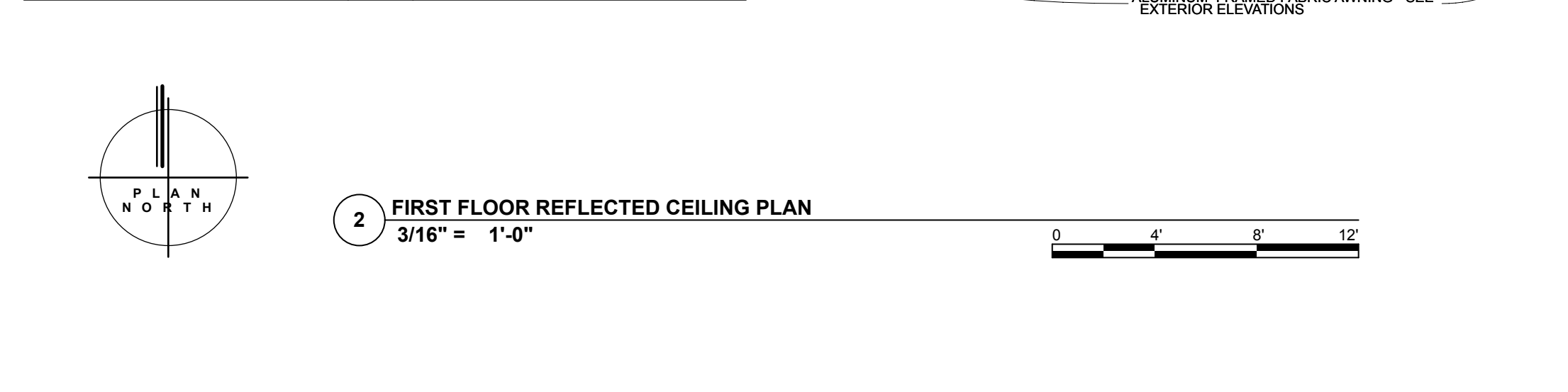
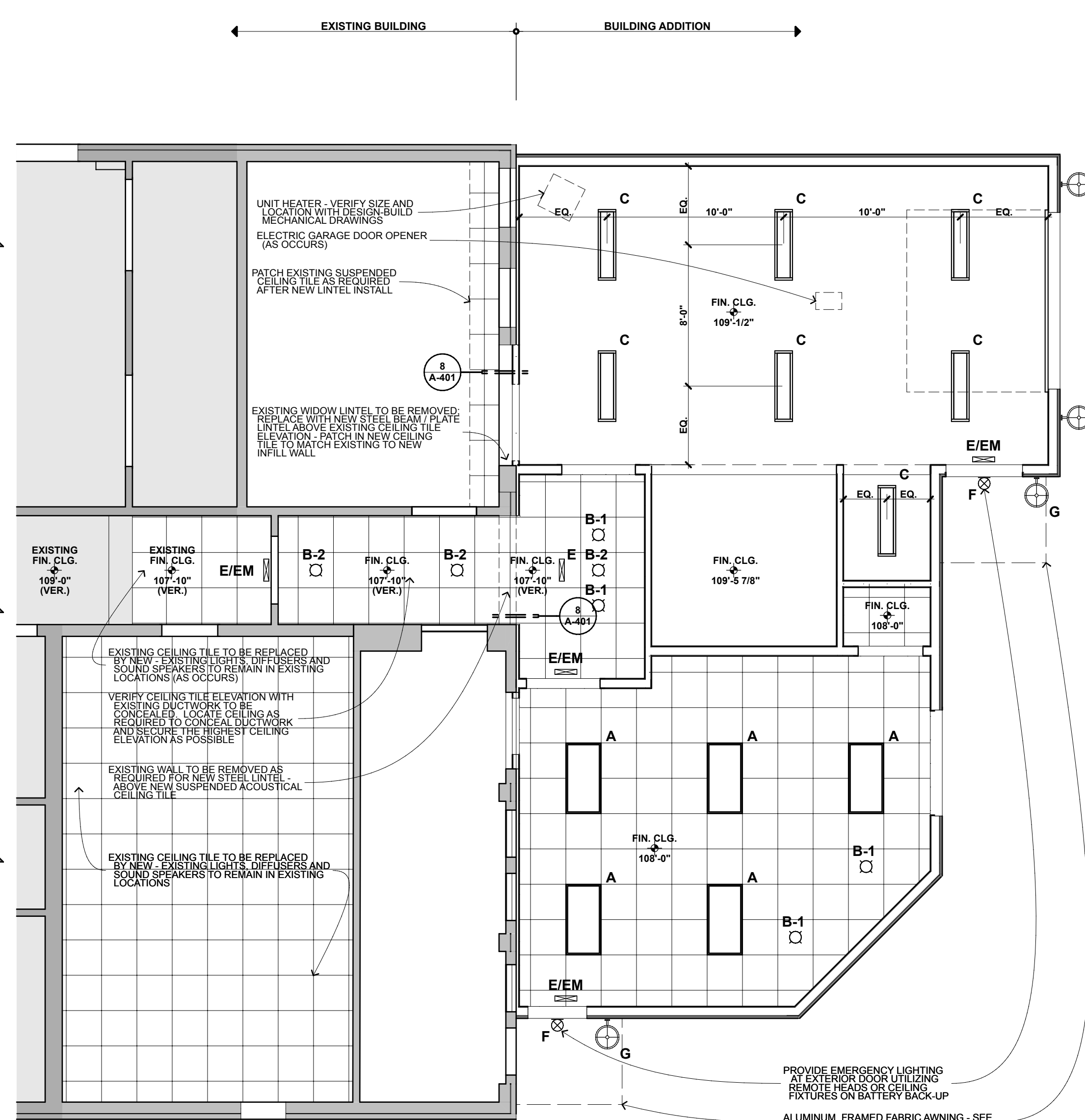
- GENERAL NOTES - FLOOR PLAN**
- ALL CONSTRUCTION IS INTENDED TO BE IN CONFORMANCE W/ FEDERAL & STATE LAWS, CURRENT LOCAL ORDINANCES AND BUILDING CODES AND THE ILLINOIS ACCESSIBILITY CODE. REPORT ANY DISCREPANCIES TO THE ARCHITECT BEFORE PROCEEDING WITH THE WORK.
 - PROVIDE 3" SOUND ATTENUATION BATT INSULATION THROUGHOUT ENTIRE LENGTH AND HEIGHT OF PERIMETER WALLS AND INFILLS OF ROOMS (2. WALLS RECEIVING INSULATION TO BE SEALED AT HEAD AND SILL LOCATIONS WITH ACOUSTICAL SEALANT. PENETRATIONS THROUGH WALLS INCLUDING BUT NOT LIMITED TO SWITCHES/OUTLETS, AIR TRANSFER GRILLES, CONDUITS, DUCTWORK ETC. TO BE OFFSET AND SEALED TO LIMIT THE TRANSFER OF SOUND THROUGH SPACES.
 - WALLS TO BE WALL TYPE NO. W-05A UNLESS NOTED OTHERWISE. REFER TO FLOOR PLAN AND WALL SCHEDULE FOR WALL TAG LOCATIONS AND DESCRIPTIONS. REFER TO CODE SUMMARY FOR RATING LOCATIONS.
 - FINISH WALL UP TO 6" PAST CEILING LINE. WALLS EXPOSED TO VIEW TO RECEIVE LEVEL 4 FINISH.
 - ALL DIMENSIONS ARE FROM FACE OF FOUNDATION WALLS TO CENTER OF NEW WALL STUD FRAMING (U.N.O.), BEFORE PROCEEDING WITH CONSTRUCTION VERIFY CONTRACT DOCUMENTS AND FIELD CONDITIONS AND DIMENSIONS FOR ACCURACY. IF THERE ARE QUESTIONS CONCERNING THESE OR OTHER COORDINATION ITEMS, NOTIFY THE ARCHITECT IMMEDIATELY FOR WRITTEN INSTRUCTIONS BEFORE PROCEEDING WITH THE WORK.
 - CONTRACTOR TO VERIFY EQUIPMENT LOCATIONS INCLUDING OWNER PROVIDED EQUIPMENT, FURNISHINGS AND REQUIREMENTS WITH EQUIPMENT SUPPLIERS AND TENANT FOR A COMPLETE INSTALLATION. GENERAL CONTRACTOR TO COORDINATE LOCATIONS AND SECURE DRAWINGS AS NECESSARY FOR MECHANICAL, ELECTRICAL AND PLUMBING PORTIONS OF THE WORK AS NECESSARY.
 - GENERAL CONTRACTOR TO COORDINATE THE INSTALLATION OF THE FIRE SPRINKLER SYSTEM WITH LOCAL AUTHORITIES HAVING JURISDICTION INCLUDING SECURING DRAWINGS AS REQUIRED FOR PERMITTING.
 - FIRST FLOOR AREAS UNDER BUILDING TO RECEIVE VAPOR RETARDER BENEATH SLAB. REFER TO SPECIFICATIONS FOR TYPE.
 - FIRST FLOOR SLAB TO BE 5" THICK CONCRETE SLAB ON GRADE WITH SYNTHETIC REINFORCED MESH THROUGHOUT OVER 15 MIL. VAPOR BARRIER AND COMPACTED GRANULAR FILL U.N.O.
 - SEE FUTURE MOUNTING SCHEDULE FOR HEIGHTS AND LOCATIONS OF FIXTURES AND ACCESSORIES.
 - PROVIDE 2 X WOOD BLOCKING IN WALLS AS REQUIRED TO SECURELY FASTEN WALL MOUNTED ITEMS INCLUDING BUT NOT LIMITED TO COUNTERTOPS, SHELVES, CABINETS, GRAB BARS, TOILET PARTITIONS, MIRRORS, WATER COOLERS, SIGNS AND OWNER REQUIRED WALL MOUNTED ITEMS.
 - CONTRACTOR TO FIELD VERIFY SITE CONDITIONS PRIOR TO COMMENCING CONSTRUCTION.
 - WINDOWS WITHIN 24" OF DOOR TO BE SAFETY GLASS. ALL GLAZING IN HAZARDOUS LOCATIONS SHOULD BE TEMPERED FOR IMPACT RESISTANCE. ALL GLASS WITH 18-INCHES FROM FLOOR, WITHIN A 24-INCH ARC FROM DOOR EDGES, AND IF BOTTOM EDGE OF GLAZING IS LESS THAN 60-INCHES ABOVE THE WALKING SURFACE, SUCH GLASS SHOULD BE TEMPERED.
 - CONTRACTOR TO PROVIDE CAULKING AT THE FOLLOWING AREAS: AT CABINET ENDS, WHERE THEY MEET THE WALL FINISH AT HOLLOW METAL FRAME PERIMETERS, BOTH SIDES. SEE SPECIFICATIONS SECTION 09300 FOR SEALANT AT CERAMIC TILE.
 - EACH TRADE IS RESPONSIBLE FOR PENETRATIONS THROUGH RATED ASSEMBLIES. REFER TO WALL TYPES FOR RATED CONDITIONS. PROVIDE SHOP DRAWINGS TO THE ARCHITECT FOR APPROVAL IF RATINGS ARE REQUIRED.
 - ALIGN INTERIOR WALL SURFACES AND CEILING SLOTTES (AS THEY OCCUR) WITH EXTERIOR WALL SURFACES WHERE INTERIOR MEETS EXTERIOR AT INSIDE EXTERIOR CORNERS.



NO.	ROOM NAME	FLOORS		WALLS				CEILINGS			NOTES / REMARKS	
		MAT'L	FLOOR	NORTH	SOUTH	EAST	WEST	FINISH	MAT'L	HEIGHT		FINISH
100A	LOBBY	CONC	CPT	V	GB	GB	GB	PNT	ACT-1	8'-0"	-	
100B	CLO.	CONC	CPT	V	GB	GB	GB	PNT	ACT-1	8'-0"	-	
101	STORAGE	EX	EX / CPT	WD	EX	EX	EX	PNT	EX	-	-	5
102A	HALL	CONC	CPT	WD	GB	GB	GB	PNT	ACT-1	8'-0"	-	1, 6
102B	HALL	EX	CPT	WD	EX	EX	EX	PNT	ACT-1	8'-0"	-	1, 6
103	GARAGE	CONC	EPOXY	V	GB	GB	GB	PNT	EX	9'-0 1/2"	-	2, 3, 4
104	PREP ROOM	EX	EX	EX	EX	EX	EX	EX	EX	EX	-	7
104R	EXIST. HALL	EX	EX / CPT	EX	EX	EX	EX	EX	ACT-1	-	-	A

MATERIAL ABBREVIATIONS			
FLOORS	BASE	WALLS	CEILINGS
CON - CONCRETE	SV - SHEET VINYL	CPT - CARPET	ACT - ACOUSTICAL CEILING TILE
SEAL - SEALED CONCRETE	VCT - VINYL COMPOSITE TILE	CT - CERAMIC TILE	PNT - PAINT
CPT - CARPET	STN - STAIN	FRP - IMPACT-RESISTANT WALL PROTECTION	MS - MANUFACTURED STONE
CT - CERAMIC TILE	RT - RUBBER TILE	STL - STEEL PANEL	DCM - DECORATIVE CMU (BURNISHED)
GT - GRANITE TILE	QT - QUARRY TILE	VWC - VINYL WALL COVERINGS	GB - GYPSUM BOARD - TAPE & PRIMED
PT - PORCELAIN TILE	SLT - SLATE	EX - EXISTING TO REMAIN	WD - WOOD
GT - GRANITE TILE	SLT - SLATE	EX - EXISTING TO REMAIN	DA - DECK ABOVE
EW - ENGINEERED WOOD	SLU - SELF-LEVELING UNDERLAYMENT	CMU - CONC. MASONRY UNIT	M.E. - MATCH EXISTING
TZO - TERRAZZO	WD - WOOD	EX - EXISTING TO REMAIN	EX - EXISTING TO REMAIN

DOOR AND FRAME ABBREVIATIONS			
DOORS AND FRAMES	GLASS		
AL - ALUMINUM	PNT - PAINT	BE - BAKED ENAMEL	TMP - TEMPERED
SCWD - SOLID CORE WOOD	STN - STAIN	G - GALVANIZED	GRY - GREY
HCWD - HOLLOW CORE WD	HM - HOLLOW METAL	PREF - PREFINISHED	CLR - CLEAR
ACWD - ALUMINUM CLAD WD	KD - HOLLOW METAL KNOCKDOWN	STL - STEEL	LTB - LIGHT BRONZE
ANOD - ANODIZED	SS - STAINLESS STEEL	PL - PLASTIC LAMINATE	FL - FIRE RATED CERAMIC
AC - ALUMINUM CLAD	MDB - MEDIUM BRONZE	GL - GLASS (CLEAR)	INS - INSULATED
			DKB - DARK BRONZE



NO.	W	HT	THK	DOOR		FRAME			GLAZING	FIRE RATE (MIN.)	HDWR	REMARKS					
				MAT'L	ELEV.	FINISH	MAT'L	ELEV.					FINISH				
100.1	3'-0"	7'-0"	1 3/4"	HM	B	PNT	HM	I	PNT	6/A501	7/A501	8/A501	TMP / CLR / INS	-	1	1, 5	
100.2	3'-6"	7'-0"	1 3/4"	-	-	-	-	-	-	-	-	-	-	-	-	3, 4	
101	3'-0"	7'-0"	1 3/4"	WD	C	STN	WD	II	STN	3/A301	3/A301	-	-	-	-	5	6
102	4'-0"	7'-0"	1 3/4"	WD	D	STN	WD	II	STN	3/A301	3/A301	-	TMP / CLR	-	-	3	6
103.1	4'-0"	7'-0"	1 3/4"	WD	C	STN	WD	II	STN	3/A301	3/A301	-	-	-	-	4	6
103.2	4'-0"	7'-0"	1 3/4"	HM	B	PNT	HM	I	PNT	6/A501	7/A501	8/A501	TMP / CLR / INS	-	-	2	1, 5
103.3	10'-0"	8'-0"	2"	STL	F	B.E.	-	-	-	10/A501	11/A501	12/501	TMP / INS / OBS	-	-	-	-
104	4'-0"	7'-0"	1 3/4"	HM	E	PNT	HM	I	PNT	-	-	-	-	-	-	4	2

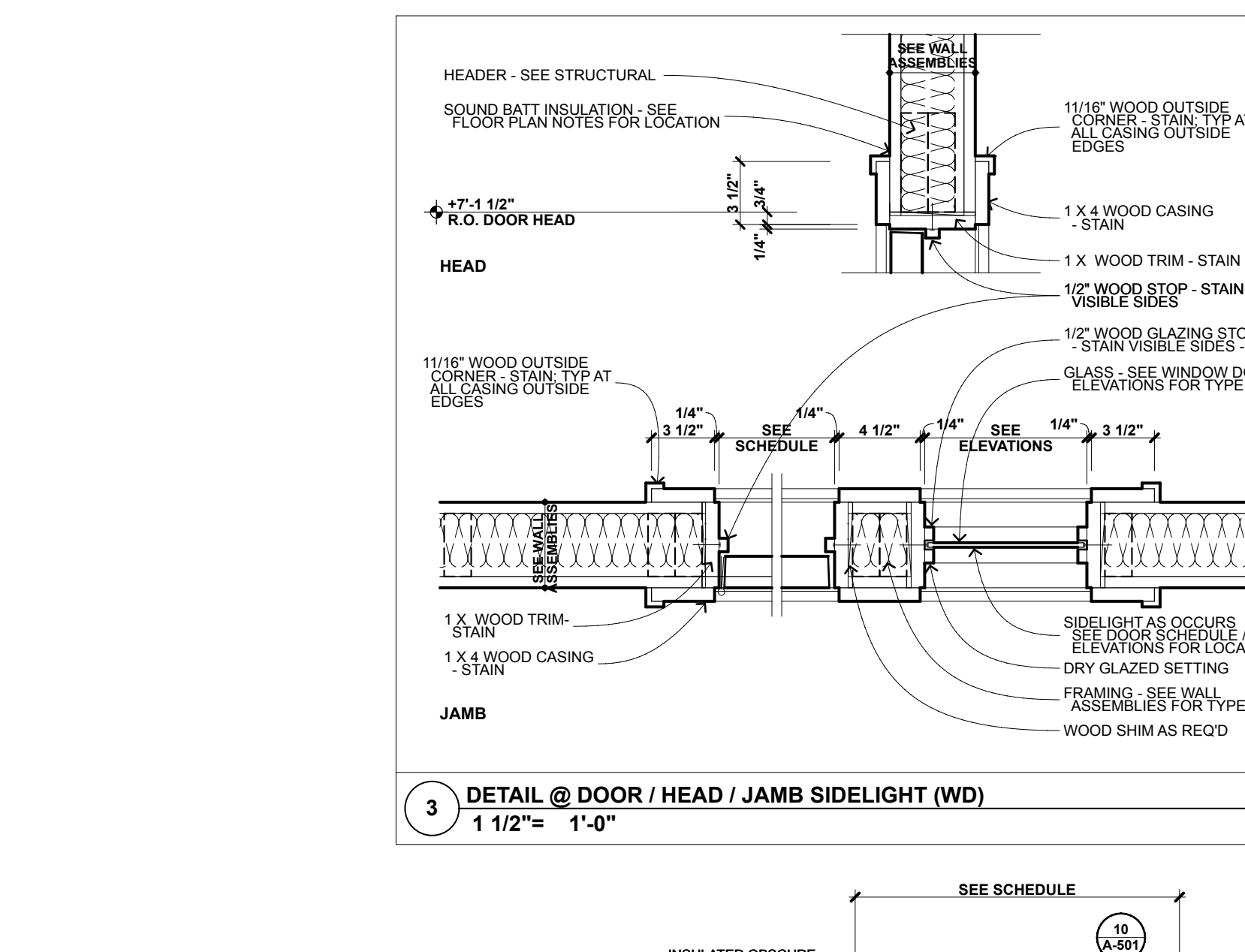
DOOR / FRAME ELEVATIONS			
A	B	C	D
NOT USED	INSULATED (FLUSH / VISION LITE)	WOOD (8-PANEL)	WOOD (12 GLASS / 4-PANEL)
E	F	G	H
FLUSH	INSULATED STEEL	SEE SCHEDULE	SEE SCHEDULE

WINDOW ELEVATIONS			
I	II	A	B
HOLLOW METAL	WOOD	VINYL FIXED	SEE SCHEDULE

LUMINAIRE SCHEDULE							
NO	FIXTURE TYPE	FIXTURE DESCRIPTION	MANUF. SERIES / EQUALS	LAMP / VOLTS	OPTICS	MOUNT	REMARKS
A	2 X 4 DIRECT / INDIRECT TROFFER LED	DIE FORMED, 20 GA., GOLD-ROLLED STEEL HOUSING WITH POLYESTER POWDER PAINT FINISH. HIGH PERFORMANCE TRANSPARENT DIFFUSER WITH INTEGRAL REFLECTOR.	TBS	3000K	LUMINOUS CONCEALED GLASS REFRACTOR	INTERIOR / RECESSED	
B-1	6" RECESSED ADJUSTABLE DOWNLIGHT, LED	6" DIAMETER LED, GIMBALED, CLEAR SEMISPHERICAL FINISH, CLEAR TRIM	TBD	3000K	-	INTERIOR RECESSED	DIMMING DOWN TO 0-10V WHERE INDICATED - PROVIDE SWITCHING AS SHOWN
B-2	6" RECESSED ADJUSTABLE DOWNLIGHT, LED	6" DIAMETER LED DOWNLIGHT, CLEAR SEMISPHERICAL FINISH, CLEAR TRIM	TRD	3000K	-	INTERIOR RECESSED	DIMMING DOWN TO 0-10V WHERE INDICATED - PROVIDE SWITCHING AS SHOWN
C	FLAT PANEL 1X 4 LED	SWITCHABLE LUMEN FLAT PANEL, LOW PROFILE, LOW GLARE WHITE 20 GA. STEEL HOUSING	TBD	3000K	-	INTERIOR / SURFACE MOUNTED	VERIFY LUMEN LEVEL WITH LIGHTING REQUIREMENTS
E	EXIT SIGN	WHITE THERMOPLASTIC HOUSING, SEALED MAINTENANCE-FREE NICKEL CADMIUM BATTERIES, SELF-DIAGNOSTIC, EXIT SIGN / EMERGENCY LIGHT COMBINATION	TBD	LED 120 VOLT	-	INTERIOR UNIVERSAL MOUNTING	W/ EMERGENCY BATTERY BACK UP POWER PER IBC 1008.3.5
E/EM	EXIT SIGN	WHITE THERMOPLASTIC HOUSING, SEALED MAINTENANCE-FREE NICKEL CADMIUM BATTERIES, SELF-DIAGNOSTIC, EXIT SIGN / EMERGENCY LIGHT COMBINATION	TRD	LED 120 VOLT	-	INTERIOR UNIVERSAL MOUNTING	W/ EMERGENCY BATTERY BACK UP POWER PER IBC 1008.3.5
F	EXIT SIGN, REMOTE HEAD	FULLY ADJUSTABLE LED HEAD	TBD	LED 120 VOLT	-	EXTERIOR WALL MOUNT	CONNECT TO EMERGENCY EXIT SIGN
G	DECORATIVE LED COACH LIGHT	-	TBD	-	-	EXTERIOR WALL MOUNT	-

GENERAL NOTES - CEILING PLAN

- DIMENSIONS OF CEILING CONSTRUCTIONS, SOFFITS, VERTICAL TRANSITIONS AND ETC. ARE TO BE FRAMING ELEMENTS (U.N.O.).
- CENTER LIGHT FIXTURES IN ROOMS, BAYS, SOFFITS OR HALLWAYS UNLESS SPECIFICALLY NOTED OR DIMENSIONED OTHERWISE. EQUALLY SPACE FIXTURES IN SOFFITS UNLESS NOTED OTHERWISE.
- REFER TO ROOM SCHEDULE AND CEILING PLAN FOR FINISHES AND CEILING HEIGHTS.
- EMERGENCY LIGHTING SHOWN FOR DESIGN INTENT ONLY. PROVIDE EMERGENCY LIGHTING AND LEVELS AS REQUIRED BY CODE. EMERGENCY LIGHTING MAY BE INTEGRAL WITH LUMINAIRES OR SEPARATE FIXTURES AS ALLOWED.
- FIXTURES SHOWN / SCHEDULED ARE SHOWN AS A BASIS OF DESIGN AND QUALITY ONLY. REFER TO PERFORMANCE SPECIFICATIONS FOR LIGHTING LEVEL REQUIREMENTS. LIGHTING LEVELS TO CONFORM TO LIGHTING CODES AND STANDARDS (IES AND ALL STATE AND LOCAL CODES). VERIFY LUMINAIRE TYPES, LOCATIONS, QUANTITIES AND LAMP WATTAGE WITH PERFORMANCE REQUIREMENTS AND MODIFY TYPE, WATTAGE OR QUANTITY ACCORDINGLY TO MEET LIGHT LEVEL SPECIFICATIONS. MAINTAIN EXISTING LIGHTING LEVELS AT REPLACEMENT LUMINAIRE LOCATIONS.
- EXISTING EXIT SIGNS / EMERGENCY LIGHTS TO REMAIN. LOCATIONS SHOWN ARE NOT INDICATIVE OF ALL LOCATIONS. PROVIDE NEW E, E/EM, EM EMERGENCY LIGHTS / EXIT SIGNS AS INDICATED.
- EXISTING MECHANICAL AND ELECTRICAL ITEMS INCLUDING BUT NOT LIMITED TO OUTLETS, SWITCHES, SUPPLY / RETURN AIR GRILLES, DUCTWORK, CONDUIT, SUPPLY / WASTE LINES, ALARM KEYPADS, EXIT SIGNS, MOTION SENSORS, ELECTRICAL SUB PANELS ETC. LOCATED IN WALLS / CEILINGS OR SCHEDULED TO BE REMOVED ARE TO BE RELOCATED TO THE NEAREST PRACTICAL WALL / CEILING SURFACE UNLESS IT HAS BEEN DETERMINED THAT THOSE ITEMS ARE NOT NEEDED IN THE NEW DESIGN. REMOVE OR CAP ITEMS IN THEIR ENTIRETY AS NECESSARY. ITEMS LOCATED IN EXISTING WALLS / CEILINGS SCHEDULED TO REMAIN ARE TO BE RELOCATED AS NECESSARY FOR NEW ROOM LAYOUT.
- PROVIDE 2 X WOOD BLOCKING IN CEILING ASSEMBLIES AS REQUIRED FOR TV MONITORS, DIGITAL PROJECTORS, VIDEO SCREENS OR AS DIRECTED BY OWNER. VERIFY LOCATIONS WITH OWNER PRIOR TO ENCLOSING CEILING AREAS.
- GYP. BD. CEILINGS TO RECEIVE A LEVEL 4 FINISH.



DOOR / FRAME ELEVATIONS			
A	B	C	D
NOT USED	INSULATED (FLUSH / VISION LITE)	WOOD (8-PANEL)	WOOD (12 GLASS / 4-PANEL)
E	F	G	H
FLUSH	INSULATED STEEL	SEE SCHEDULE	SEE SCHEDULE

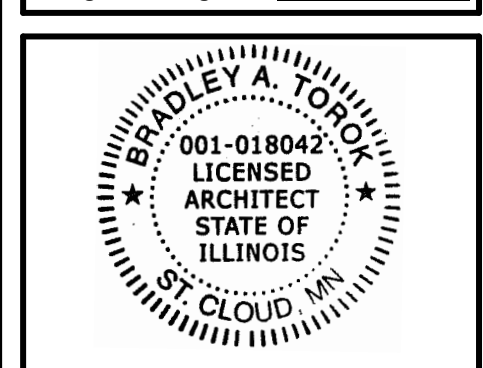
WINDOW ELEVATIONS			
I	II	A	B
HOLLOW METAL	WOOD	VINYL FIXED	SEE SCHEDULE

Miller ARCHITECTURE, INC.

320.251.4109 | 320.251.4693 fx
3335 West St Germain Street
PO Box 1228
St Cloud, MN 56302

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Architect under the laws of the State of ILLINOIS.

Signature: *Bradley A. Torok*
BRADLEY A. TOROK
Reg. No.: 001.018042 Date: 07-21-2023
Design Firm Reg. No.: F 5993-562-3



DOCUMENT SIGNED LICENSE EXPIRES
07-21-2023 11-30-2024

HABEN FUNERAL HOME BUILDING ADDITION
8057 NILES CENTER ROAD
SKOKIE, ILLINOIS 60077

REVISIONS

Issue ID	Issue Name	Issue Date

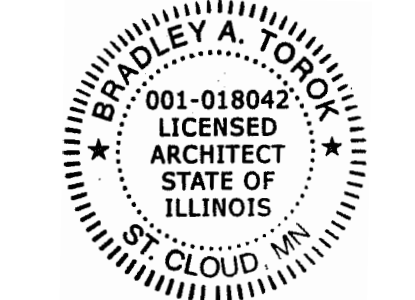
SHEET TITLE REF. CEILING PLAN / ROOF PLAN / SCHEDULES

DRAWN BY: S/JG BAT **DATE:** 7/21/23 **PROJ. NO.:** 32249

SHEET NO. A-301

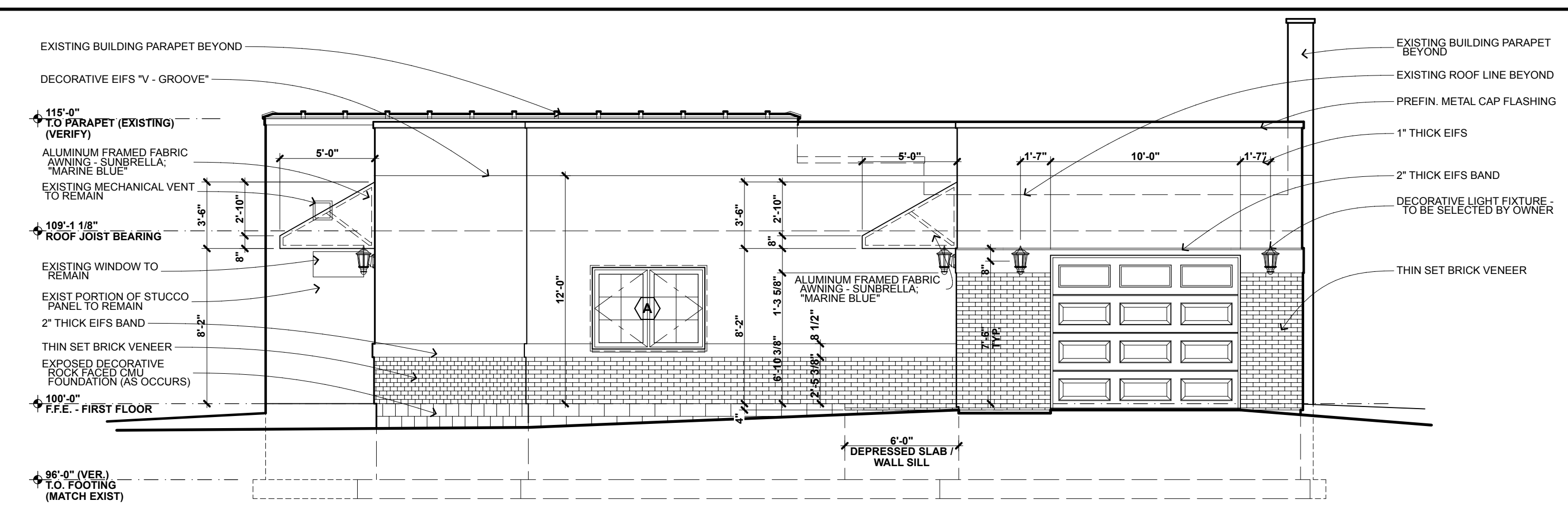
I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Architect under the laws of the State of ILLINOIS.

Bradley A. Torok
Signature: **BRADLEY A. TOROK**
Reg. No.: 001.018042 Date: 07-21-2023
Design Firm Reg. No.: F 5993-562-3

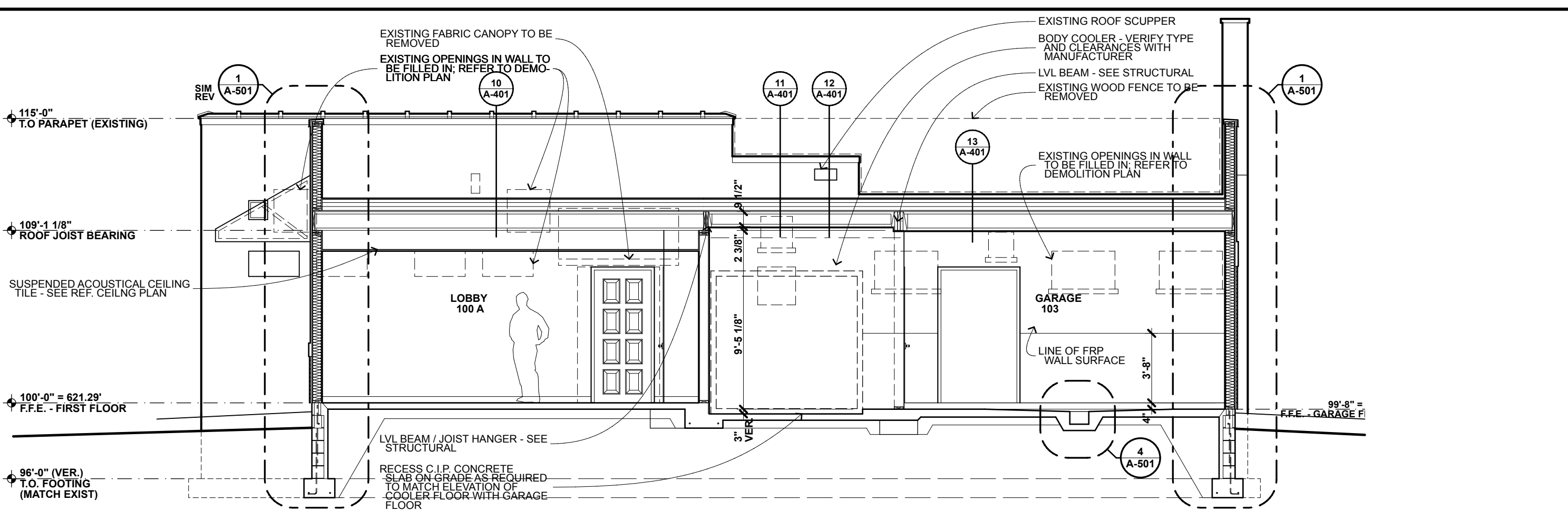


DOCUMENT SIGNED LICENSE EXPIRES
07-21-2023 11-30-2024

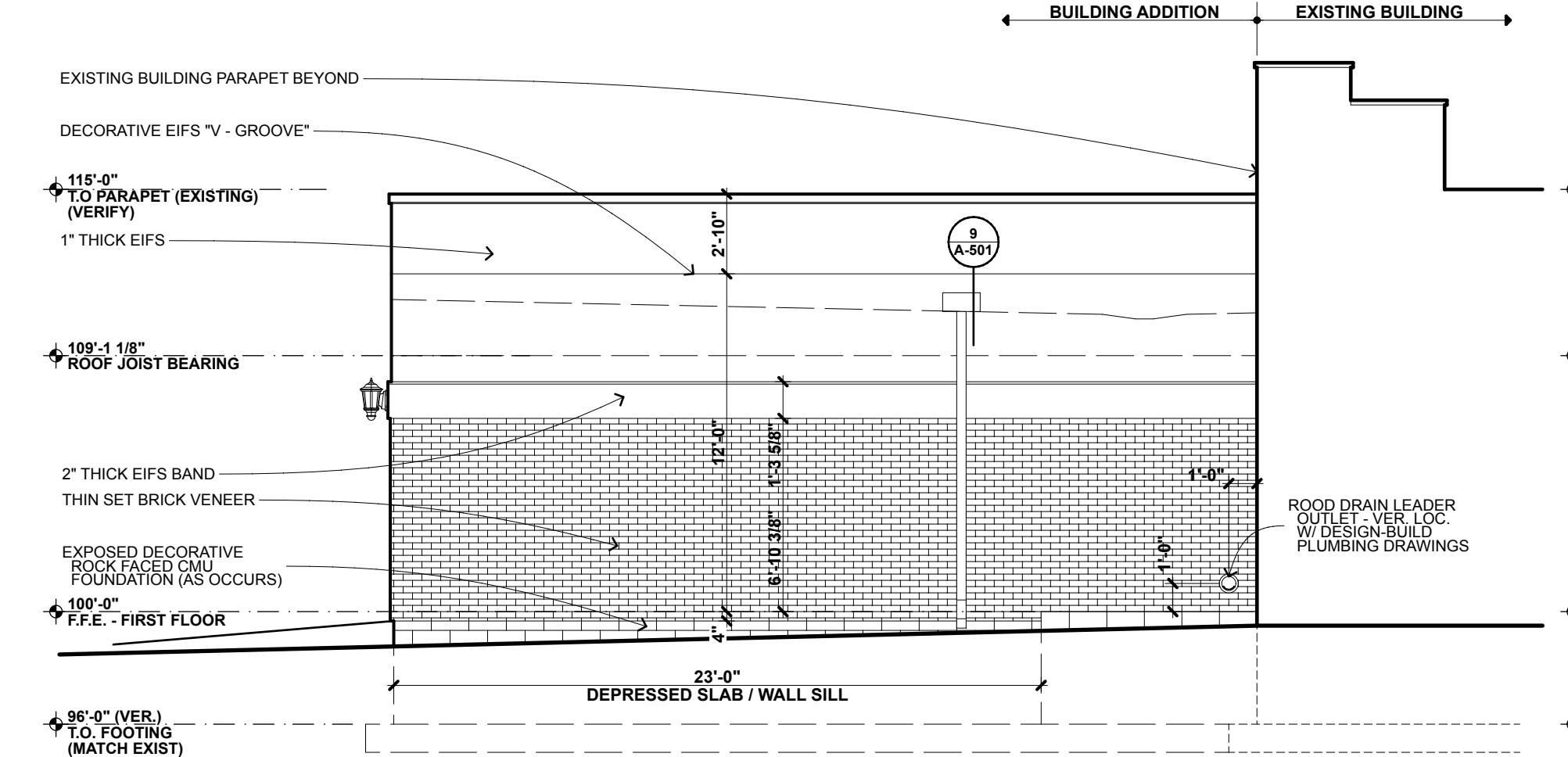
**HABEN FUNERAL HOME
BUILDING ADDITION**
8057 NILES CENTER ROAD
SKOKIE, ILLINOIS 60077



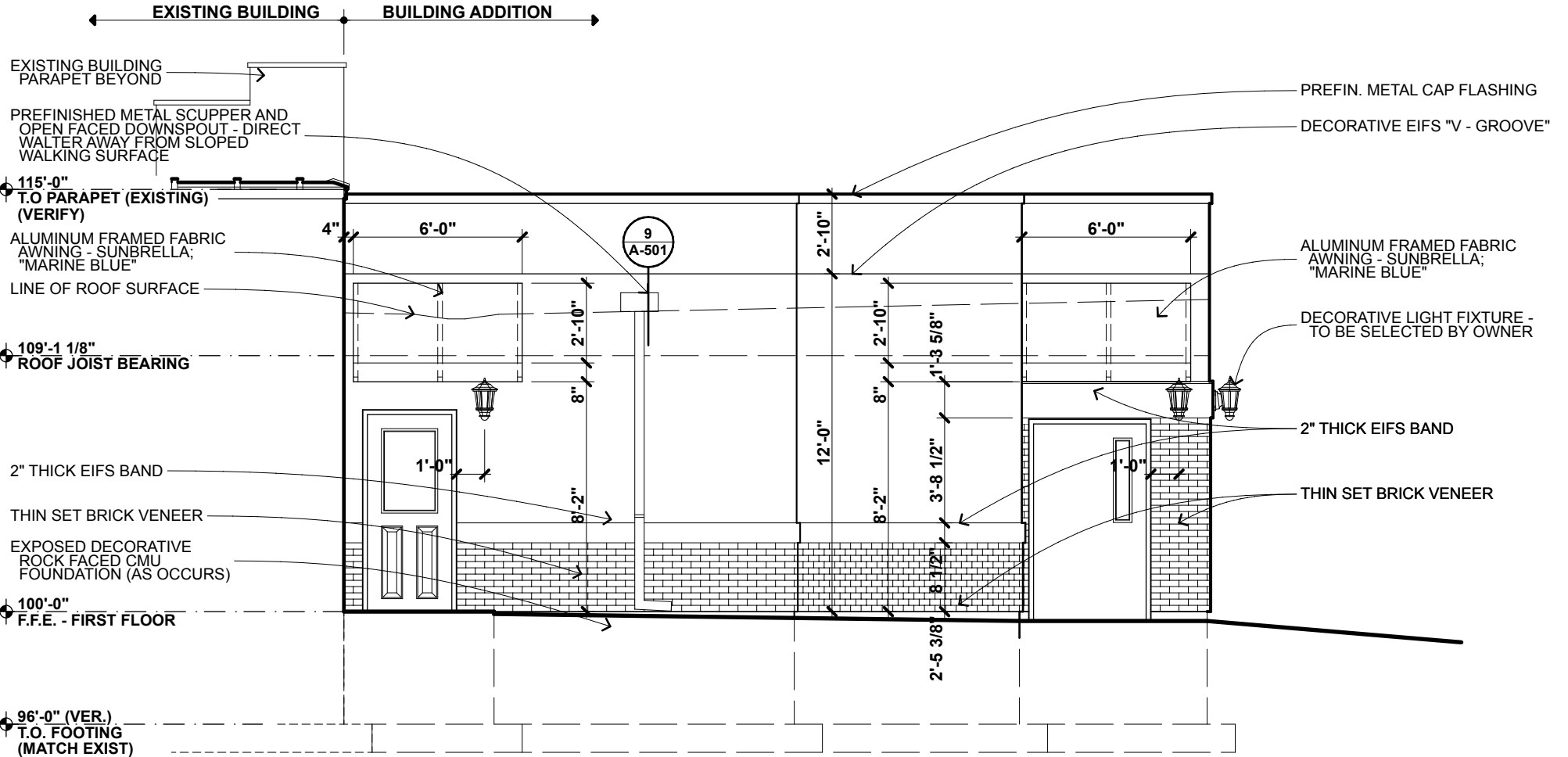
1 EAST ELEVATION - BUILDING ADDITION
3/16" = 1'-0"



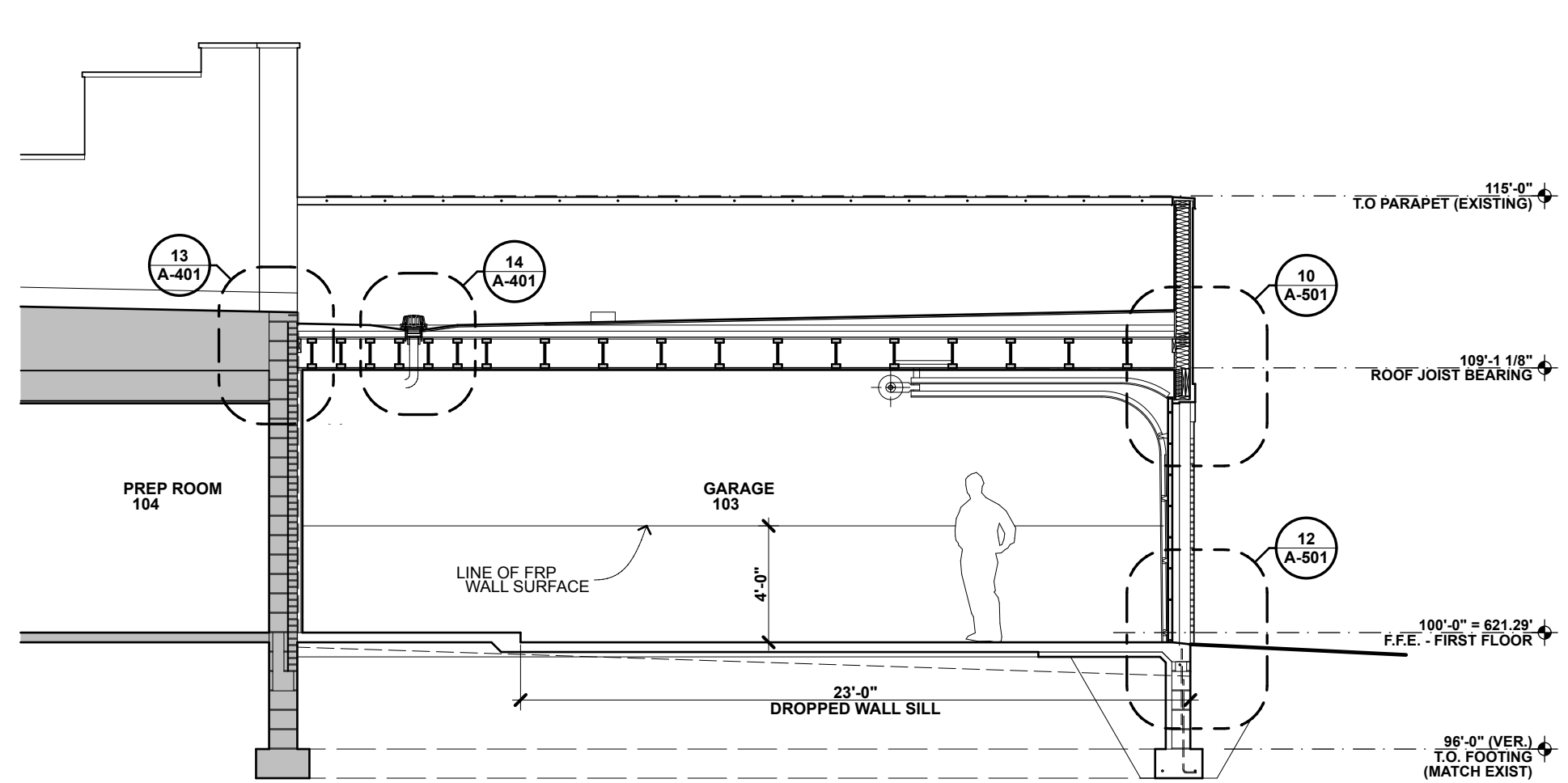
2 BUILDING SECTION THROUGH LOBBY / COOLER / GARAGE
3/16" = 1'-0"



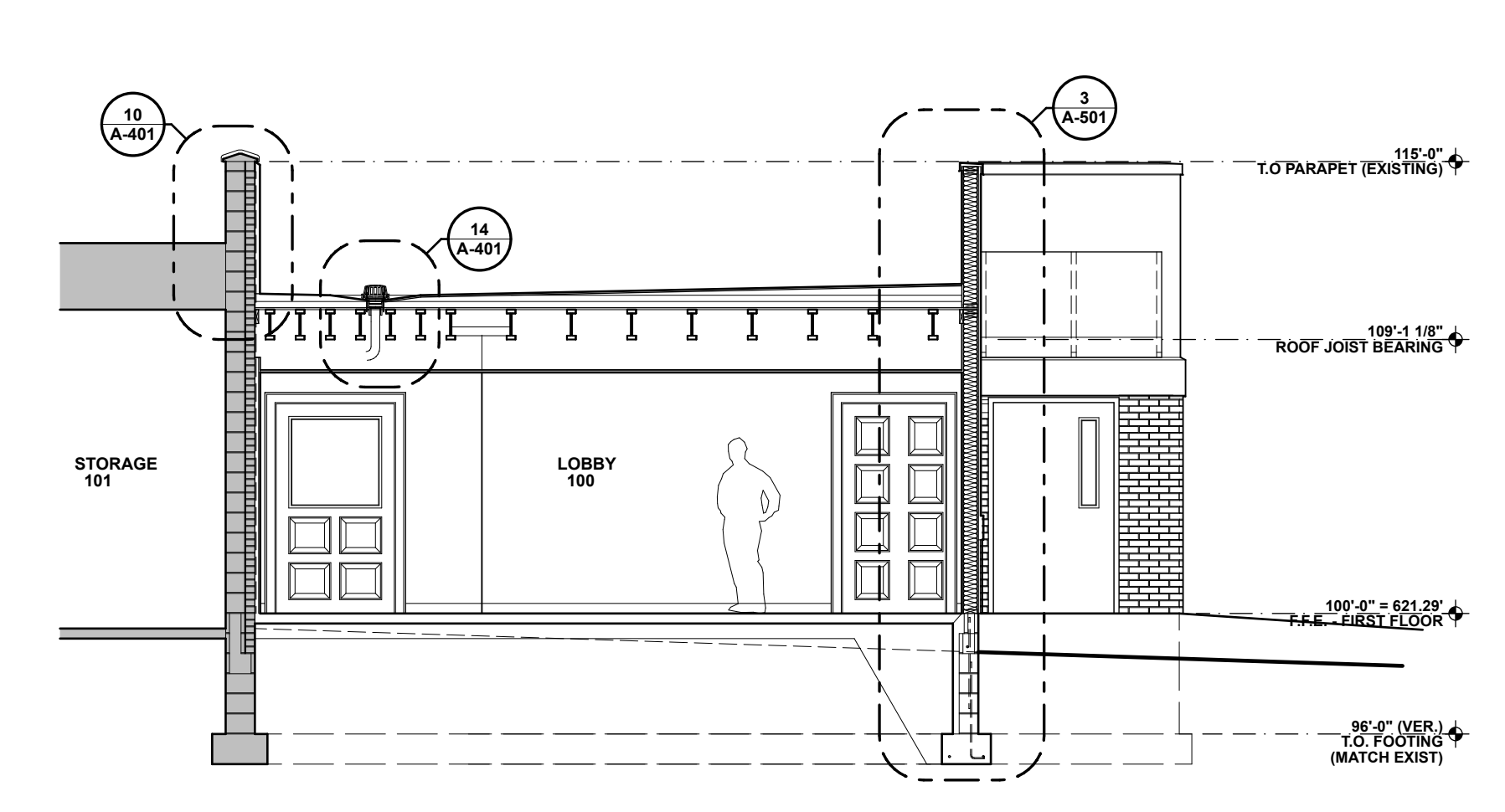
3 NORTH ELEVATION - BUILDING ADDITION
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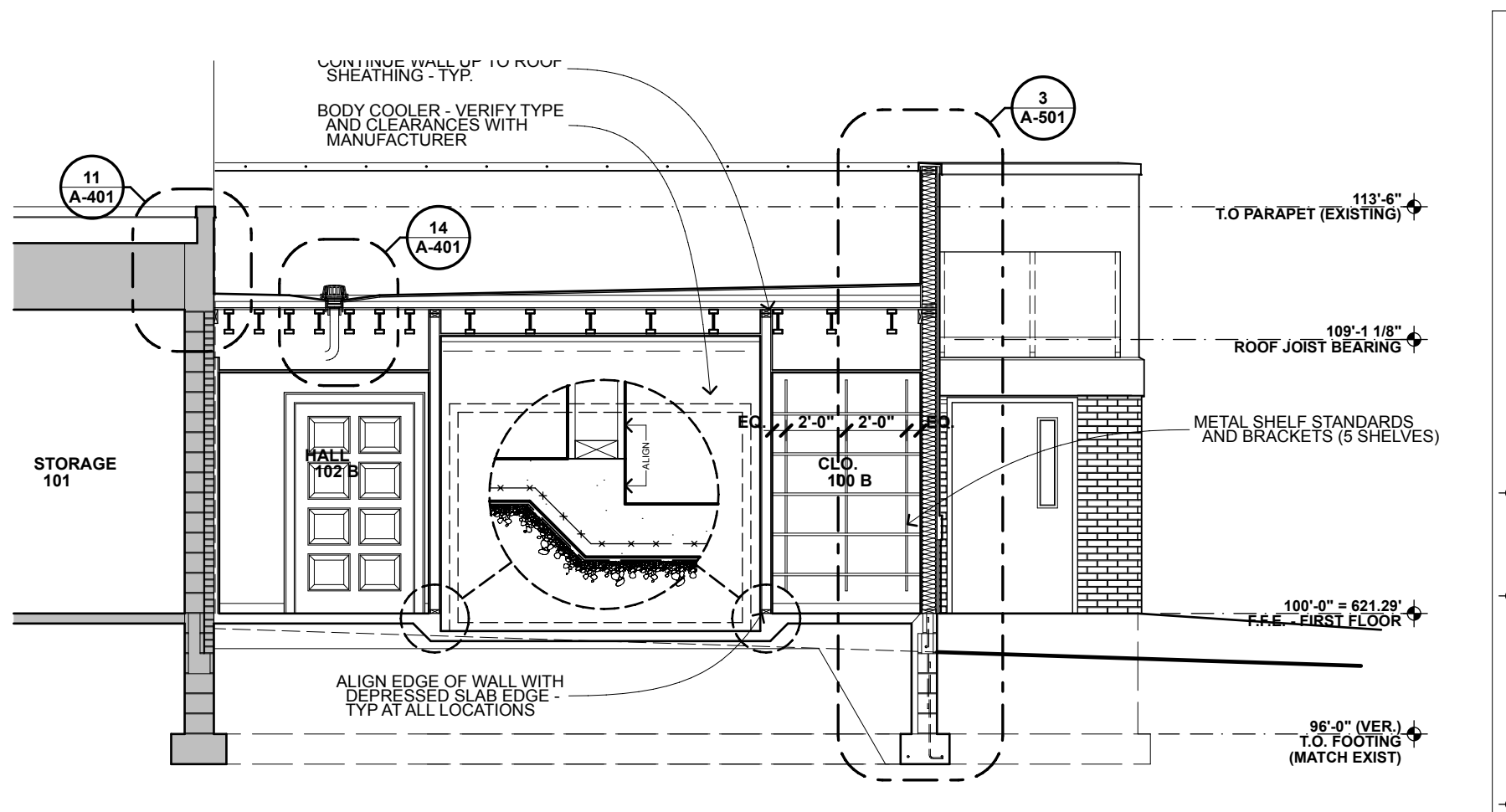
4 SOUTH ELEVATION - BUILDING ADDITION
3/16" = 1'-0"



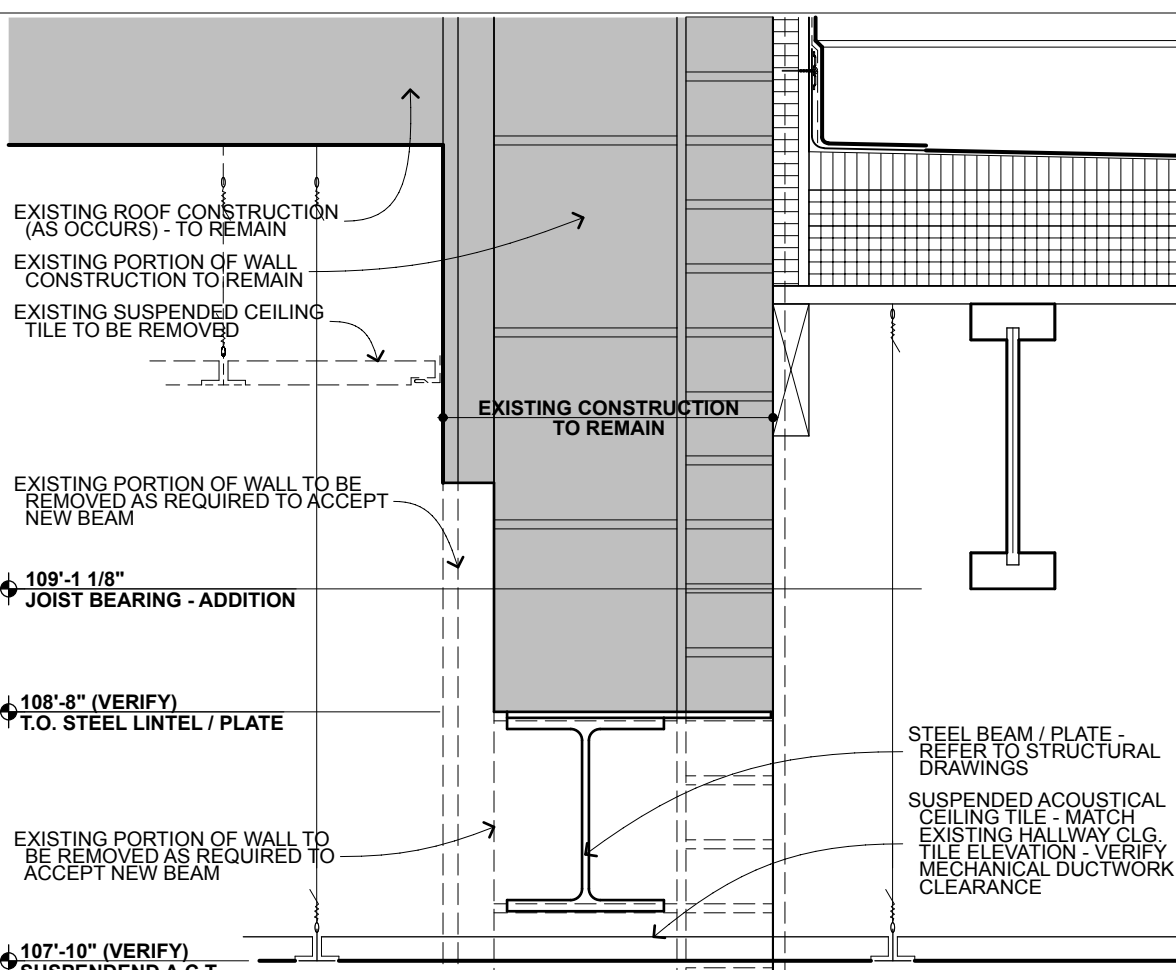
5 BUILDING SECTION THROUGH EXISTING / GARAGE ADDITION
3/16" = 1'-0"



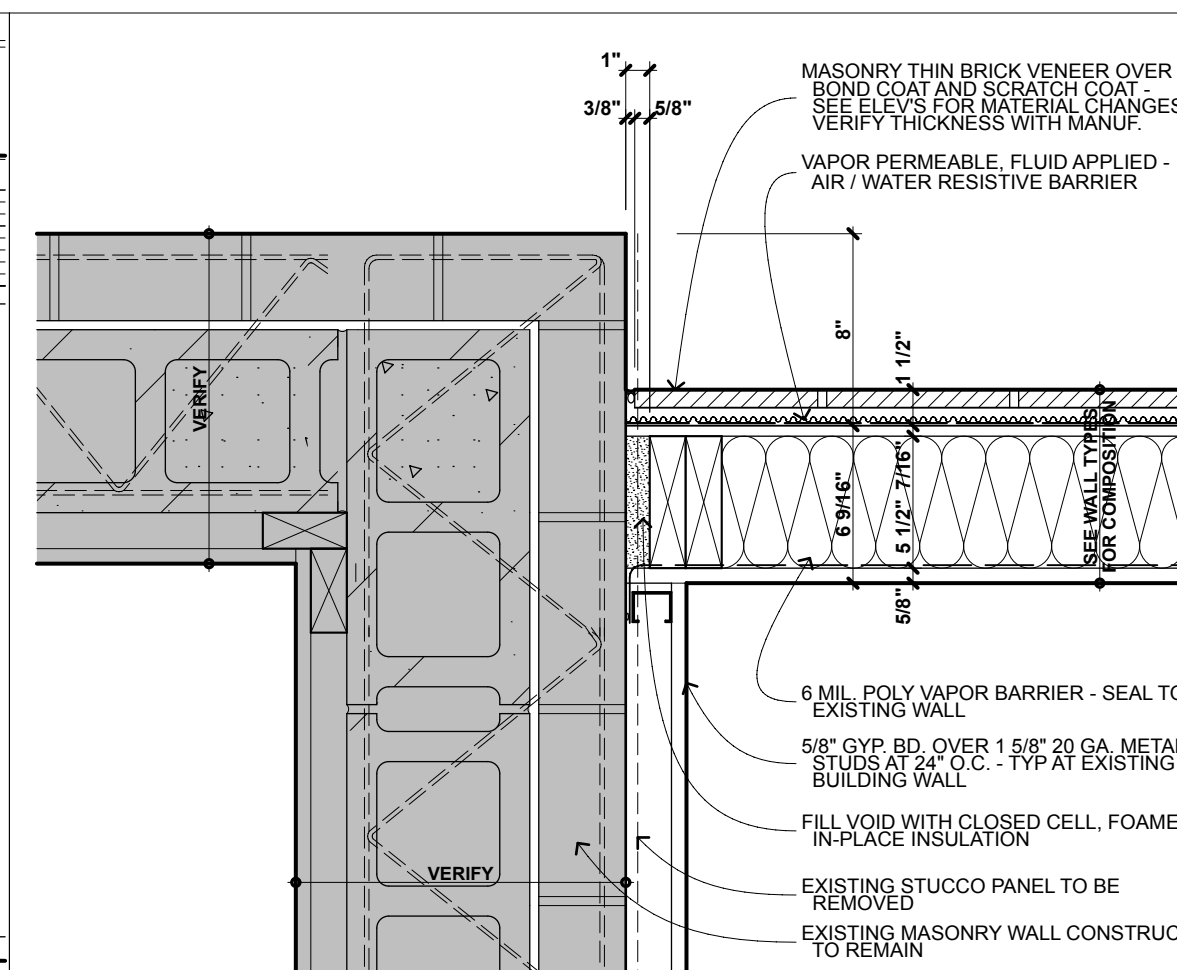
6 BUILDING SECTION THROUGH EXISTING / LOBBY ADDITION
3/16" = 1'-0"



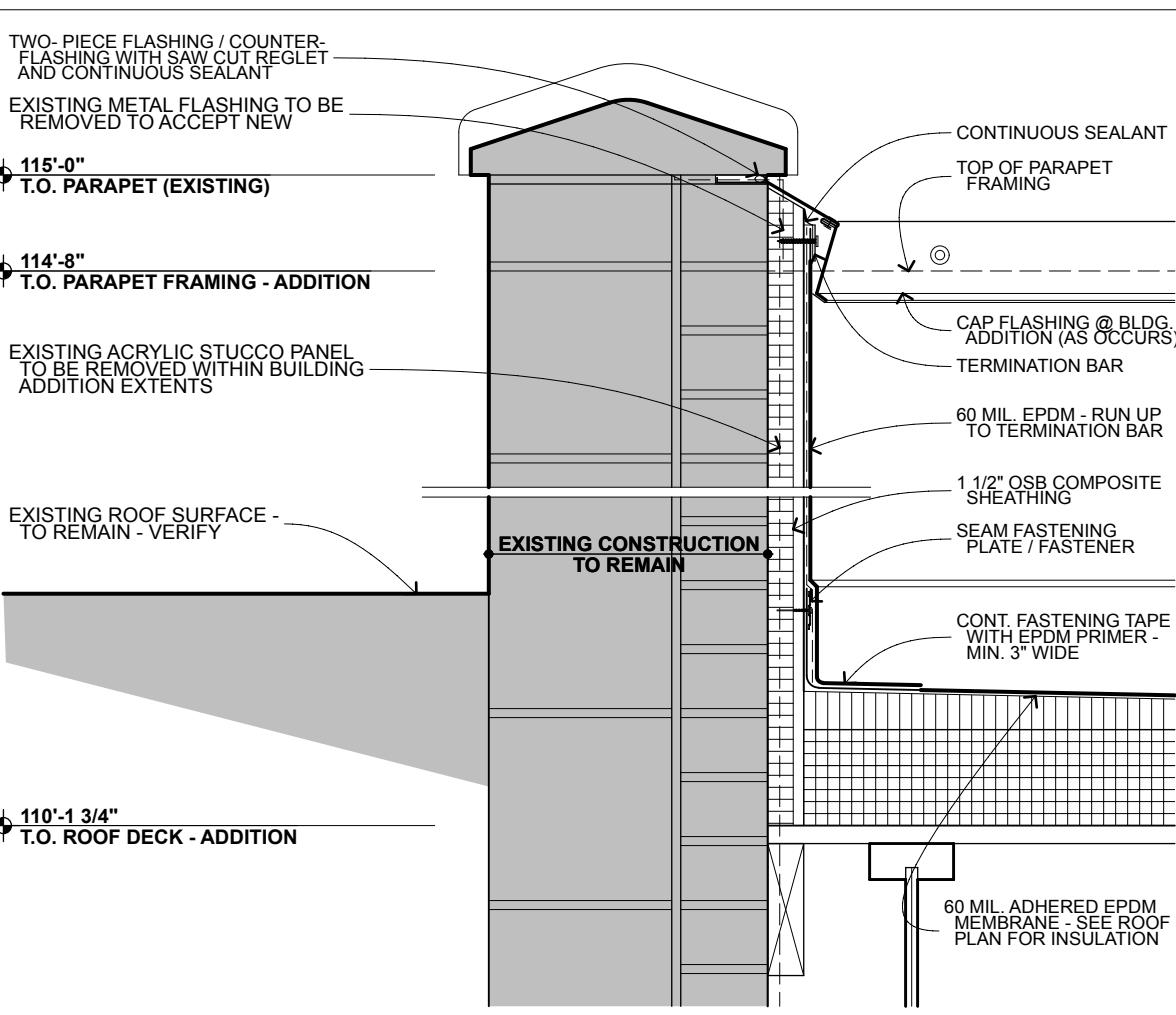
7 BUILDING SECTION THROUGH EXISTING / LOBBY ADDITION
3/16" = 1'-0"



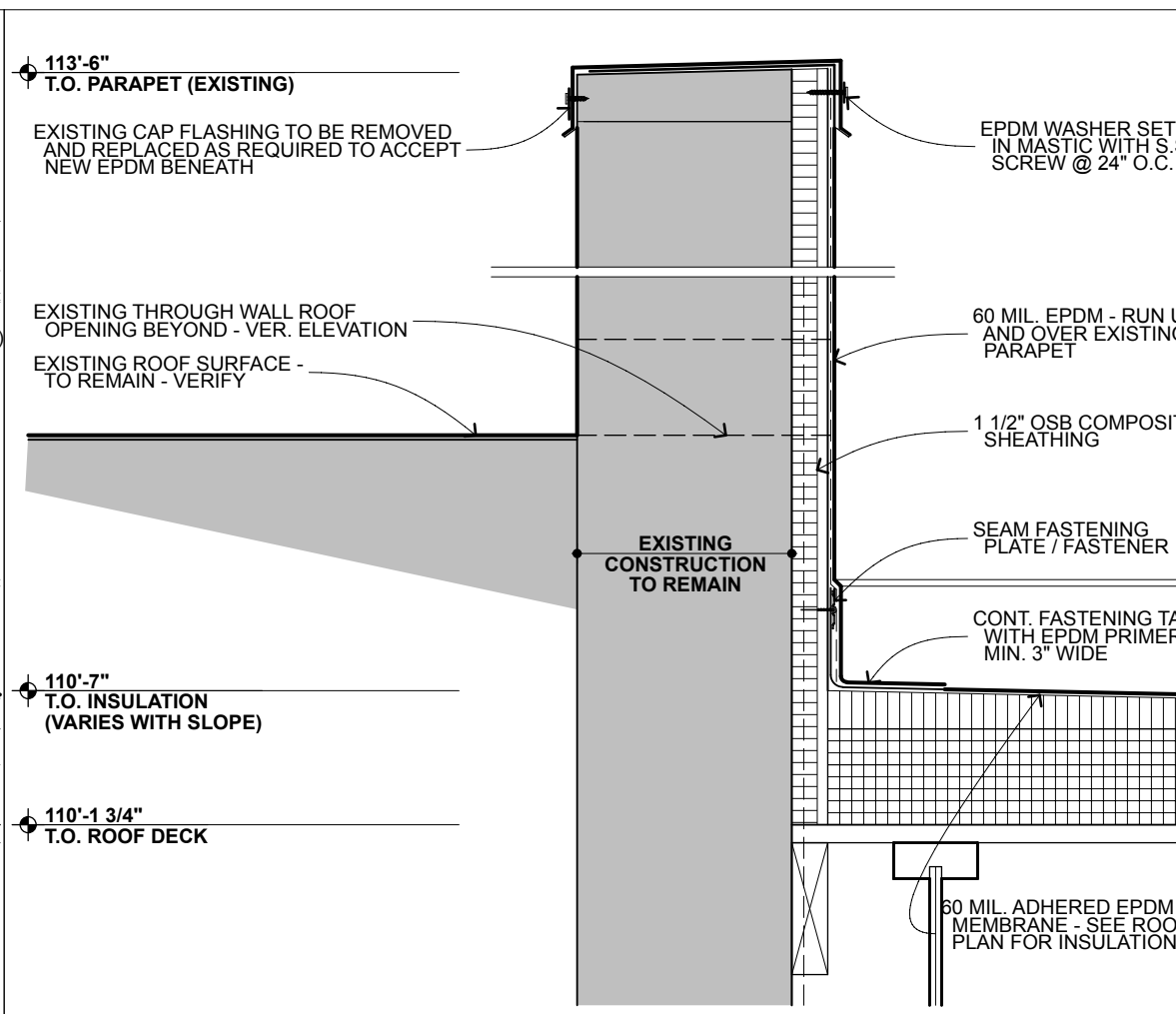
8 DETAIL @ NEW OPENING - EXISTING WALL
1 1/2" = 1'-0"



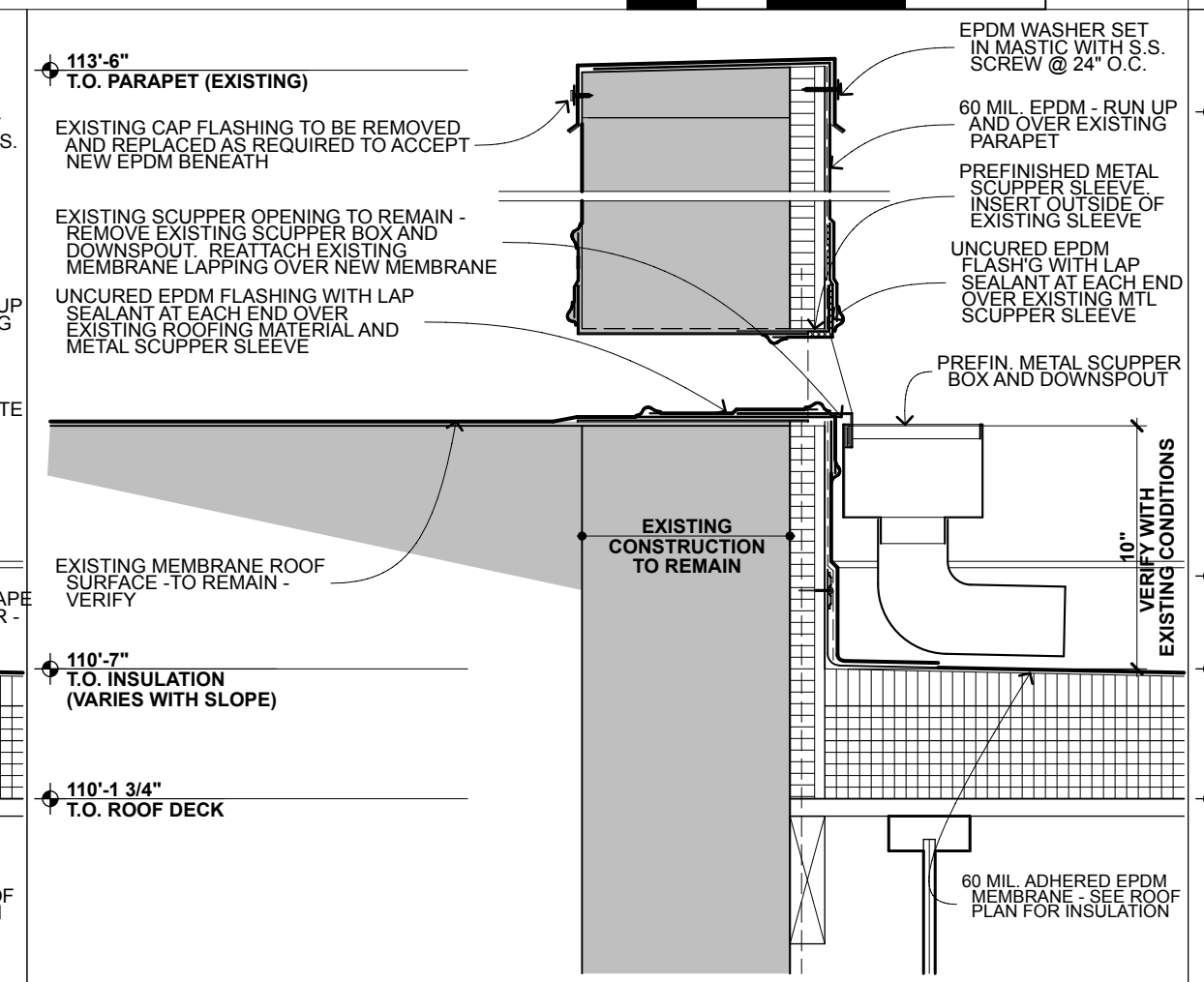
9 DETAIL @ BUILDING CORNER
1 1/2" = 1'-0"



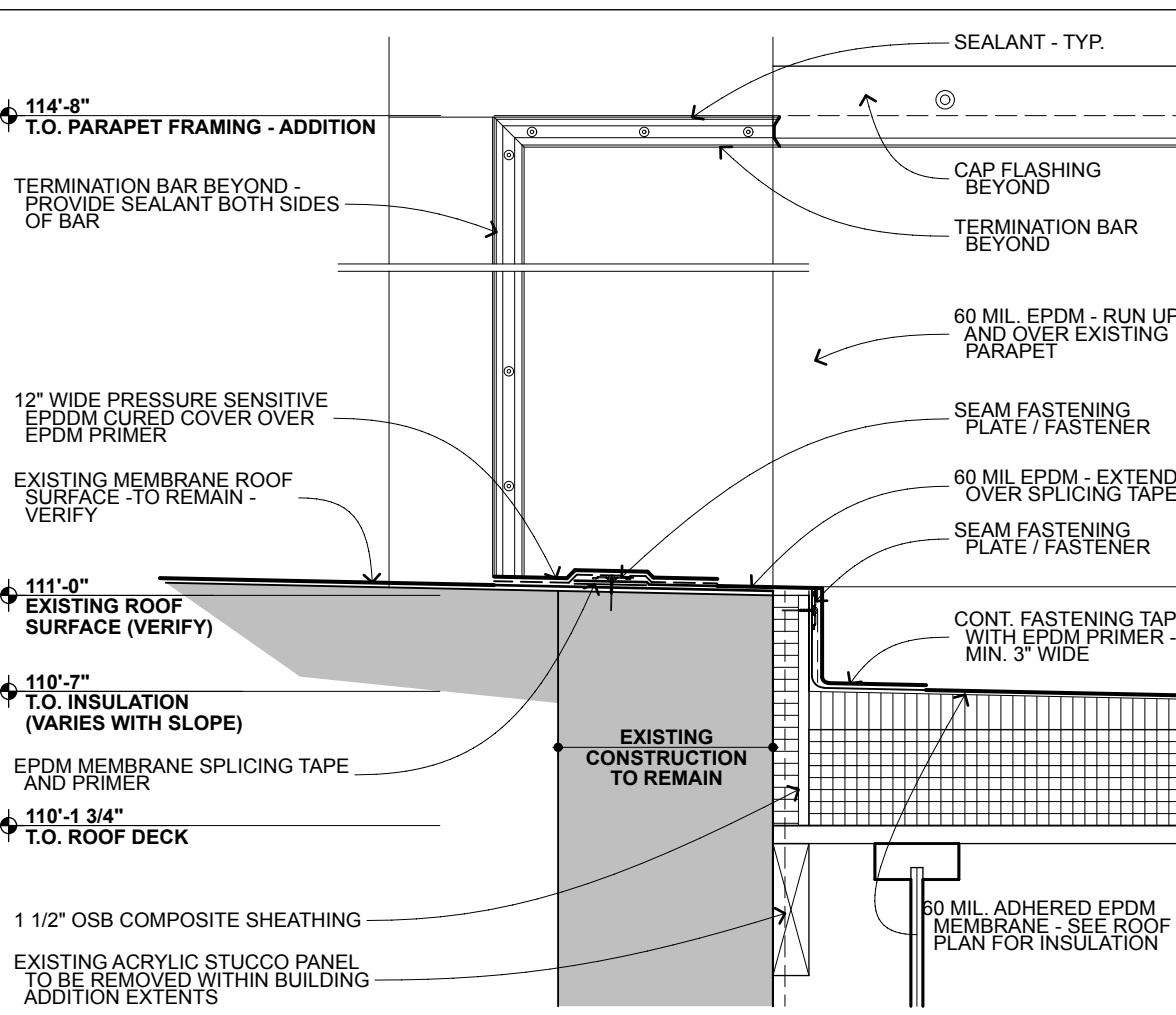
10 DETAIL @ ROOF PARAPET - EXISTING
1 1/2" = 1'-0"



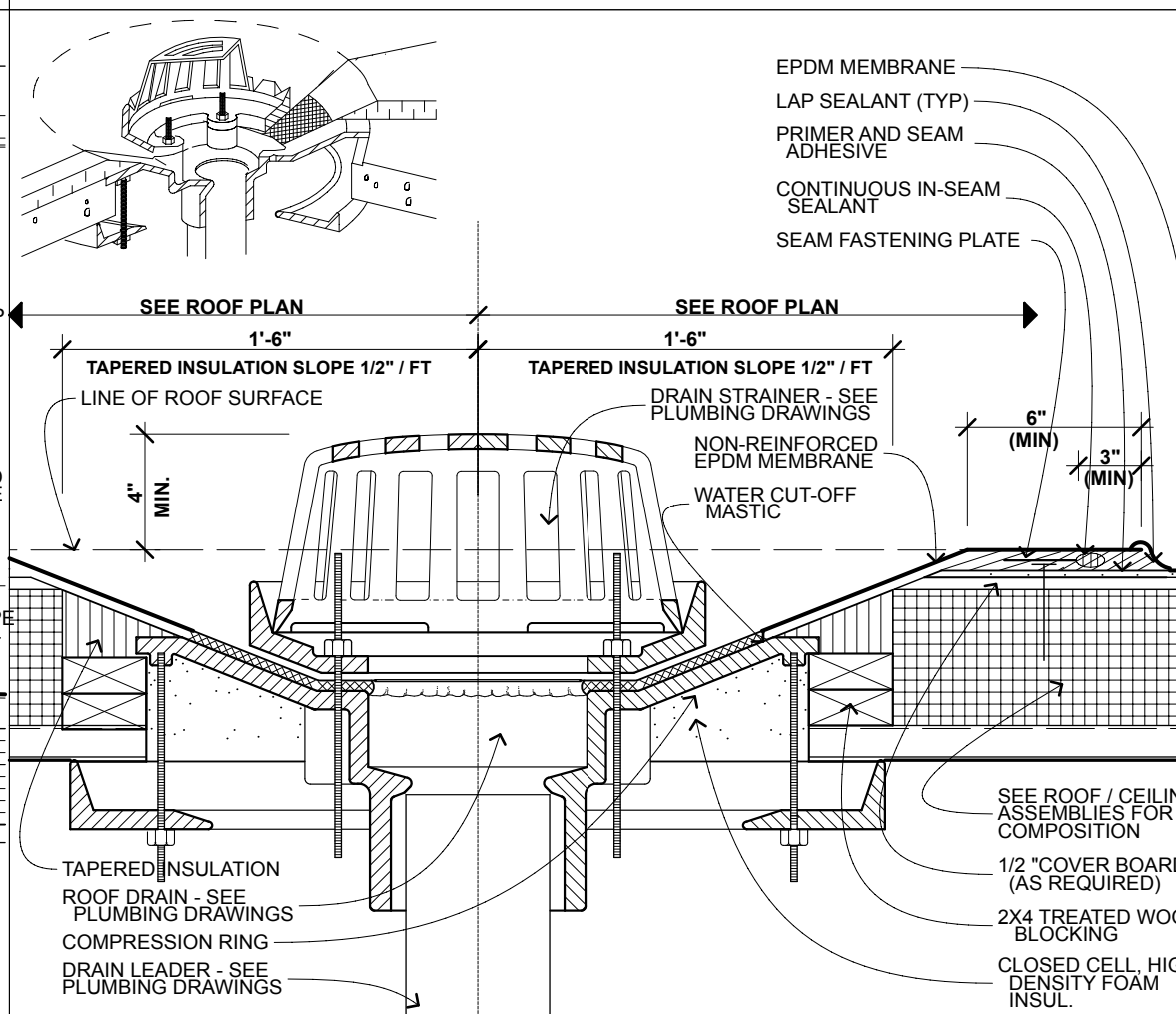
11 DETAIL @ ROOF PARAPET - EXISTING
1 1/2" = 1'-0"



12 DETAIL @ EXISTING SCUPPER
1 1/2" = 1'-0"



13 DETAIL @ EXISTING ROOF EDGE
1 1/2" = 1'-0"



14 DETAIL @ ROOF DRAIN
1 1/2" = 1'-0"

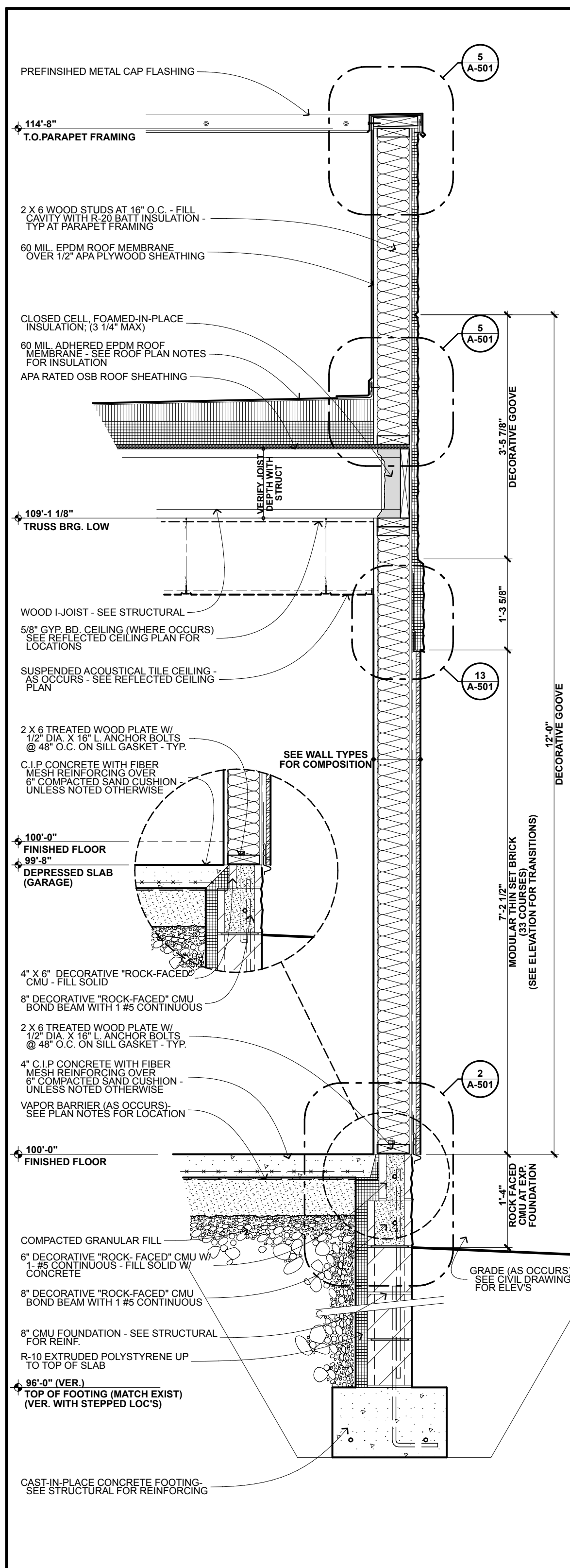
REVISIONS

Issue ID	Issue Name	Issue Date

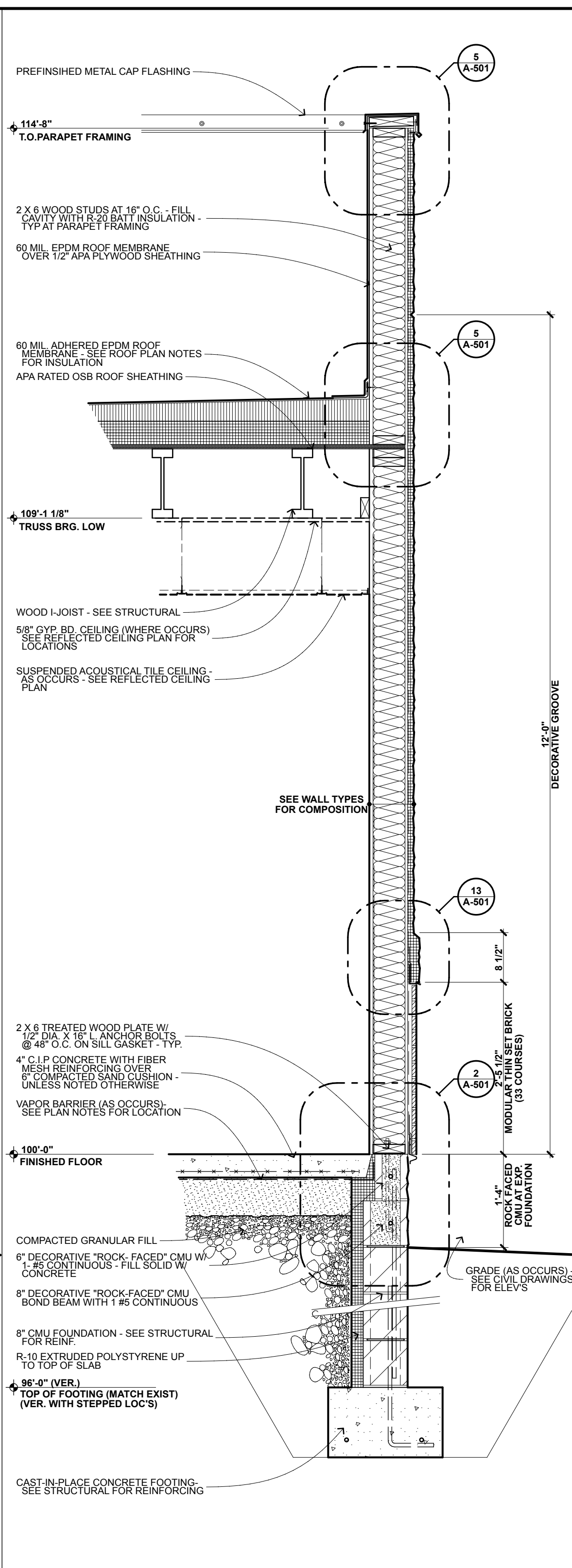
SHEET TITLE
BUILDING ELEVATIONS / SECTIONS

DRAWN BY:	DATE:	PROJ. NO.
SJG/BAT	7/21/23	32249

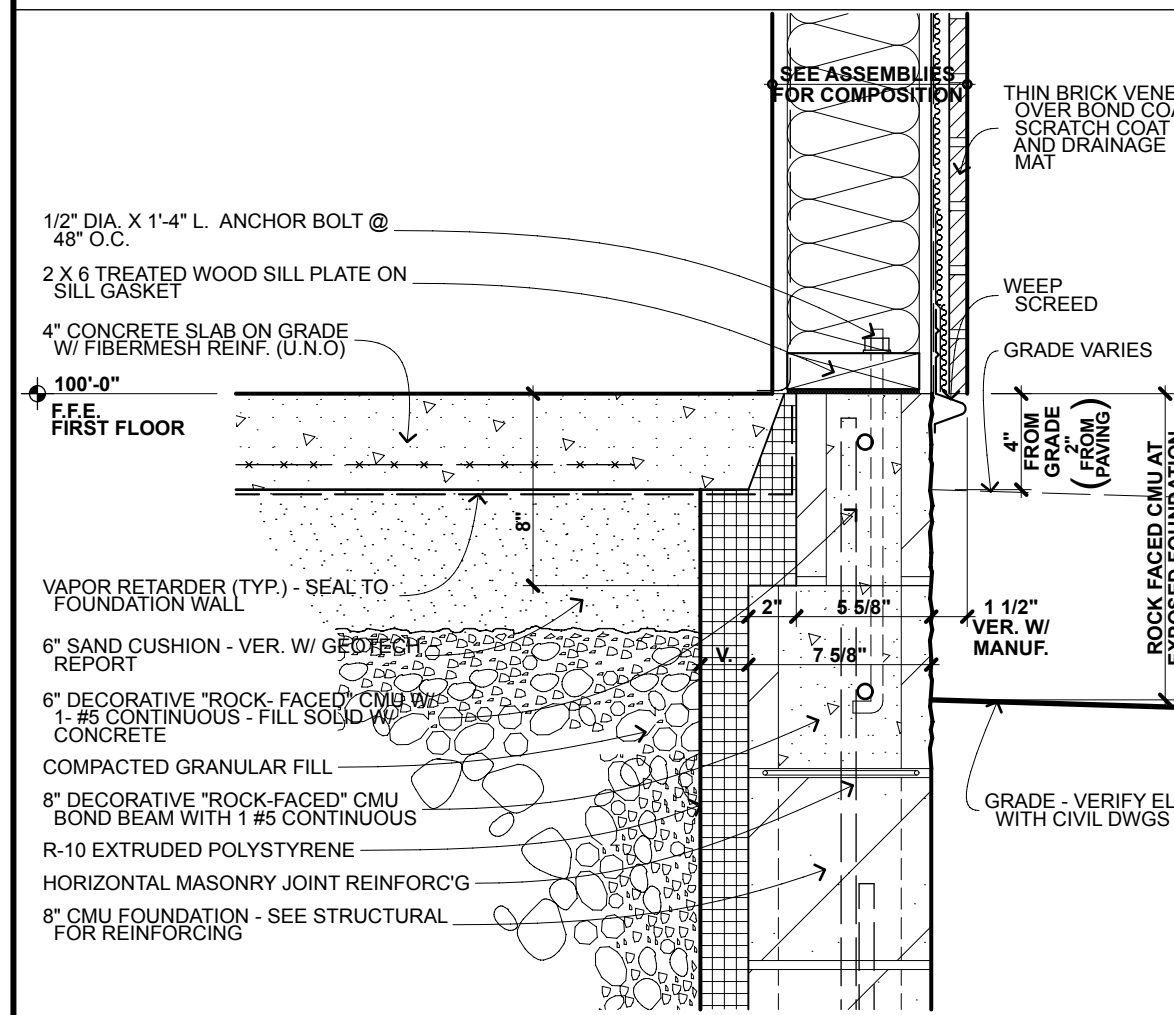
SHEET NO.
A-401



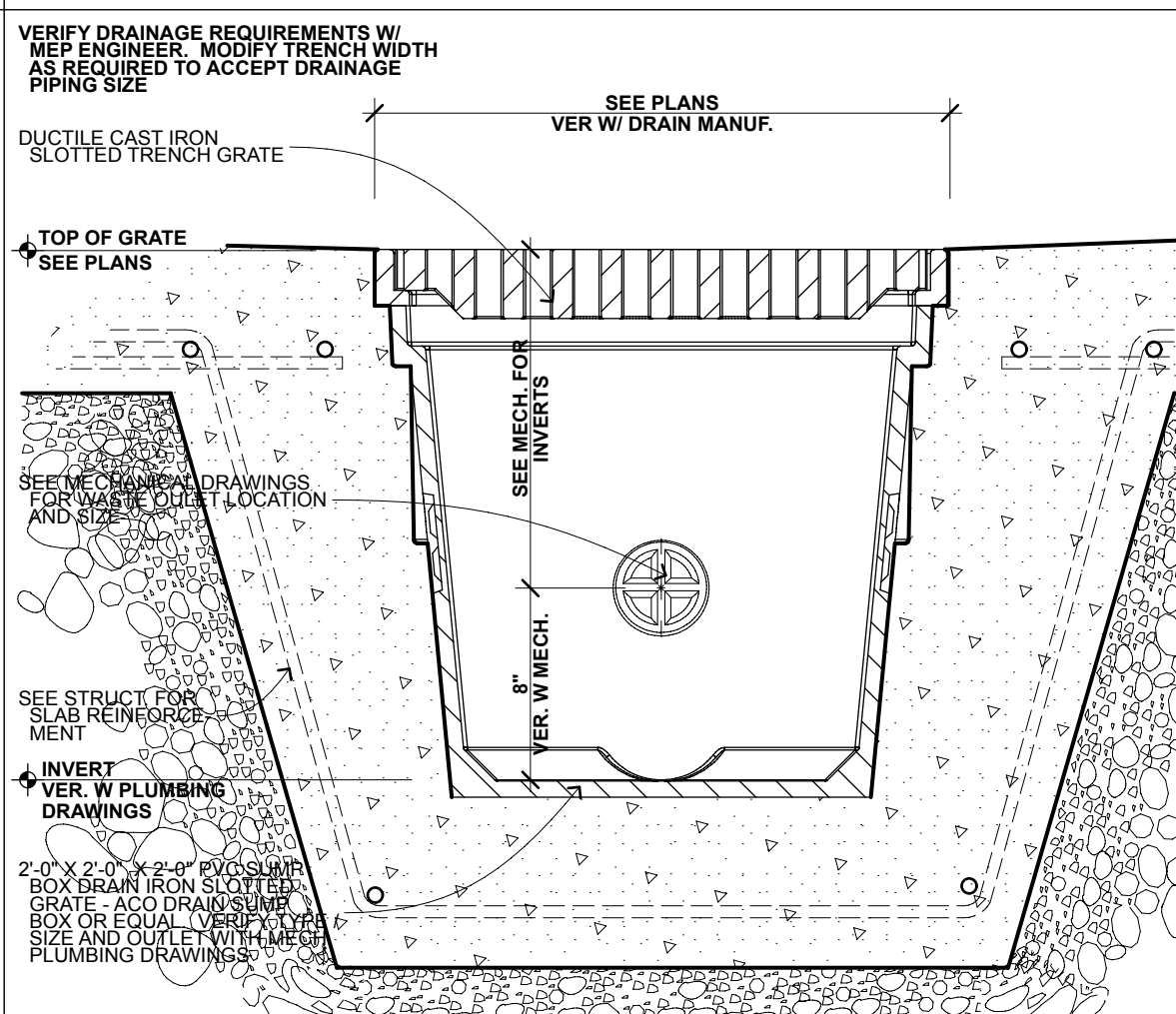
1 WALL SECTION @ JOIST BEARING - TYPICAL
3/4" = 1'-0"



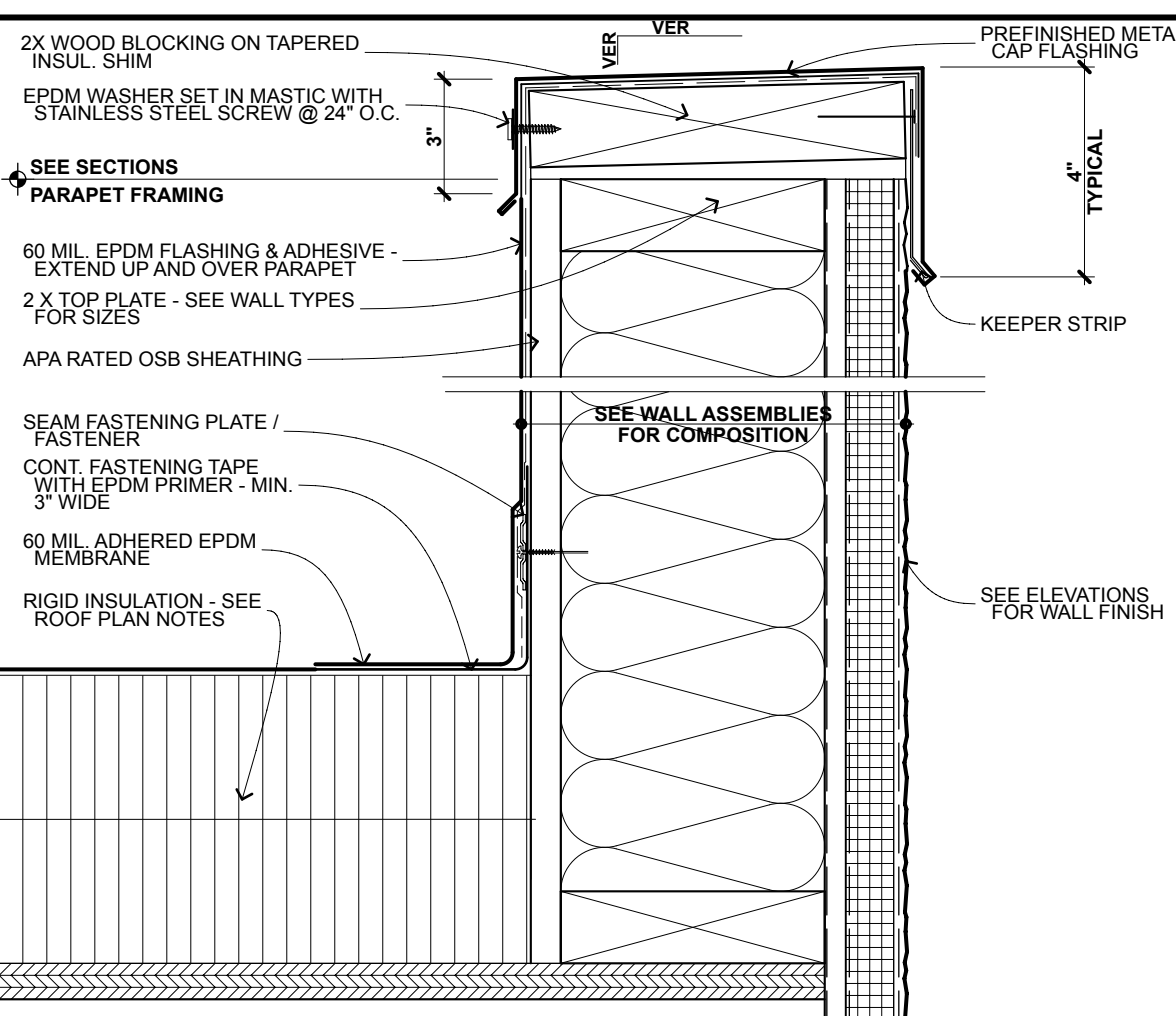
3 WALL SECTION - TYPICAL
3/4" = 1'-0"



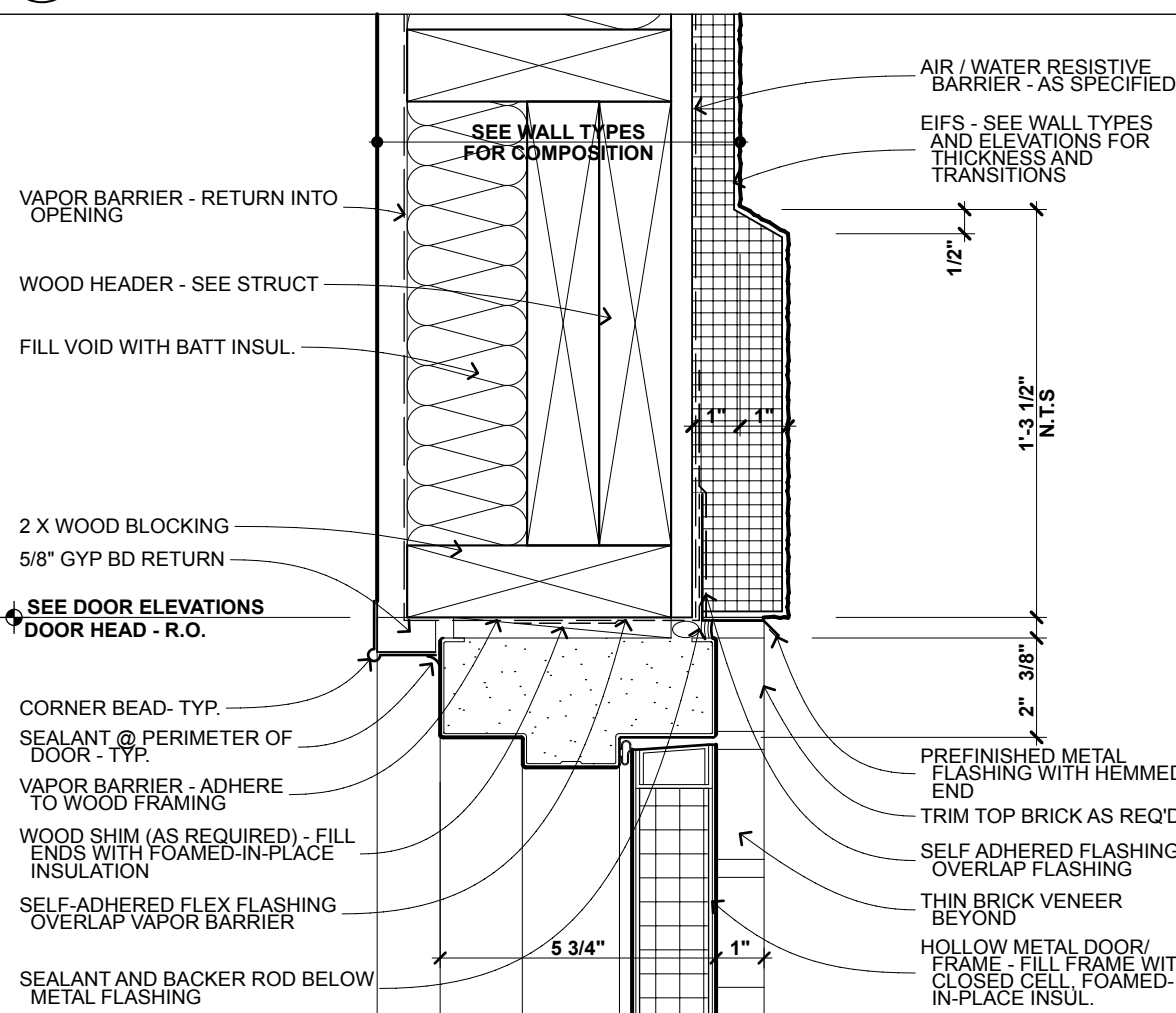
2 DETAIL @ WALL SILL - TYP
1 1/2" = 1'-0"



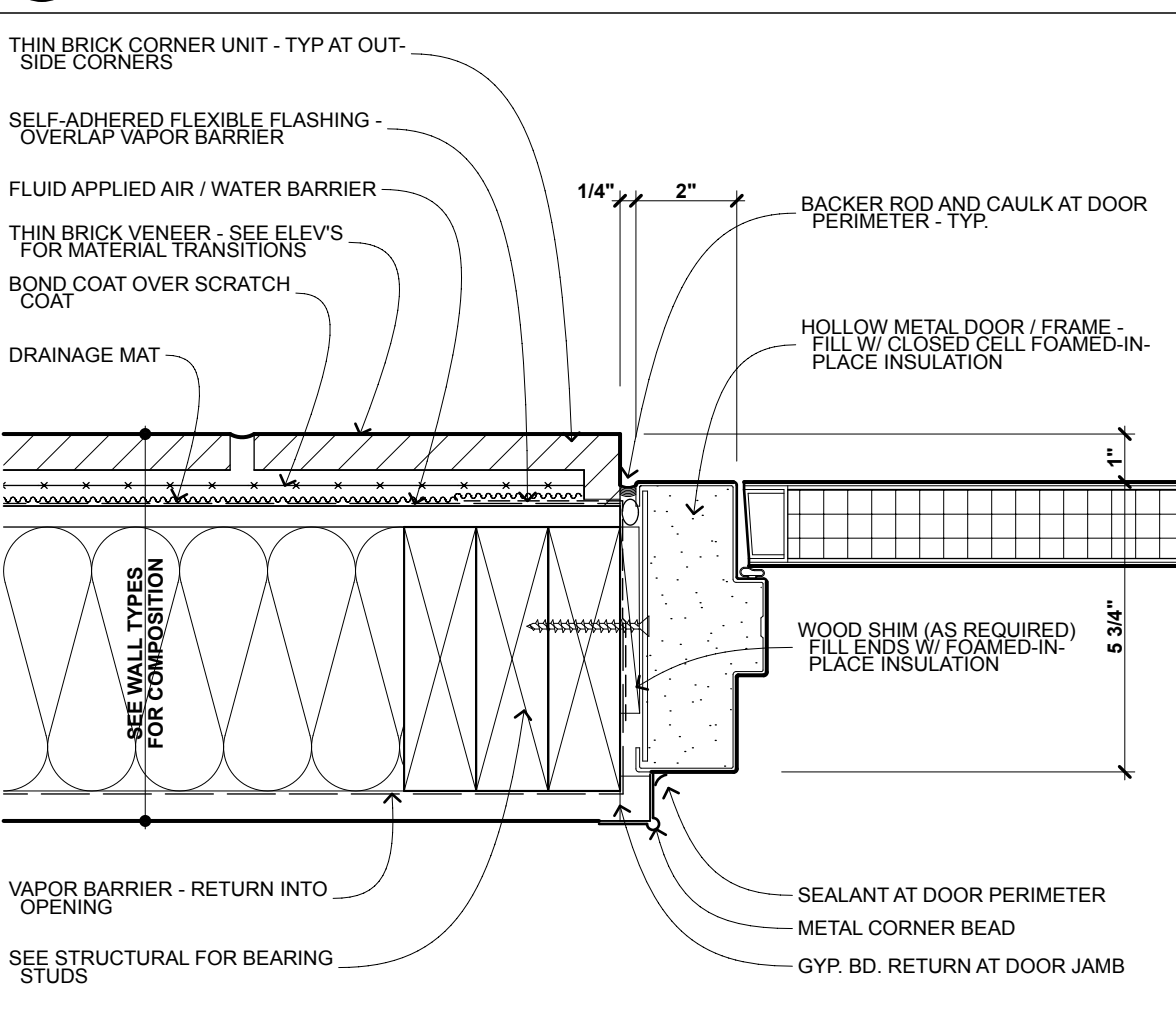
4 DETAIL @ TRENCH DRAIN - TYP
1 1/2" = 1'-0"



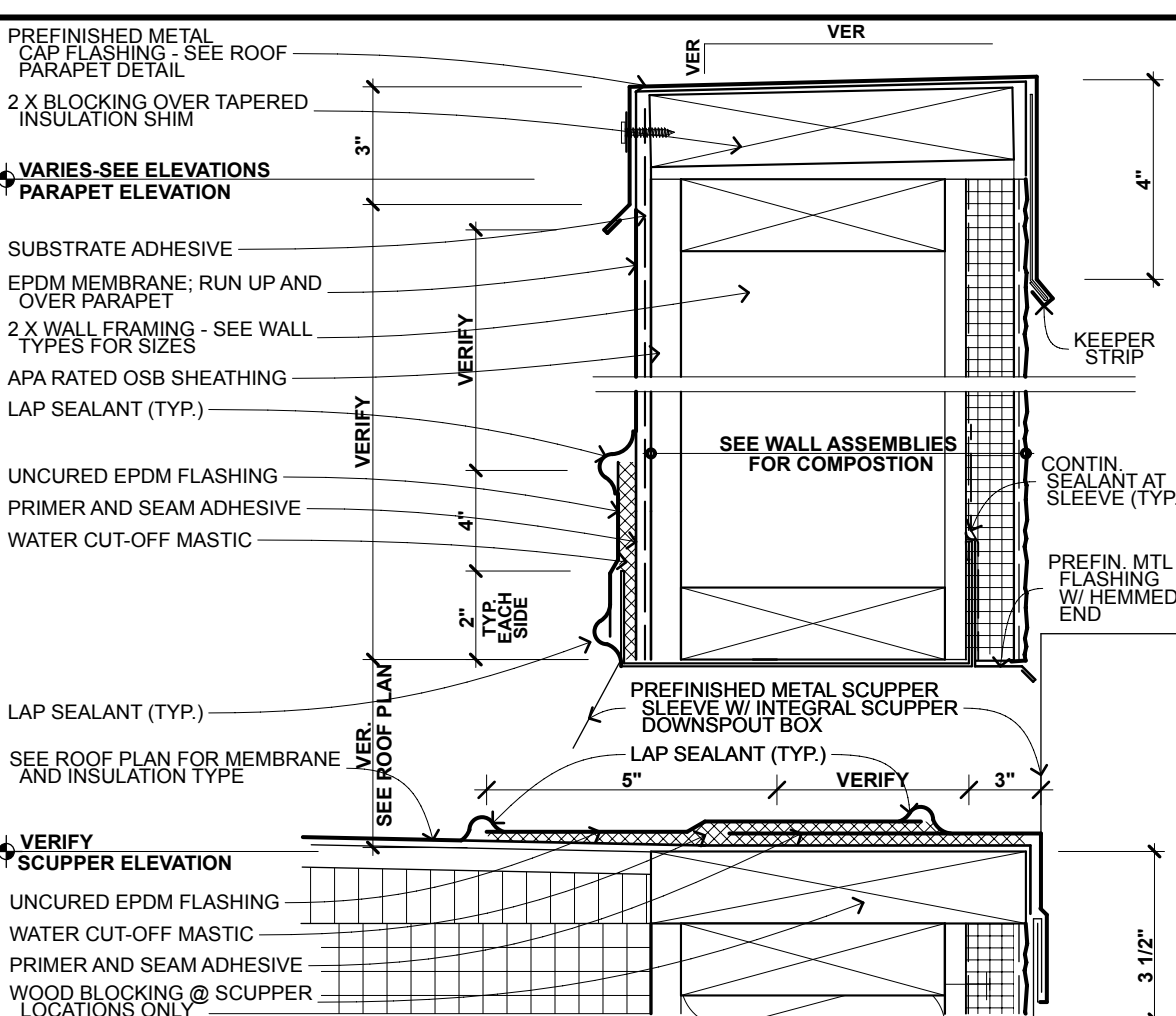
5 DETAIL @ PARAPET CAP / ROOF EDGE
3" = 1'-0"



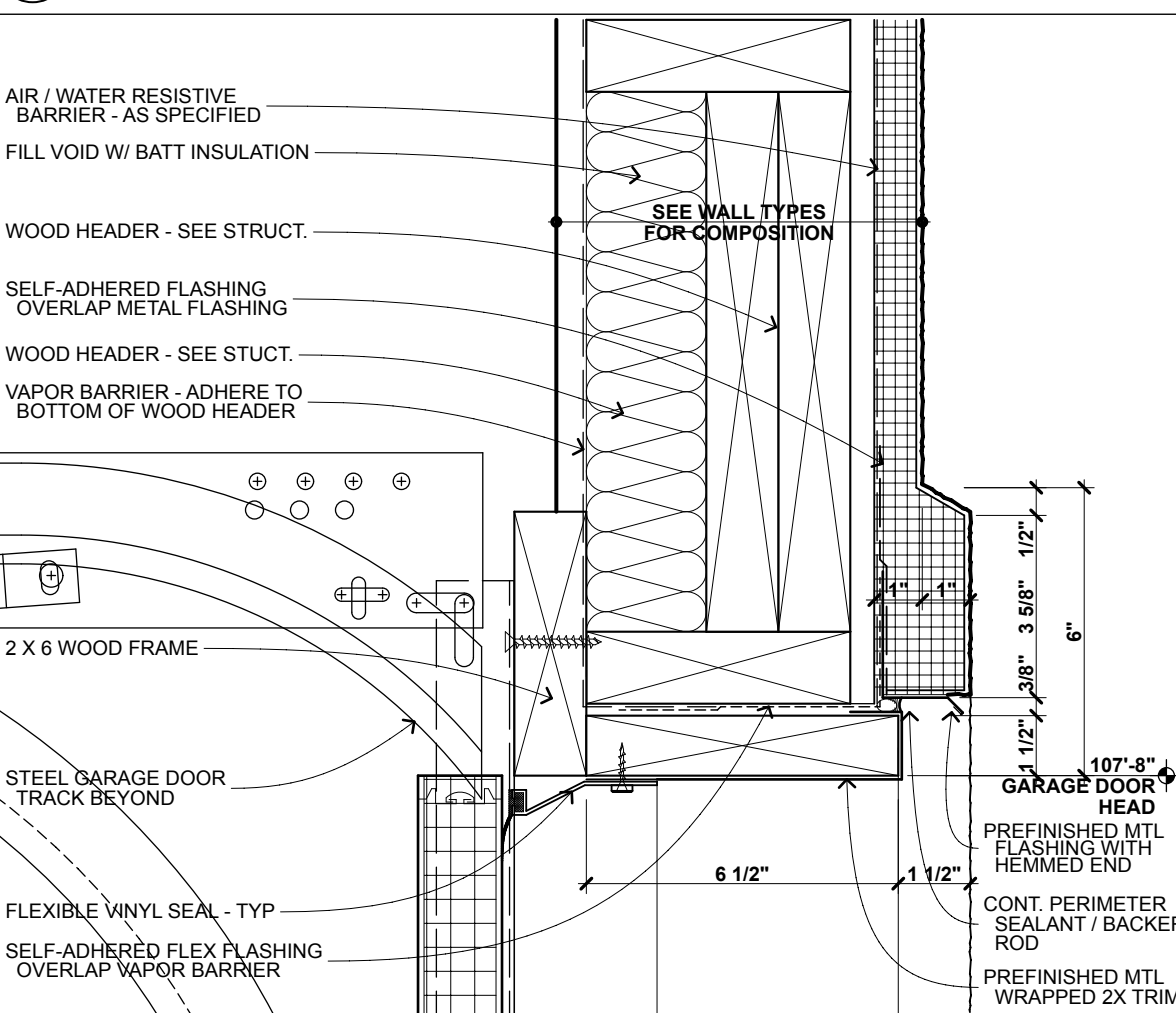
6 DETAIL @ H.M. HEAD
3" = 1'-0"



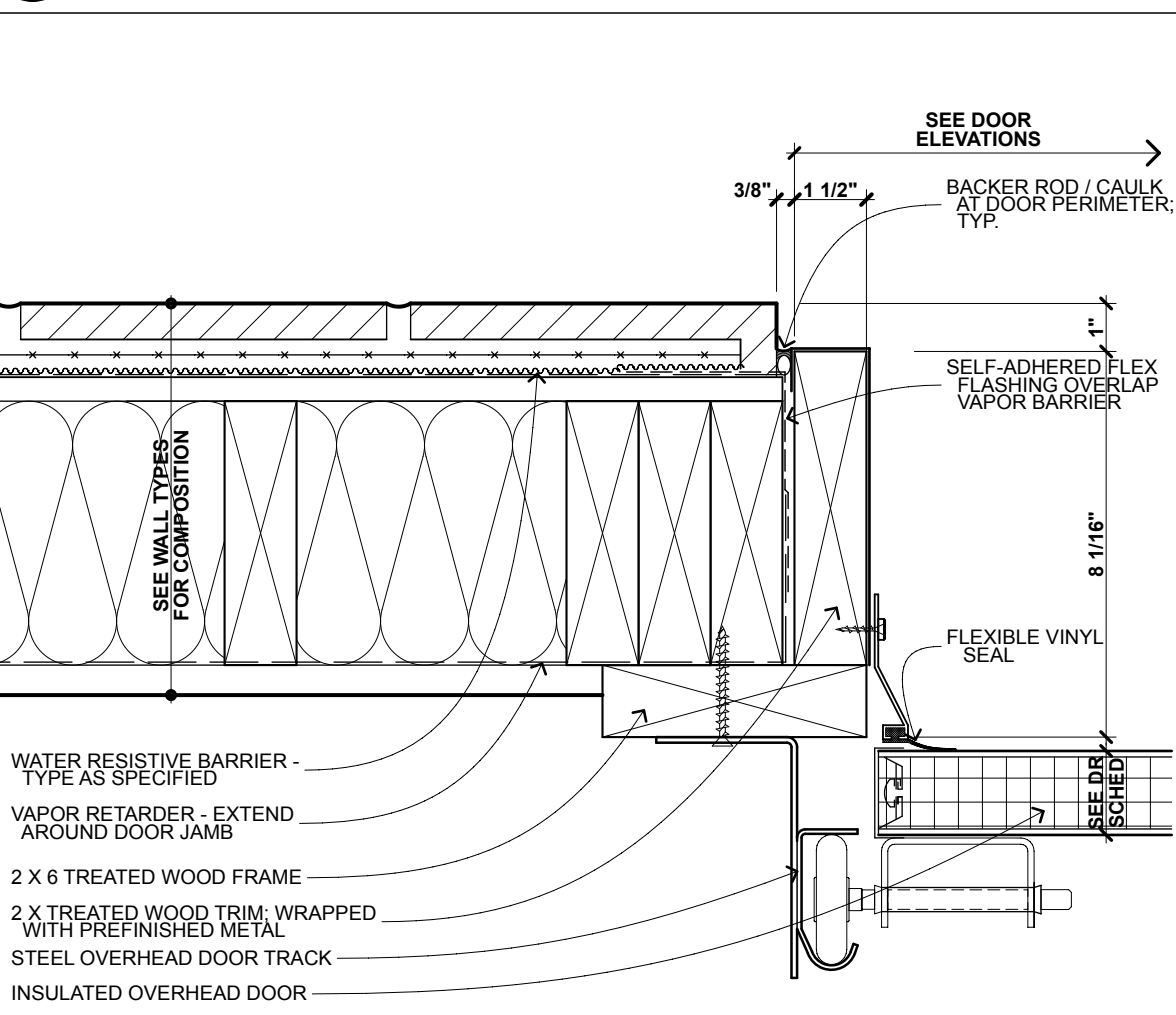
7 DETAIL @ H.M. JAMB
3" = 1'-0"



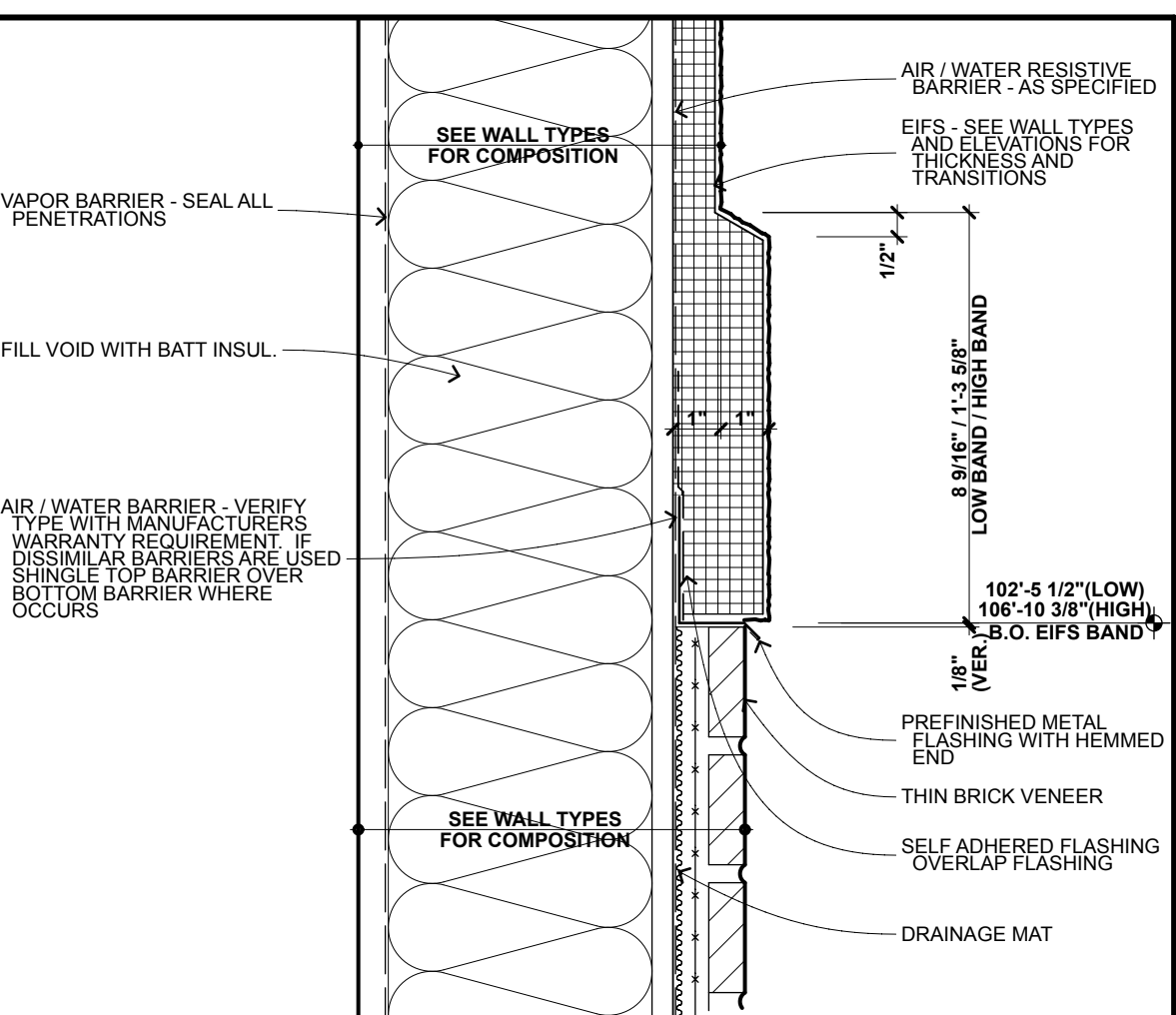
9 DETAIL @ PARAPET / EMERGENCY OVERFLOW SCUPPER
3" = 1'-0"



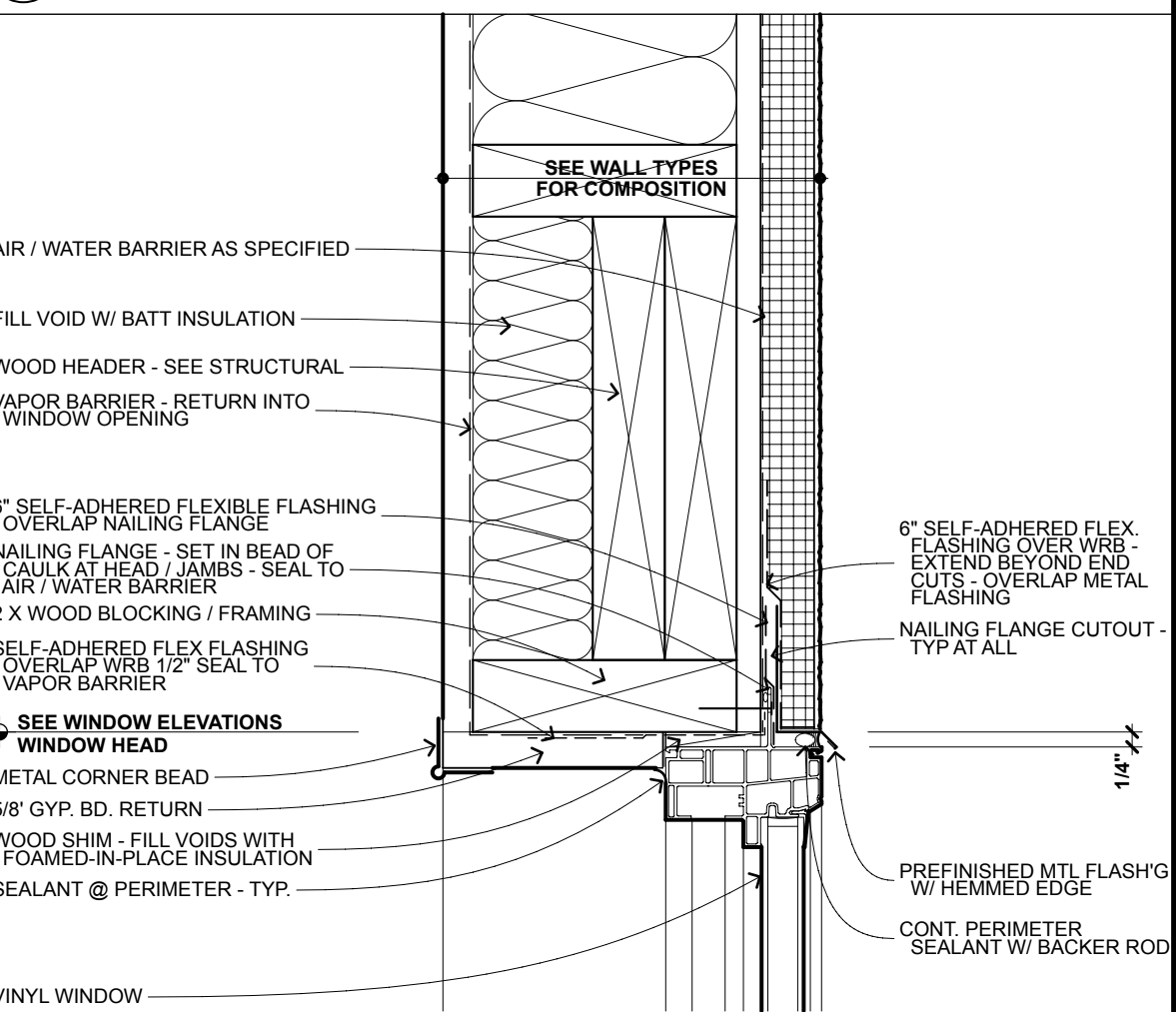
10 DETAIL @ GARAGE DOOR HEAD
3" = 1'-0"



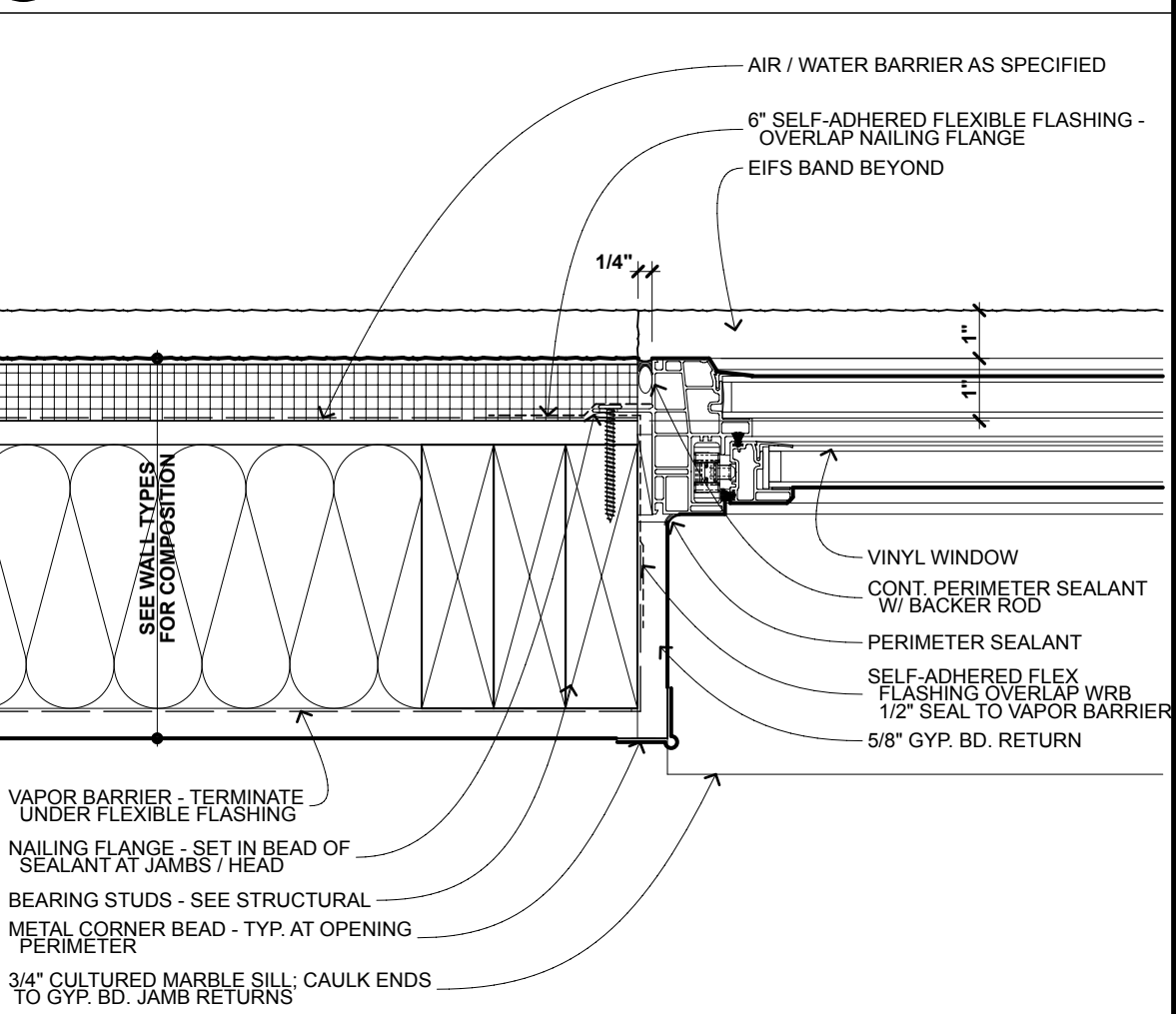
11 DETAIL @ GARAGE DOOR JAMB
3" = 1'-0"



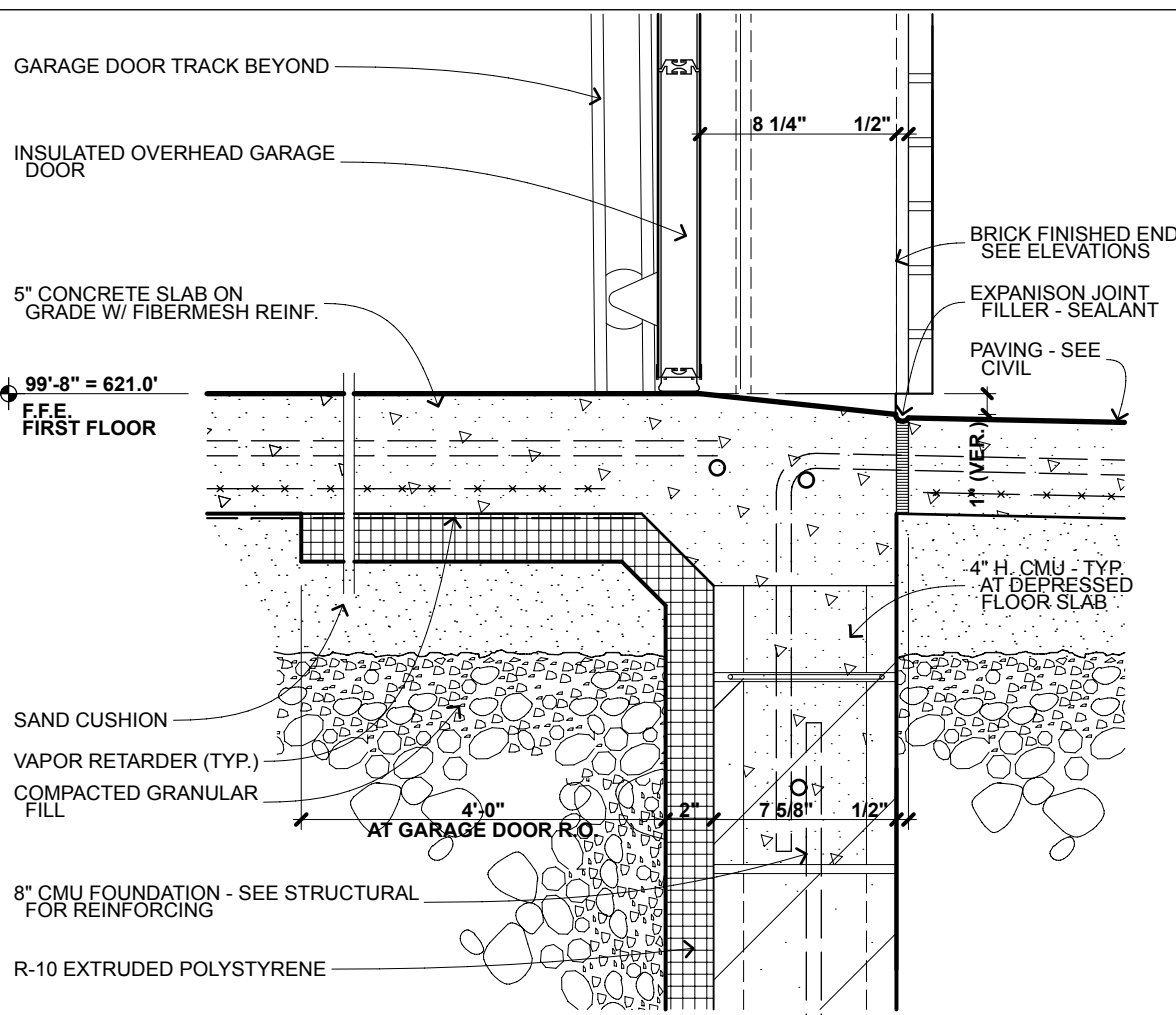
13 DETAIL @ EIFS / BRICK TRANSITION
3" = 1'-0"



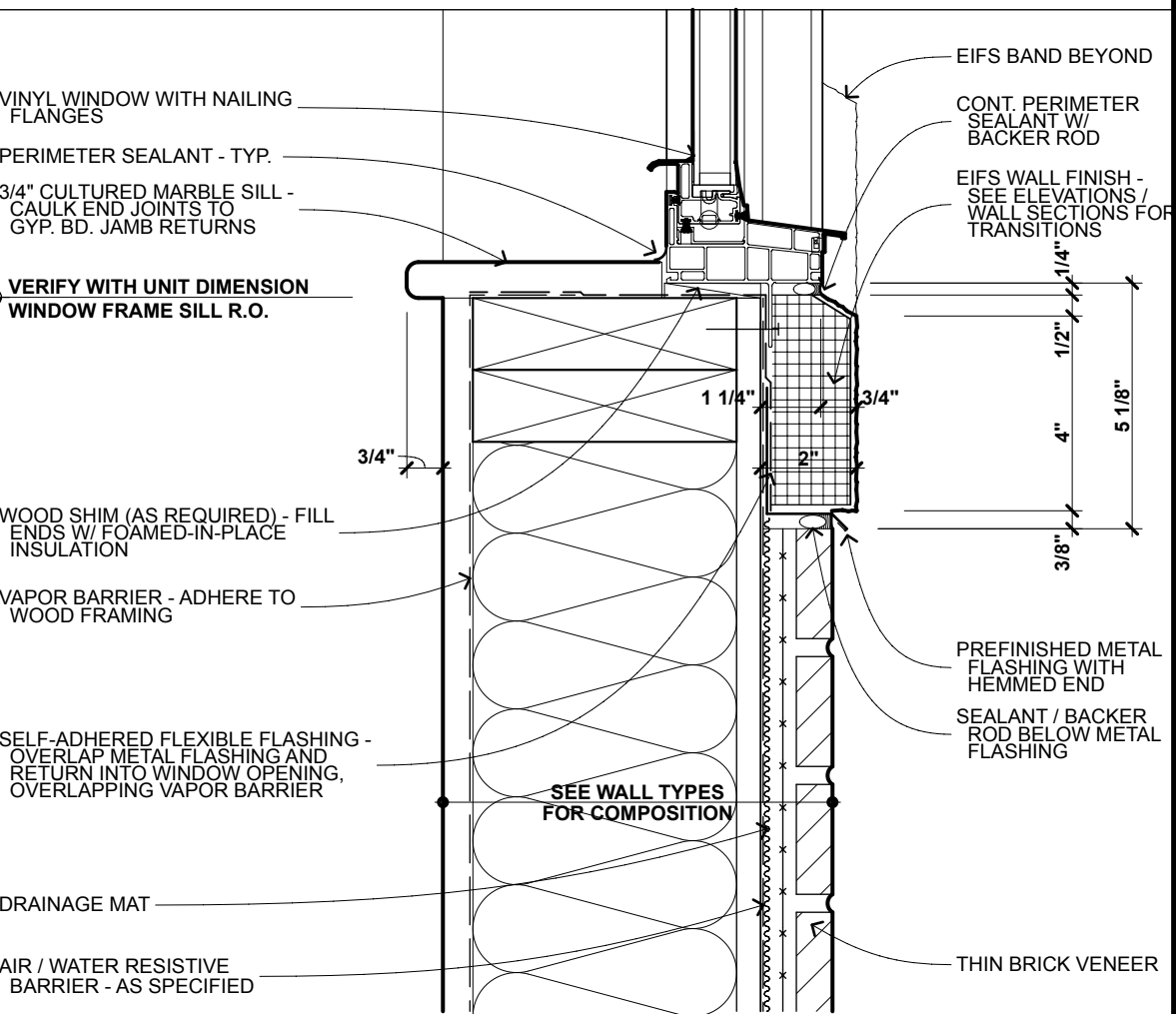
14 DETAIL @ WINDOW HEAD
3" = 1'-0"



15 DETAIL @ WINDOW JAMB
3" = 1'-0"



12 DETAIL @ GARAGE DOOR THRESHOLD - TYP
1 1/2" = 1'-0"



16 DETAIL @ WINDOW SILL
3" = 1'-0"

Miller
ARCHITECTURE, INC.

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3335 West St Germain Street
PO Box 1228
St Cloud, MN 56302

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Architect under the laws of the State of ILLINOIS.

Bradley A. Torok
Signature: **BRADLEY A. TOROK**

Reg. No. : 001.018042 Date : 07-21-2023
Design Firm Reg. No. : F.5993-562-3



DOCUMENT SIGNED LICENSE EXPIRES
07-21-2023 11-30-2024

HABEN FUNERAL HOME
BUILDING ADDITION
8057 NILES CENTER ROAD
SKOKIE, ILLINOIS 60077

REVISIONS

Issue ID	Issue Name	Issue Date

SHEET TITLE
DETAILS

DRAWN BY: DATE: PROJ. NO.
S/JG BAT 7/21/23 32249

SHEET NO.
A-501

<p>07900 - JOINT SEALERS A. Seal the following joints with joint sealer whether so indicated on drawings or not: 1. Expansion and control joints in exterior walls, copings, parapets. 2. Joints between exterior metal panels. 3. Joints between door and window frames and adjacent materials, in exterior walls only. 4. Joints between cabinets and countertops and soffits. 5. Control joints in interior partitions, including partition above ceilings. 6. Expansion and control joints in solid exterior soffits. 7. Control joints in interior ceilings and soffits. 8. Control joints in ceramic tile flooring. 9. Open joints in concrete paving. 10. Joints between dissimilar exterior materials. 11. Precast to precast panel joint assemblies. B. At horizontal surfaces use pourable type if available; at all other surfaces use non-sag type. C. Apply continuous bead of joint sealer in the following locations during installation of materials specified elsewhere: 1. In lap joints of exterior sheet metal construction. 2. Between end stud of partition and adjacent construction. 3. Under exterior door sills. 4. Under sill flashing at exterior window sills. D. Exterior Joint Sealers 1. For All Locations, Unless Otherwise Indicated: Silicone nonsag gunnable elastomeric sealant, complying with ASTM C920-2011, Class 25, single-component, Uses NT, M, and A. a. Color: To match adjoining materials. 2. Concrete Paving: Polyurethane, pourable, elastomeric sealant, complying with ASTM C920-2011, Class 25, single-component, Uses T and M. a. Color: Concrete gray. 3. Concealed Sealant in Low Movement Joints: Butyl or polyisobutylene, non-setting, non-hardening sealant. 4. Precast to Precast Panel Sealant: Polyurethane, nonsag gunnable sealant, complying with ASTM C920-2011, Type M, Use NS, class 50, multi-component, chemically curing. a. Color: Gray. b. Product: Temco; Dymetric 240 F.C. 5. Glazing Sealants: See 08800. E. Interior Sealers 1. For Joints Exposed to View, Unless Otherwise Indicated: Acrylic latex, water-based, single part, paintable sealant, white. 2. Joints in Floors: Polyurethane, pourable, elastomeric sealant, complying with ASTM C920-2011, Class 25, single-component, Uses T and M. a. Color: Color to match adjoining materials. F. Backer Rods: 1. For All Locations, Unless Otherwise Indicated: Closed cell polyurethane; Denver Foam; manufactured by Bay Industries - www.bayindustries.com unless noted otherwise. 2. Joints More than 1-1/2 inches (38 mm) Wide: Precompressed polyurethane foam seal. a. Color: Black.</p>	<p>4. Grade: a. Doors with closers: Grade 1, heavy weight, anti-friction bearing. b. Other exterior doors: Grade 1, heavy weight, anti-friction bearing. c. Heavy interior doors: Grade 2, standard weight, anti-friction bearing. d. Interior doors without closers: Grade 3, standard weight, plain bearing. e. Residence entry doors: Grade 2, standard weight, anti-friction bearing. f. All other doors: Grade 2, standard weight, anti-friction bearing. 5. Quantity: a. Doors up to and including 90 inches (2286 mm): 3 hinges. b. Doors 90 inches (2286mm) through 120 inches (3048 mm): 4 hinges. 1. Provide one additional hinge for every additional 30 inches (762 mm) in heights over 120 inches. 6. Configurations: a. Full Mortise: A0100 series. 7. Manufacturers: a. Hagar Companies. b. Stanley Commercial Hardware; A Division of the Stanley Works. c. PPG Industries. d. Substitutions: See Section 01600 - Product Requirements. E. Locks and Latches: 1. Locking Functions: As indicated in Hardware Groups. 2. Locksets and Latches: Cylindrical (bored), except where otherwise indicated. 3. Provide a lock on every pair of doors and every single door, unless otherwise indicated. 4. Where a lock is specifically not required, provide positive latching, unless otherwise indicated. Exit Devices: Modern style push pad type, complying with ANSIBHMA A156.3-2001. 1. Glazed Aluminum Doors: Standard stile type, with concealed vertical rods where applicable. 2. Single Exterior Doors: Rim type device. 3. Single Interior Doors: Rim type device. 4. Manufacturers: a. Von Duprin; An Ingersoll-Rand Company. b. Yale Commercial Locks and Hardware; An ASSA ABLOY Group Company. c. Hagar Companies. d. Substitutions: See Section 01600 - Product Requirements. G. Locksets: Cylindrical (bored) type. 1. Grade: Complying with ANSIBHMA A156.2-2003. a. Exterior Doors: Grade 1. b. Other Interior Doors: Grade 2. 2. Trim: Level in the following design. a. Grade 2 Locksets: Athens design by Schlage. 3. Manufacturers: a. Grade 2 Locksets: Schlage ALX Series. H. Pushbutton Locks: Manually programmable, stand alone, battery operated electronic lock. 1. Grade: Complying with ANSIBHMA A156.5-2001 Grade 1. I. Strikes: 1. Dustproof. Cast housing. J. Miscellaneous Bolts and Latches: 1. Magnetic Catch. K. Door Closers: 1. Use surface mounted type except where otherwise indicated. L. Surface Mounted Closers: Complying with ANSIBHMA A156.4-2000. 1. Functional Features: a. Exterior Doors: Grade 1. 1. Hold-open. (01) Whichever indicated in the Schedule. 2. Additional adjustable closing force of 15 percent (PT4A) above force required for size. 3. Adjustable hydraulic backcheck (PT4D) 4. Adjustable delayed action closing (PT4F). 5. Built-in factory dead stop at 90-110 degrees (PT4G). 6. Hydraulic fluid suitable for use at up to minus 40 degrees F (minus 40 degrees C). b. Interior Doors: Grade 1. 1. Hold-open, where indicated, except for fire doors. 2. Adjustable hydraulic backcheck (PT4F). 3. Adjustable delayed action closing (PT4G). 4. Built-in factory dead stop at 90-110 degrees (PT4G). 2. Closing Force: As specified in ANSIBHMA A156.4-2000 for size required. 3. Interior Door Closer Sizes: a. Doors over 34 inches (864 mm) and up to 38 inches (965 mm) wide: Size III. b. Doors over 38 inches (965 mm) and up to 48 inches (1219 mm) wide: Size IV. c. Doors over 48 inches (1219 mm) wide or subject to strong drafts: Size V or VI, whichever is suitable. 4. Exterior Door Closer Sizes: a. Doors over 38 inches (914 mm) and up to 42 inches (1067 mm) wide: Size V. b. Doors over 42 inches (1067 mm) wide or unusually heavy weight: Size VI. 5. Mounting: On hinge (pull) side of door, unless otherwise indicated. a. Use arms that project as little as possible. b. Use side track arm mounting. 6. Covers: Manufacturer's standard, full rectangular style. 7. Manufacturers: a. LCN Closers; An Ingersoll-Rand Company. b. Dor-C-Matic; An Ingersoll-Rand Company. c. DORMA Architectural Hardware; A member of the DORMA Group North America. d. Substitutions: See Section 01600 - Product Requirements. M. Door Stops: Complying with ANSIBHMA A156.16-2002 Grade 2, with concealed or inconspicuous fasteners. 1. Wall Stops: Round convex bumper (L02100). 2. Manufacturers: a. Lives Hardware; An Ingersoll-Rand Company. b. Hawatha Inc. c. Stanley Commercial Hardware; A division of The Stanley Works. d. Substitutions: See Section 01600 - Product Requirements. N. Push And Pull Hardware: Material and finish as specified under "General Requirements"; styles as specified in ANSIBHMA A156.6-2005. 1. Combination Push/Pull Bars: a. Style: As indicated in hardware groups. b. Pull Plates: As indicated in hardware groups. 2. Manufacturers: a. Lives Hardware; A Division of Ingersoll-Rand Company. b. Hawatha. c. Burns Manufacturing Incorporated. d. Substitutions: See Section 01600 - Product Requirements. O. Sound and Light Seals: 1. At Door Bottoms: Automatic door bottom. 2. At Door Frame: Compression type, UL listed and labeled for use on sound-rated doors; provide as indicated. P. Weatherstripping for Swinging Doors: Compression-type, unless otherwise indicated; neoprene. 1. Retainers: Aluminum of finish matching door finish. 2. Casings: See Section 06200 - Finish Carpentry. 3. Provide at each exterior door unless otherwise indicated. a. At Jamb and Head: Butyl type adjustable after installation. b. At Bottom of Door at Flat Sidelite: Flexible sweep that makes contact with threshold when door is closed, but does not drag on floor. 4. Manufacturers: a. Reese Enterprises. b. Pemko Manufacturing Company. c. Hagar Companies. d. Substitutions: See Section 01600 - Product Requirements. Q. Seal: 5. Install so air leakage is minimized, while allowing free operation and low-pressure closing of door. Thresholds: Comply with ANSIBHMA A156.21-2005, of configurations as indicated. 1. Material: Aluminum with fluted surface. 2. Material: Cast abrasive. 3. Height Above Finish Floor: 3/8 inch (9.5 mm) high maximum, beveled, with no slope greater than 1:2. 4. As indicated, or as required to cover floor openings and provide necessary weather seal. a. At Entrance Doors: Flat saddle type. 5. Provide at each exterior door unless otherwise indicated. a. At Entrance Doors: Flat saddle type. Hardware Specified Elsewhere: Door Hardware Sets: 1. Door Hardware Set No. 1. Door No.(s) as indicated in the door schedule, each to have the following: NO. ITEM DESCRIPTION MANUFACTURER FINISH - HANGING DEVICE AS REQ'D (NRP) HAGAR 605 (US3) - SECURING DEVICE CD 99 L - 07 VON DUPRIN 605 (US3) - CYLINDER LCN REESE BRASS 1 EA. CLOSING DEVICE AS REQ W/H.O. ACCESSORIES THRESHOLD WEATHERSTRIP'G SWEEP 2 Door Hardware Set No. 2. Door No.(s) as indicated in the door schedule, each to have the following: NO. ITEM DESCRIPTION MANUFACTURER FINISH - HANGING DEVICE AS REQ'D (NRP) HAGAR 605 (US3) - SECURING DEVICE CO-100CV90 SCHLAGE 605 (US3) - CYLINDER LCN REESE BRASS 1 EA. CLOSING DEVICE AS REQ W/H.O. ACCESSORIES THRESHOLD WEATHERSTRIP'G SWEEP 2 Door Hardware Set No. 4. Door No.(s) as indicated in the door schedule, each to have the following: NO. ITEM DESCRIPTION MANUFACTURER FINISH - HANGING DEVICE AS REQ'D HAGAR 605 (US3) - OPERATING TRIM CO-100CV90 SCHLAGE 605 (US3) 1 EA. CLOSING DEVICE AS REQ W/H.O. LCN BRASS 1 EA. STOPS & HOLDS WS 407 CVX IVES 605 (US3) 5. Door Hardware Set No. 3. Door No.(s) as indicated in the door schedule, each to have the following: NO. ITEM DESCRIPTION MANUFACTURER FINISH - HANGING DEVICE AS REQ'D HAGAR 605 (US3) - PULL PLATE 8303-B -4X16 IN. LCN BRASS - PULL PLATE 8303-B -4X16 IN. LCN BRASS 1 EA. CLOSING DEVICE AS REQ W/H.O. 5. Door Hardware Set No. 4. Door No.(s) as indicated in the door schedule, each to have the following: NO. ITEM DESCRIPTION MANUFACTURER FINISH - HANGING DEVICE AS REQ'D HAGAR 605 (US3) - OPERATING TRIM CO-100CV90 SCHLAGE 605 (US3) 1 EA. CLOSING DEVICE AS REQ W/H.O. LCN BRASS 1 EA. STOPS & HOLDS WS 407 CVX IVES 605 (US3)</p>	<p>10250 - SERVICE WALLS A. Wall Paneling (FRP). 1. Plastic sheet wall covering, embossed, semi-rigid, high impact resistant PVC or acrylic-modified vinyl plastic sheet with integral color throughout. a. Thickness: 0.093 inches (1.5 mm) b. Color and Texture: Pebbled finish; White. c. Mounting: Adhesive. d. Trim and Joint Moulding: Extruded rigid plastic that matches sheet wall covering color. 11780 - EQUIPMENT A. Walk-in Cooler: American Mortuary walk-in mortuary morgue cooler model #6010 with 26 ga. embossed galvalume wall finish, insulated floor and vapor proof light and globe. 1. Size: 7'-6" 1/2" H x 8'-0" W x 10'-0" L (2,300 m H x 2,440 m L x 3,050 m L). 2. Compression: Manufacturer's standard compressor with 56-degree ambient temperature (max). 3. Door Size: 3'-0" W x 6'-9" W (0.91 m W x 2.06 m H), Left-hand reverse swing. 4. Cooler tracking: By Owner.</p>	<p>10250 - SERVICE WALLS SPECIALTIES A. Wall Paneling (FRP). 1. Plastic sheet wall covering, embossed, semi-rigid, high impact resistant PVC or acrylic-modified vinyl plastic sheet with integral color throughout. a. Thickness: 0.093 inches (1.5 mm) b. Color and Texture: Pebbled finish; White. c. Mounting: Adhesive. d. Trim and Joint Moulding: Extruded rigid plastic that matches sheet wall covering color. 11780 - EQUIPMENT A. Walk-in Cooler: American Mortuary walk-in mortuary morgue cooler model #6010 with 26 ga. embossed galvalume wall finish, insulated floor and vapor proof light and globe. 1. Size: 7'-6" 1/2" H x 8'-0" W x 10'-0" L (2,300 m H x 2,440 m L x 3,050 m L). 2. Compression: Manufacturer's standard compressor with 56-degree ambient temperature (max). 3. Door Size: 3'-0" W x 6'-9" W (0.91 m W x 2.06 m H), Left-hand reverse swing. 4. Cooler tracking: By Owner.</p>	<p>09200 - PLASTER AND GYPSUM BOARD FINISHES A. Gypsum Wallboard: a. Core: Standard - incombustible. b. Backing: Paper-backed. c. Thickness: As indicated. d. Edge Configuration: beveled. 2. Gypsum Ceiling Board: Incombustible, 5/8 inch (15.8 mm) thick, tapered edge. 3. Water-Resistant Gypsum Backing Board (Greenboard): a. Core: Standard (water-resistant). b. Thickness: 5/8 inch (15.8 mm). c. Edge Configuration: Tapered. B. Glass Mat Water-Resistant Gypsum Backing Panel: ASTM C1178/C1178M-2006. 1. Core: Standard. 2. Thickness: 1/2 inch (12.7 mm). 3. Thickness: As indicated. 4. Edge Configuration: Square. C. Gypsum Board Assemblies: 1. Gypsum Panel Partitions: a. Non-Rated Wood Stud Partitions: 1. Hold-open, where indicated, except for fire doors. 2. Studs: Full height and ceiling height, as indicated, spaced at as indicated. 3. Infill: Fiberglass sound batts at sound-rated walls where indicated. 3. Furring: Resilient steel furring channels spaced at 24 inches (610 mm) oc. for sound-rated walls where indicated. 2. Gypsum Panel Ceilings: a. Non-Rated Wood Framed Ceilings: 1. Framing: Spaced as indicated. 2. Infill: Fiberglass sound batts where indicated. b. Non-Rated Wood Truss Framed Ceilings: 1. Framing: Spaced at as indicated. 2. Infill: Fiberglass sound batts where indicated. c. Non-Rated Steel Framed Walls, Ceilings and Soffits: 1. Framing: Steel non-loadbearing studs, suspended and/or braced as required. 2. Infill: Fiberglass sound batts (910 mm) at center maximum, installed in accordance with ASTM C754-2007. D. Gypsum Board Accessories: 1. Acoustic Insulation: ASTM C665-2006, performed, friction-fit, unfaced. 2. Acoustic Sealant: Non-sinking, non setting, for use in conjunction with gypsum board. 3. Corner Beads and Trim: Galvanized steel. 4. Finishing System: ASTM C475/C475M-2002 (Reapproved 2007); ready-mixed vinyl-based joint compound complying with ASTM C840-2003, Level 4. 5. Screws: ASTM C1002-2007. 6. Nails: ASTM C514-2004 (Reapproved 2009)1. 7. Wood Adhesive: ASTM C537-2003 (Reapproved 2009)1. 09500 - CEILING A. Grid-Supported Acoustical Ceilings: 1. Standards: a. Acoustical Products: Characteristics measured in conformance with classification system of ASTM E1264-2008e1. b. Suspension Systems: Comply with ASTM O635-2007. 2. Panel System: Comply with ANSIBHMA A156.6-2005. a. Acoustical Panels (ACT-1): Type III, painted mineral fiber, and as follows: 1. Size: 24 by 24 inch (609 by 609 mm). 2. Thickness: 3/4 inch (19 mm). 3. Composition: Form 2, nodular. 4. Density: Minimum 0.92 lbs/cu ft (4.9 kg/cu m). 5. Light Reflectance: Minimum 0.8. 6. Noise Reduction Coefficient (NRC): Minimum 0.55. 7. Edge Detail: Shadowline Tapered (SLT). 8. Color: White. 9. Surface Pattern: CDPI - Lightly textured. 10. At Door Bottoms: Automatic door bottom. 11. Location: Typical throughout where indicated (U.N.O.). 12. Basis of Design: USG Corporation; Aspen - Basic Acoustical tile. (01) Substitutions: See Section 01600 - Product Requirements. For any product not identified as the "Basis of Design", submit information as specified for substitutions. b. Lay-In Panels: (VT-1) Vinyl faced, gypsum core with the following characteristics: 1. Size: 24 by 48 inch (609 by 1219 mm). 2. Thickness: 1/2 inch (19 mm). 3. Edge Detail: Square (SQ). 4. Color: White. 5. Suspension System: GD-2. 6. Location: Prep Room 104 (patching if required). 6. Basis of Design: USG Corporation; Shetrock Brand - Clima Plus. (01) Substitutions: See Section 01600 - Product Requirements. For any product not identified as the "Basis of Design", submit information as specified for substitutions. b. Suspension System: 1. Type GD-1: Exposed, hot-dipped galvanized painted steel, non-fire rated, intermediate duty, and as follows: a. Construction: Single web. (02) Profile: Tee. (03) Width: 15/16 inch (24 mm). (04) Finish: Baked enamel; White. (05) Basis of Design: USG Corporation; Donn DX / DXL. 2. Type GD-2: Concealed, extruded aluminum grid and cap, non-fire rated, intermediate duty, and as follows: (01) Construction: Single web. (02) Profile: Tee. (03) Width: 15/16 inch (24 mm). (04) Finish: Baked enamel; White. (05) Basis of Design: USG Corporation; Donn DXLA. Substitutions: See Section 01600 - Product Requirements. For any product not identified as the "Basis of Design", submit information as specified for substitutions. 3. Installation: a. Suspension System: Comply with ASTM C636/C636M-2006, and manufacturer's instructions. b. Acoustical Units: Install in accordance with manufacturer's instructions.</p>	<p>320.251.4109 320.251.4693 fx 3335 West St Germain Street PO Box 1228 St Cloud, MN 56302</p> <p>I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Architect under the laws of the State of ILLINOIS.</p>  Signature: BRADLEY A. TOROK Reg. No.: 001.018042 Date: 07-21-2023 Design Firm Reg. No.: F 5993-562.3  DOCUMENT SIGNED LICENSE EXPIRES 07-21-2023 11-30-2024 <p>HABEN FUNERAL HOME BUILDING ADDITION 8057 NILES CENTER ROAD SKOKIE, ILLINOIS 60077</p> <p>REVISIONS Issue ID Issue Name Issue Date</p> <p>SHEET TITLE SPECIFICATIONS DRAWN BY: DATE: PROJ. NO. SJG/BAT 7/21/23 32249</p> <p>SHEET NO. A-602</p> <p>10 - SPECIFICATIONS - Plotted on 7/24/23 at 4:21 PM - /Volumes/Mike Keim's Public Folder/Miller Projects/32249-Haben Funeral Home/Design Drawings and Data/Haben FH DN-5 CA.pln</p> <p>© Copyright, Miller Architecture Inc.</p>
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DESIGN LOADS:

DESIGN CODE: INTERNATIONAL BUILDING CODE 2021 (2021 IBC) WITH LOCAL AMENDMENTS

LOADS:

ROOF:
 SNOW LOAD: 25 PSF (OR 20 PSF + DRIFT)
 FRAMING: 15 PSF
 ROOFING: 5 PSF

WIND: $V_{WT} = 107$ MPH, EXP B

GENERAL FOUNDATION NOTES:

- ALL SOIL SUPPORTED FOOTINGS SHALL BE FOUNDED UPON UNDISTURBED, NATURAL SUBGRADE WITH A MINIMUM ALLOWABLE BEARING CAPACITY OF 1,500 PSF AS FIELD VERIFIED AND APPROVED BY THE OWNER'S SOIL TESTING LABORATORY. THE BOTTOM OF THE FOOTING ELEVATIONS AND SOIL BEARING CAPACITIES AS SHOWN ON THE DRAWINGS ARE ESTIMATED FROM THE SOIL BORING DATA. FINAL, EXACT ELEVATIONS AND SOIL BEARING CAPACITIES SHALL BE FIELD DETERMINED AND VERIFIED BY THE OWNER'S SOIL TESTING LABORATORY AND REVIEWED BY THE ARCHITECT / ENGINEER DURING CONSTRUCTION.
- SOIL SUBGRADE FOR ALL FOOTINGS AND SLABS SHALL BE INSPECTED AND APPROVED BY THE OWNER'S SOIL TESTING LABORATORY IMMEDIATELY PRIOR TO PLACING FOUNDATION CONCRETE OR CONCRETE MUD SLABS.
- ALL FOOTINGS SUBGRADES AS REQUIRED AND ALL SLAB SUBGRADES INCLUDING PIT SLABS SHALL BE COMPACTED TO 95 PERCENT OF MAXIMUM DENSITY AT OPTIMUM MOISTURE CONTENT BASED ON LABORATORY DESIGNATION ASTM D1557. ALL BACKFILL AROUND AND ABOVE ALL FOUNDATION ELEMENTS, FOOTINGS, CAPS, MATS AND PITS SHALL BE COMPACTED TO 90 PERCENT OF MAXIMUM DENSITY AT OPTIMUM MOISTURE CONTENT BASED ON LABORATORY DESIGNATION ASTM D1557.
- ALL ORGANIC AND / OR OTHER UNSUITABLE MATERIALS SHALL BE REMOVED FROM SUBGRADE AND BACKFILL AREAS AND BACKFILLED WITH ACCEPTABLE GRANULAR FILL, COMPACTED TO 95 PERCENT OF MAXIMUM DENSITY. FILL SHALL BE PLACED IN LIFTS NOT TO EXCEED 12 INCHES IN LOOSE THICKNESS.
- NO MUD SLABS, FOOTINGS OR SLABS SHALL BE PLACED INTO OR AGAINST SUBGRADE CONTAINING FREE WATER, FROST OR ICE. SHOULD WATER OR FROST ENTER A FOOTING EXCAVATION AFTER SUBGRADE APPROVAL, THE SUBGRADE SHALL BE RE-INSPECTED BY THE OWNER'S SOIL TESTING LABORATORY AFTER REMOVAL OF WATER OR FROST.
- THE CONTRACTOR SHALL PROVIDE ALL NECESSARY MEASURES TO PREVENT ANY FROST OR ICE FROM PENETRATING ANY FOOTING OR SLAB SUBGRADE BEFORE AND AFTER PLACING OF CONCRETE AND UNTIL SUCH SUBGRADES ARE FULLY PROTECTED BY THE PERMANENT BUILDING STRUCTURE.
- THE CONCRETE FOR EACH ISOLATED FOOTING SHALL BE PLACED IN ONE (1) CONTINUOUS PLACEMENT.
- ALL SLAB AND FOOTING MUD SLABS SHALL BE THOROUGHLY CLEANED IMMEDIATELY PRIOR TO THE FOUNDATION CONCRETE PLACEMENT.
- ALL SLABS-ON-GRADE SHALL BE PLACED OVER A VAPOR BARRIER AND A MINIMUM OF 6 INCH COMPACTED GRANULAR FILL MATERIAL INCLUDING SAND TOPPING OVER A COMPACTED SOIL SUBGRADE.
- ALL PERIMETER WALL AND COLUMN FOOTINGS SHALL BEAR A MINIMUM OF 3'-6" BELOW FINISHED GRADES SHOWN ON THE CIVIL DRAWINGS.
- SEE PLUMBING DRAWINGS FOR UNDER FLOOR DRAINAGE SYSTEM AND SPECIAL GRANULAR FILL MATERIALS.
- SEE ARCHITECTURAL DRAWINGS FOR ALL WATERPROOFING AND DAMPROOFING DETAILS.
- SEE SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS.

MISCELLANEOUS NOTES:

- STRUCTURAL DRAWINGS ARE INTENDED TO BE USED WITH ARCHITECTURAL AND MECHANICAL DRAWINGS. CONTRACTOR IS RESPONSIBLE FOR COORDINATING THE REQUIREMENTS OF ALL DRAWINGS INTO THEIR SHOP DRAWINGS AND WORK.
- NO OPENINGS, OTHER THAN THOSE SHOWN ON DESIGN DRAWINGS AND APPROVED SHOP DRAWINGS, SHALL BE MADE WITHOUT THE WRITTEN APPROVAL OF THE ARCHITECT.
- NO CHANGE IN SIZE OR DIMENSION OF STRUCTURAL MEMBERS SHALL BE MADE WITHOUT THE WRITTEN APPROVAL OF THE ARCHITECT.
- OPENINGS OF 1'-4" AND LESS ON A SIDE ARE GENERALLY NOT SHOWN ON THE STRUCTURAL DRAWINGS. REFER TO ARCHITECTURAL AND MECHANICAL DRAWINGS FOR LOCATIONS AND DIMENSIONS OF THOSE OPENINGS. PROVIDE REINFORCING AROUND OPENINGS PER TYPICAL DETAILS SHOWN ON STRUCTURAL DRAWINGS.
- THE CONTRACTOR IS RESPONSIBLE FOR LIMITING THE AMOUNT OF CONSTRUCTION LOAD IMPOSED UPON STRUCTURAL FRAMING. CONSTRUCTION LOADS SHALL NOT EXCEED THE CAPACITY OF THE FRAMING AT THE TIME THE LOADS ARE IMPOSED.
- THE STRUCTURE IS DESIGNED TO FUNCTION AS A UNIT UPON COMPLETION. THE CONTRACTOR SHALL FURNISH ALL TEMPORARY BRACING AND / OR SUPPORTS REQUIRED AS THE RESULT OF THE CONTRACTOR'S CONSTRUCTION METHODS AND / OR SEQUENCES.
- DO NOT SCALE THESE DRAWINGS, USE DIMENSIONS.
- CONTRACTOR'S CONSTRUCTION AND / OR ERECTION SEQUENCES SHALL RECOGNIZE AND CONSIDER THE EFFECTS OF THERMAL MOVEMENTS OF STRUCTURAL ELEMENTS DURING THE CONSTRUCTION PERIOD. EXPANSION JOINTS SHOWN ON THE DRAWINGS HAVE BEEN DESIGNED TO ACCOMMODATE ANTICIPATED THERMAL MOVEMENT AFTER THE BUILDING IS COMPLETE.
- THE CONTRACTOR SHALL INFORM THE ARCHITECT IN WRITING OF ANY DEVIATION FROM THE CONTRACT DOCUMENTS. THE CONTRACTOR SHALL NOT BE RELIEVED OF THE RESPONSIBILITY FOR SUCH DEVIATION BY THE ARCHITECT'S APPROVAL OF SHOP DRAWINGS, PRODUCT DATA, ETC., UNLESS THE CONTRACTOR HAS SPECIFICALLY INFORMED THE ARCHITECT OF SUCH DEVIATION AT THE TIME OF SUBMISSION, AND THE ARCHITECT HAS GIVEN WRITTEN APPROVAL TO THE SPECIFIC DEVIATION.
- ALL THING WHICH, IN THE OPINION OF THE CONTRACTOR, APPEAR TO BE DEFICIENCIES, OMISSIONS, CONTRADICTIONS AND AMBIGUITIES, IN THE PLANS AND SPECIFICATIONS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT. PLANS AND / OR SPECIFICATIONS WILL BE CORRECTED, OR A WRITTEN INTERPRETATION OF THE ALLEGED DEFICIENCY, OMISSION, CONTRADICTION OR AMBIGUITY WILL BE MADE BY THE ARCHITECT BEFORE THE EFFECTED WORK PROCEEDS.

CONCRETE NOTES:

- ALL CONCRETE WORK SHALL CONFORM TO THE REQUIREMENTS OF ACI 318 AND ACI 301, LATEST EDITIONS. THESE DOCUMENTS SHALL BE AVAILABLE IN THE FIELD OFFICE.
- EXCEPT WHERE OTHERWISE INDICATED, CONCRETE TYPE AND MINIMUM 28-DAY COMPRESSIVE STRENGTHS SHALL BE NORMAL WEIGHT, 4,000 PSI CONCRETE.
- CEMENT SHALL CONFORM TO ASTM C150 TYPE 1. USE ONLY ONE BRAND OF CEMENT FOR ALL EXPOSED TO VIEW CONCRETE. AGGREGATES SHALL CONFORM TO ASTM C33 (REGULAR WEIGHT). ALL CONCRETE SHALL CONTAIN AN APPROVED WATER REDUCING ADMIXTURE. ALL EXPOSED CONCRETE SHALL BE AIR-ENTRAINED. NO CALCIUM CHLORIDE SHALL BE USED IN ANY CONCRETE.
- REINFORCING BARS SHALL CONFORM TO ASTM A615, GRADE 60, ALL WELDED WIRE FABRIC SHALL CONFORM TO ASTM A185.
- ALL CONCRETE REINFORCEMENT SHALL BE DETAILED, FABRICATED, LABELED, SUPPORTED AND SPACED IN FORMS AND SECURED IN PLACE IN ACCORDANCE WITH THE PROCEDURES AND REQUIREMENTS OUTLINED IN THE LATEST EDITION OF THE "MANUAL OF STANDARD PRACTICE FOR DETAILING REINFORCED CONCRETE STRUCTURES", ACI 315. BAR SUPPORTS IN CONTACT WITH EXPOSED SURFACES SHALL BE PLASTIC TIPPED.
- CHECKED SHOP DRAWINGS SHOWING REINFORCING DETAILS, INCLUDING STEEL SIZES, SPACING AND PLACEMENT SHALL BE SUBMITTED TO THE ARCHITECT FOR REVIEW PRIOR TO FABRICATION.
- THE CONTRACTOR SHALL SUBMIT DETAILED DRAWINGS SHOWING THE LOCATIONS OF ALL CONSTRUCTION JOINTS, REVEALS, CURBS, SLAB DEPRESSIONS, SLEEVES, OPENINGS, ETC.
- ALL REINFORCING SPICES SHALL CONFORM TO THE REQUIREMENTS OF ACI 318, LATEST EDITION, BUT IN NO CASE SHALL BE LESS THAN 36 BAR DIAMETERS, UNLESS NOTED OTHERWISE. ALL WELDED WIRE FABRIC SHALL BE LAPPED TWO (2) FULL MESH PANELS AND TIES SECURELY. WHERE REQUIRED, DOWELS SHALL MATCH SIZE AND NUMBER OF MAIN REINFORCING, UNLESS NOTED OTHERWISE.
- ALL SLABS-ON-GRADE SHALL BE REINFORCED WITH AT LEAST ONE (1) LAYER OF 6x6 W2.9xW2.9 W.W.F., UNLESS NOTED OTHERWISE. PROVIDE ONE (1) LAYER OF 6x6 W1.4xW1.4 W.W.F. CONTINUOUS IN ALL CONCRETE FILLS OVER THE STRUCTURAL SLAB.
- ADDITIONAL BARS SHALL BE PROVIDED AROUND ALL FLOOR AND WALL OPENINGS, AS SHOWN ON DETAILS.
- ALLOW A MINIMUM OF THREE (3) HOURS BETWEEN PLACEMENT OF CONCRETE FOR COLUMNS, WALLS OR PIERS AND PLACEMENT OF CONCRETE ON THE ADJACENT FLOOR.
- SEE FLOOR PLANS, SCHEDULES AND SPECIFICATIONS FOR CAMBER REQUIREMENTS.
- UNLESS NOTED OTHERWISE, ALL MECHANICAL, PLUMBING AND ELECTRICAL EQUIPMENT PADS SHALL BE REINFORCED WITH AT LEAST ON (1) LAYER OF 6x6 W4xW4 W.W.F. SEE HVAC, PLUMBING AND ELECTRICAL DRAWINGS FOR ADDITIONAL REINFORCING REQUIREMENTS OF PADS.
- PLACE ALL SLABS-ON-GRADE WITH AN APPROVED PATTERN AND SEQUENCE OF CONSTRUCTION AND CONTROL JOINTS TO MINIMIZE SHRINKAGE CRACKS. THE MAXIMUM SPACING BETWEEN JOINTS SHALL BE 15 FEET. A SUGGESTED ARRANGEMENT AND DETAILS ARE SHOWN ON THE DRAWINGS.
- CONCRETE TESTING WILL BE PERFORMED BY THE OWNER'S TESTING LABORATORY IN ACCORDANCE WITH ACI 301 LATEST EDITION CHAPTER 16, EXCEPT AS FOLLOWS: FOR COMPRESSIVE STRENGTH TEST, TAKE ONE SET OF FOUR (4) SPECIMENS FOR EACH 50 CUBIC YARDS OR FRACTION THEREOF OF EACH CONCRETE CLASS PLACED IN ANY ONE DAY. TEST ONE (1) SPECIMEN AT 7 DAYS, TWO (2) SPECIMENS AT 28 DAYS, AND KEEP ONE IN RESERVE.

GENERAL STEEL NOTES:

- ALL STRUCTURAL STEEL WORK SHALL CONFORM TO THE AISC "SPECIFICATION FOR THE DESIGN, FABRICATION AND ERECTION OF STRUCTURAL STEEL FOR BUILDINGS", LATEST EDITION, AND THE AISC "CODE OF STANDARD PRACTICE FOR STEEL BUILDINGS AND BRIDGES", LATEST EDITION, EXCEPT AS MODIFIED BELOW OR IN THE SPECIFICATIONS.
- ALL STRUCTURAL STEEL W SHAPES SHALL CONFORM TO ASTM A572 OR A992 GRADE 50. ALL OTHER STRUCTURAL STEEL SHAPES, PLATES AND BARS SHALL CONFORM TO ASTM A36 OR 36, UNLESS NOTED OTHERWISE. COLD FORMED TUBING, INCLUDING PIPES, SHALL CONFORM TO ASTM A500 GRADE C. ANCHOR BOLTS SHALL CONFORM TO ASTM F1554 GRADE 36 AND BE COMPATIBLE WITH E70XX ELECTRODES.
- ALL WELDING SHALL BE DONE BY QUALIFIED WELDERS AND SHALL CONFORM TO AWS D1.1 "STRUCTURAL WELDING CODE", LATEST EDITION. ALL WELDING ELECTRODES SHALL BE E70XX.
- THE CONTRACTOR SHALL FIELD VERIFY ALL MEASUREMENTS AND EXISTING CONDITIONS.
- IF CONDITIONS VARY FROM THOSE ON THE DRAWINGS, THE ENGINEER SHALL BE NOTIFIED IMMEDIATELY.
- THE CONTRACTOR SHALL OBSERVE ALL SAFETY RULES DICTATED BY CODE AND GOOD PRACTICE.
- SHOULD UNFORESEEN CONDITIONS OR OTHER CAUSE NECESSITATE THE CONSTRUCTION DETAILS TO BE MODIFIED, THE CONTRACTOR SHALL NOTIFY THE ENGINEER BEFORE PERFORMING THESE CHANGES.
- CONTRACTOR SHALL SUBMIT SHOP DWGS FOR REVIEW PRIOR TO FABRICATION.

LINTEL NOTES:

- LINTELS SHALL BE PROVIDED FOR ALL OPENINGS AS INDICATED ON THE DRAWINGS. IN ADDITION, LINTELS ARE REQUIRED FOR MECHANICAL, ELECTRICAL OR PLUMBING OPENING IN A MASONRY WALL WITH A WIDTH GREATER THAN 12".
- LINTELS SHALL HAVE A MINIMUM BEARING OF 8 INCHES FOR SPANS UP TO 8'-0" AND 16" FOR SPANS GREATER THAN 8'-0" UNLESS NOTED. LINTELS IN NON-LOAD BEARING WALLS SHALL BE OF THE SIZES LISTED BELOW.
- STEEL LINTELS SHALL BE USED FOR ALL BRICK OPENINGS. CMU OPENINGS IN NON-LOAD BEARING WALLS MAY BE SPANNED WITH EITHER A STEEL LINTEL OR MASONRY LINTEL BLOCK AT THE CONTRACTORS OPTION. MASONRY LINTEL INFORMATION LEFT BLANK INDICATES THAT A STEEL LINTEL IS REQUIRED. FOR OPENINGS 2'-0" OR LESS, PROVIDE 3/8" PLATE x WALL THICKNESS LESS 1", BEAR 8" EACH END.

4" WALL SPAN	STEEL LINTEL
2'-0" - 4'-0"	L 3x2 3/8x3/8
4'-0" - 6'-0"	L 5x3 3/8x3/8 (LLV)
6'-0" - 8'-0"	L 6x3 3/8x3/8 (LLV)

WOOD FRAMING NOTES:

LUMBER SPECIFICATIONS: FLOOR/ROOF JOISTS & BRG WALLS STUDS:	HEM FIR #2	Fb = 850 PSI E = 1,300,000 PSI
STUDS:	HEM FIR STUD	Fb = 675 PSI E = 1,200,000 PSI
LVL (MICRO LAM):		Fb = 2,600 PSI E = 1,900,000 PSI
PARALLAM (WOLMANIZED):		Fb = 2,090 PSI E = 1,740,000 PSI
PARALLAM (PSL COLS.):		Fb = 2,400 PSI Fc = 2,500 PSI E = 1,800,000 PSI
ARCHITECTURAL GLULAM:		24F-V3 Fb = 2,400 PSI E = 1,800,000 PSI

- PROVIDE 3/4" DIAMETER SILL ANCHOR BOLTS AT 4'-0" O.C. AND LOCATED NO FURTHER THAN 12" FROM BUILDING CORNERS. THERE SHALL BE A MINIMUM OF 2 BOLTS PER PLATE.
- CUTTING, NOTCHING AND BORING OF STUDS SHALL COMPLY WITH THE REQUIREMENTS OF THE INTERNATIONAL BUILDING CODE (IBC). EXTERIOR OR LOAD BEARING WALLS WITH STUDS DRILLED WITHIN 8" OF THE FACE OF THE STUD SHALL BE REINFORCED WITH A STRUCTURAL SHOE. CUTTING AND NOTCHING OF FLOOR AND CEILING JOISTS SHALL MEET WITH THE REQUIREMENTS OF IBC.
- ALL HEADERS SHALL BE (2) 2x12's AT 2x4 WALL OR (3) 2x12's AT 2x6 WALL (HEM FIR #2) U.N.O. SEE LINTEL SCHEDULE FOR MASONRY. MINIMUM (3) - 2x STUD POSTS AT EACH END OF ALL WOOD BEAMS & HEADERS. SOLID BLOCKING SHALL BE PROVIDED AT ALL CONCENTRATED LOADS (I.E. POSTS) AS TO PROVIDE A CONTINUOUS LOAD TRANSFER TO FOUNDATIONS, BEAMS OR OTHER POSTS IN FLOORS BELOW.
- ALL PLYWOOD SHEATHING IS TO BE APA APPROVED. FLOOR SHEATHING SHALL BE 3/4" MIN, ROOF SHEATHING SHALL BE 3/8" MIN, AND WALL SHEATHING SHALL BE 1/2" MIN.
- EITHER LAP JOISTS OVER BEAMS PER IBC REQUIREMENTS, OR PROVIDE JOIST HANGERS.
- ALL TIMBER CONNECTIONS (STUDS, JOISTS, RAFTERS AND PLYWOOD) SHALL MEET THE NAILING REQUIREMENTS OF IBC.
- ALL DECK CONNECTORS AND THOSE CONNECTING TO PRESSURE TREATED LUMBER SHALL BE GALVANIZED PER ASTM A653 (I.E. SIMPSON ZMAX FINISH). ALL NAILS USED IN PRESSURE TREATED LUMBER AND DECK CONNECTORS SHALL BE GALVANIZED PER ASTM A153.
- PROVIDE BRIDGING AND BLOCKING PER THE REQUIREMENTS OF NATIONAL FOREST PRODUCTS ASSOCIATION (NFPs) DESIGN SPECIFICATIONS.
- WHERE TIMBER FRAMING IS SUPPORTED BY STEEL, A TIMBER PLATE SHALL BE FASTENED TO THE TOP FLANGE OF THE STEEL BEAM. MILTI POWDER ACTUATED FASTENERS (OR EQUIVALENT) SHALL BE USED @ 24" O.C. (MAX.)
- ALL MULTIPLE STUD POSTS SHALL BE NAILED TOGETHER WITH (2) COLUMNS OF 12d NAILS @ 16" O.C.. WALL SHEATHING SHALL BE ATTACHED TO EACH STUD AT 30" O.C.
- ALL STUD WALLS TO HAVE SINGLE 2x BOTTOM PLATE & DOUBLE 2x TOP PLATE U.N.O. THE CONTRACTOR SHALL VERIFY THE MOISTURE CONTENT IN THESE PLATES SHALL BE 15% OR LESS AT TIME OF INSTALLATION.
- ALL WOOD IN CONTACT WITH CONCRETE OR MASONRY TO BE PRESSURE TREATED LUMBER.
- PROVIDE FULL SOLID BLOCKING AT ALL POSTS AS TO PROVIDE CONTINUOUS SUPPORT TO FOUNDATION, BEAMS OR SUBSEQUENT POSTS IN FLOORS BELOW.
- CUTS, NOTCHES AND HOLES BORED IN TRUSSES, LAMINATED VENEER LUMBER, GLUE-LAMINATED MEMBERS OR I-JOISTS ARE NOT PERMITTED UNLESS THE EFFECTS OF SUCH ARE SPECIFICALLY ADDRESSED.
- EXTERIOR OR LOAD BEARING WALLS WITH PLATES CUT, DRILLED OR NOTCHED MORE THAN 50% OF THE WIDTH OF THE STUD SHALL HAVE A GALVANIZED METAL TIE, 16 GA. AND 1 1/2" WIDE FASTENED TO EACH PLATE.
- UNLESS NOTED OTHERWISE, KING STUDS AT EXTERIOR WALLS SHALL FOLLOW THE TABLE BELOW:

MAX HEADER SPAN	KING STUDS EACH SIDE
4'-0"	1
6'-0"	2
8'-0"	2
10'-0"	3
12'-0"	3
14'-0"	3
16'-0"	4
18'-0"	4

MASONRY NOTES:

- ALL MATERIAL AND WORKMANSHIP SHALL BE IN ACCORDANCE WITH "BUILDING CODE REQUIREMENTS FOR MASONRY STRUCTURES" ACI 530 / ASCE 5 / TMS 402 AND "SPECIFICATIONS FOR MASONRY STRUCTURES" ACI 530.1/ASCE 6/TMS 602, LATEST EDITION.
- A. MASONRY UNITS:
HOLLOW LOAD BEARING CONCRETE MASONRY UNITS SHALL CONFORM TO ASTM C90, GRADE N, TYPE 1, WITH A MINIMUM ULTIMATE STRENGTH OF 2150 PSI ON THE NET SECTION.
- B. MORTAR:
MORTAR SHALL BE PORTLAND CEMENT / LIME TYPE N AND CONFORM TO ASTM C270.
- C. GROUT:
GROUT FOR REINFORCED LOAD BEARING MASONRY SHALL CONFORM TO ASTM C476 AND SHALL HAVE A MINIMUM 28 DAY COMPRESSIVE STRENGTH OF 2500 PSI.
- D. REINFORCING BARS:
REINFORCING BARS FOR REINFORCED MASONRY SHALL CONFORM TO ASTM A615, GRADE 60.
- VERTICAL CELLS TO BE FILLED WITH GROUT SHALL BE ALIGNED TO PROVIDE A CONTINUOUS UNOBSTRUCTED OPENING OF THE DIMENSIONS SHOWN ON THE PLANS. CELLS WHICH WILL CONTAIN VERTICAL REINFORCEMENT SHALL HAVE A MINIMUM OF TWO (2) INCH CLEAR OPENING.
- GROUT FOR FILLING REINFORCED OR NON-REINFORCED CELLS SHALL BE FLUID AND PLACED BY ACCEPTABLE PRESSURE GROUTING PROCEDURES.
- GROUT FOR FILLING REINFORCED OR NON-REINFORCED CELLS SHALL BE PLACED IN A MAXIMUM FOUR (4) FOOT LIFTS AND CONSOLIDATED IN PLACE BY VIBRATION OR OTHER METHODS WHICH INSURE COMPLETE FILLING OF THE CELLS. ALL CELLS CONTAINING REINFORCING BARS AND / OR STUDS SHALL BE FULLY GROUTED.
- HOLLOW UNITS SHALL BE LAID WITH FULL MORTAR COVERAGE ON HORIZONTAL AND VERTICAL FACE SHELLS EXCEPT THAT WEBS SHALL ALSO BE BEDDED WHERE THEY ARE ADJACENT TO CELLS TO BE REINFORCED AND / OR FILLED WITH GROUT, IN THE STARTING COURSE ON FOOTINGS AND SOLID FOUNDATION WALLS AND IN NON-REINFORCED OR GROUTED CURBS, PLASTERS AND COLUMNS.
- SOLID MASONRY UNITS SHALL BE LAID WITH FULL HEAD AND BED JOINTS.
- POINTS OF BEARING SHALL BE ON TWO (2) COURSES OF SOLID MASONRY OR TWO (2) COURSES OF HOLLOW MASONRY GROUTED SOLID 32" LONG UNLESS NOTED OTHERWISE.
- ALL CUTTING AND FITTING OF MASONRY, INCLUDING THAT REQUIRED TO ACCOMMODATE THE WORK OF THE OTHER TRADES, SHALL BE DONE WITH MASONRY SAWS.
- CHASES SHALL BE BUILT INTO NEW WALLS, NOT CUT IN. CHASES SHALL BE PLUMB AND SHALL BE A MINIMUM OF ONE (1) MASONRY UNIT LENGTH FROM JAMES OF WALL OPENINGS. NO CHASES OTHER THAN THOSE SHOWN ON THE DRAWINGS SHALL BE CONSTRUCTED WITHOUT PRIOR REVIEW OF THE ARCHITECT / ENGINEER.
- PROVIDE ADEQUATE, TEMPORARY BRACING AS REQUIRED DURING CONSTRUCTION TO WITHSTAND LATERAL LOADS AND THE PRESSURES OF FLUID GROUT.
- CONCRETE MASONRY SHALL BE PROTECTED FROM ABSORBING MOISTURE AND WATER WHILE AT THE PLANT, DURING SHIPMENT AND AT THE SITE DURING CONSTRUCTION.
- ANCHORS, WALL PLUGS, ACCESSORIES AND OTHER ITEMS TO BE BUILT IN SHALL BE INSTALLED AS MASONRY WORK PROCEEDS.
- ALL MASONRY SHALL BE LAID IN RUNNING BOND UNLESS NOTED OTHERWISE.

HABEN FUNERAL HOME
BUILDING ADDITION

8057 NILES CENTER ROAD
SKOKIE, ILLINOIS 60077



HUTTER TRANKINA ENGINEERING

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 WEB SITE: www.htdesign.com

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SHEET TITLE:

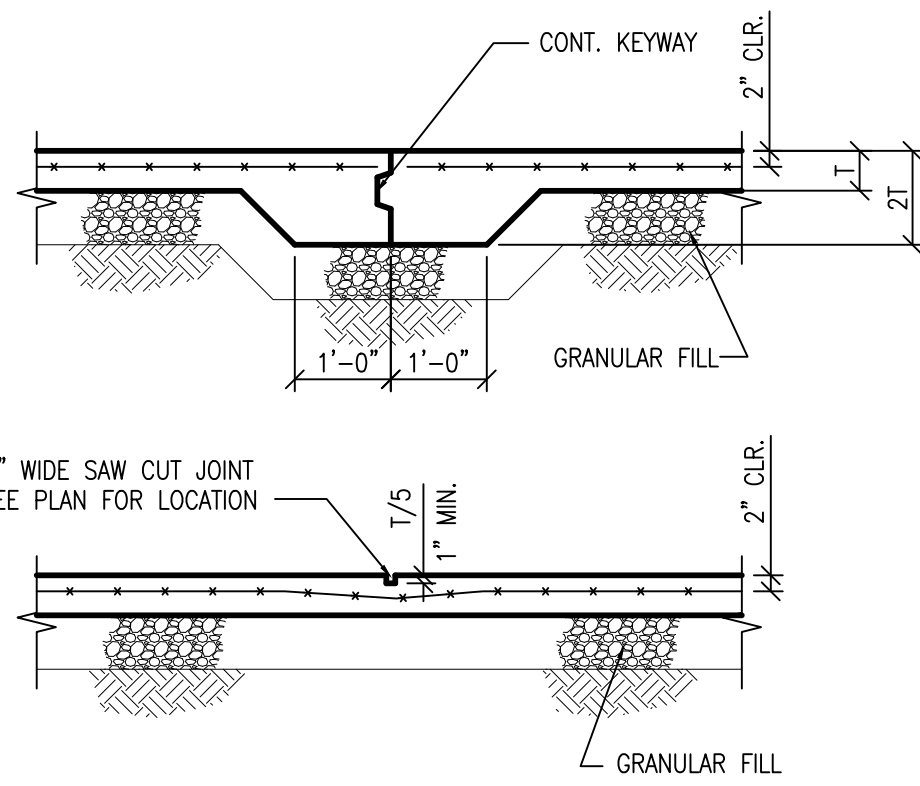
NOTES

PROJECT NUMBER:	23087
DATE:	07-21-23
SCALE:	AS NOTED
DRAWN BY:	JDR
CHECKED BY:	JLT

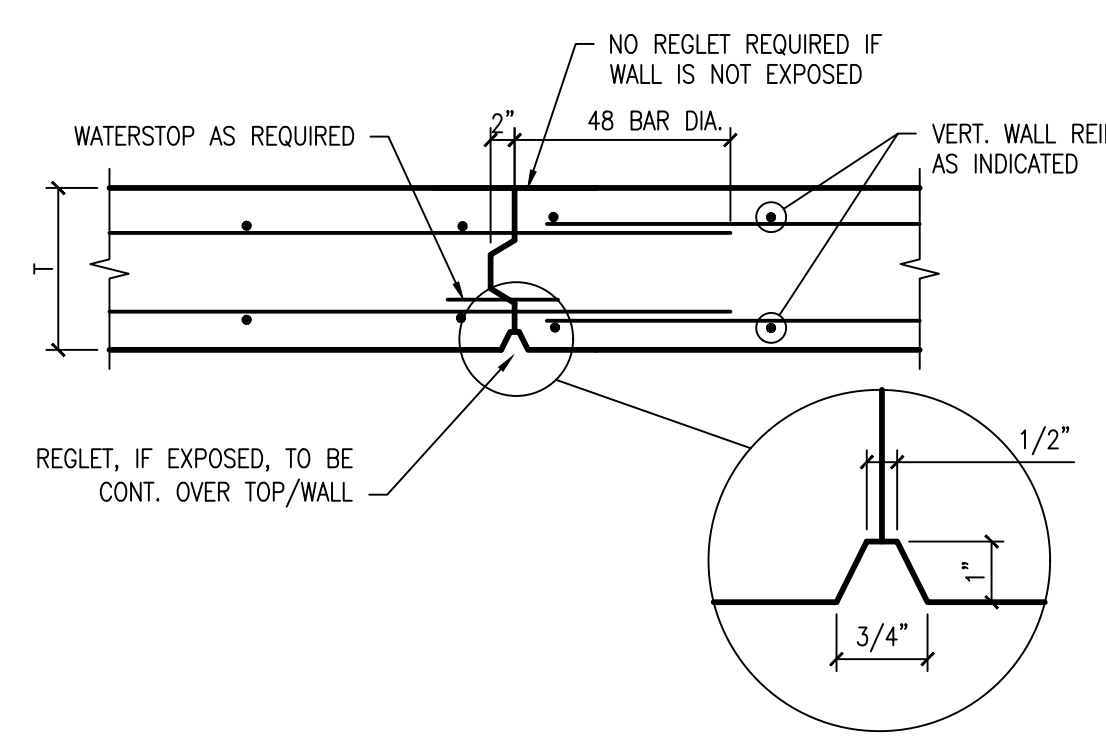
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S-1

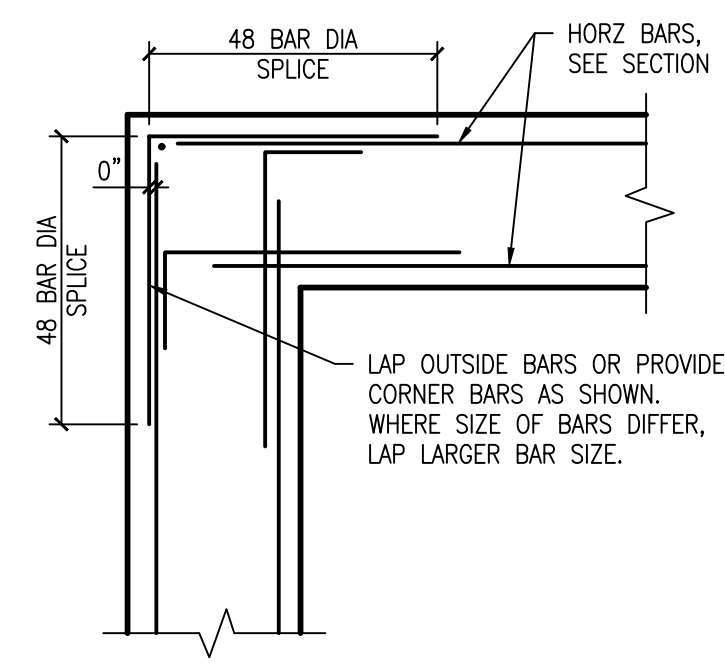
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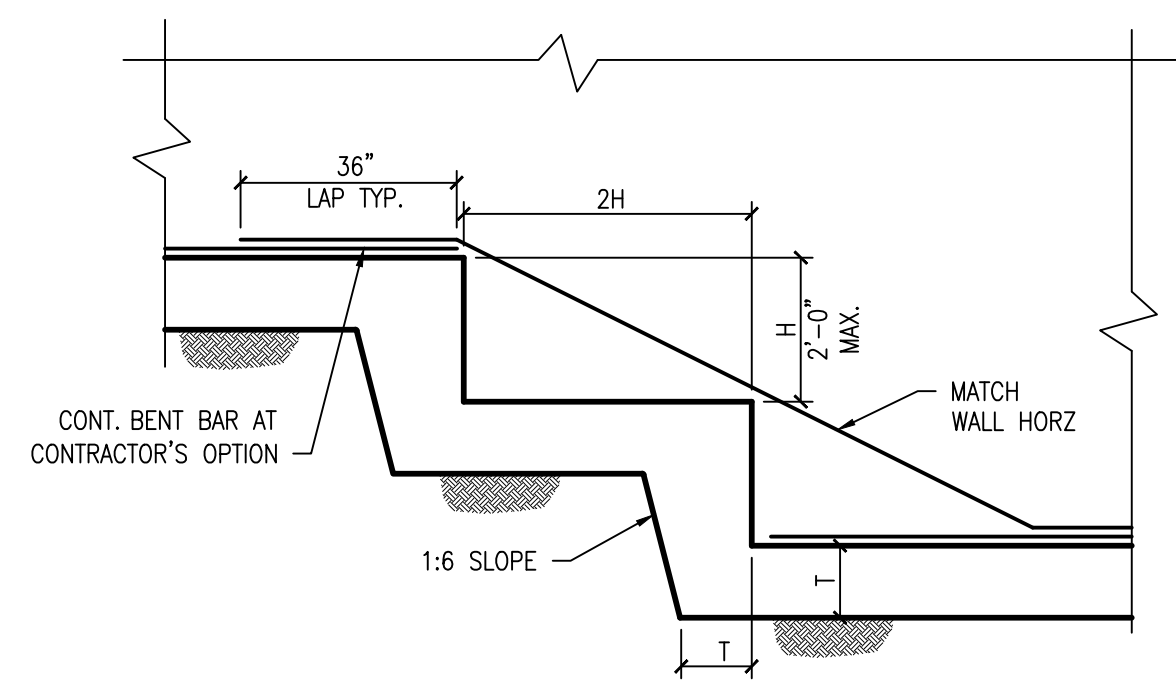
1 TYPICAL SLAB ON GRADE CONTROL / CONSTRUCTION JOINT DETAIL
SCALE: 1/2" = 1'-0"



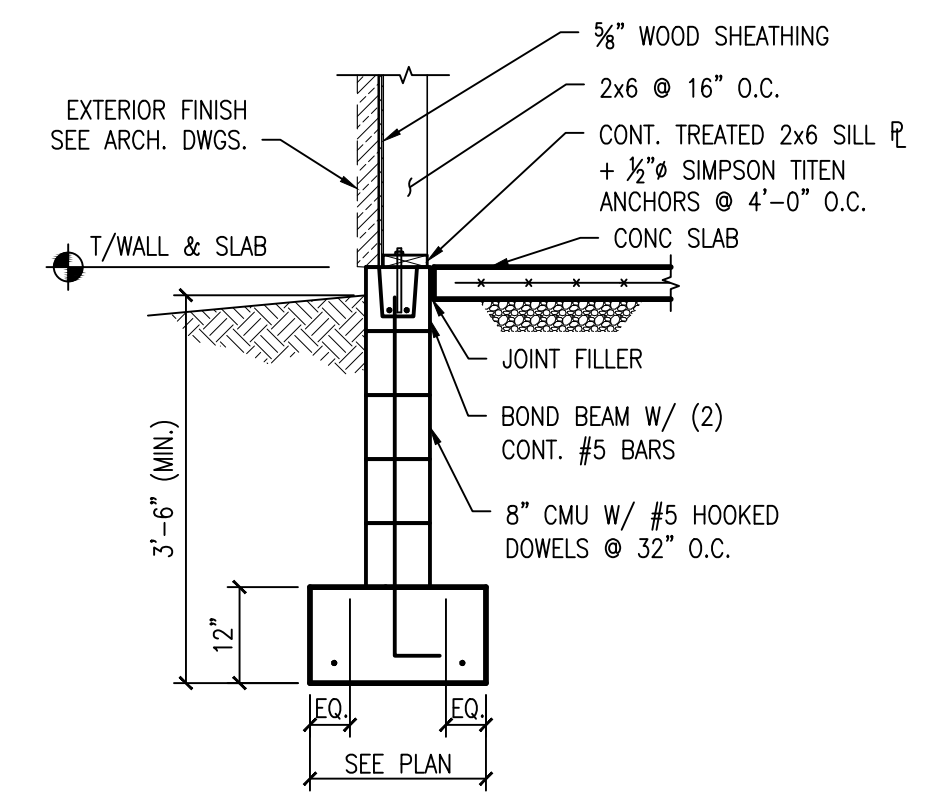
2 TYP FOUNDATION WALL CONSTRUCTION JOINT
SCALE: 3/4" = 1'-0"



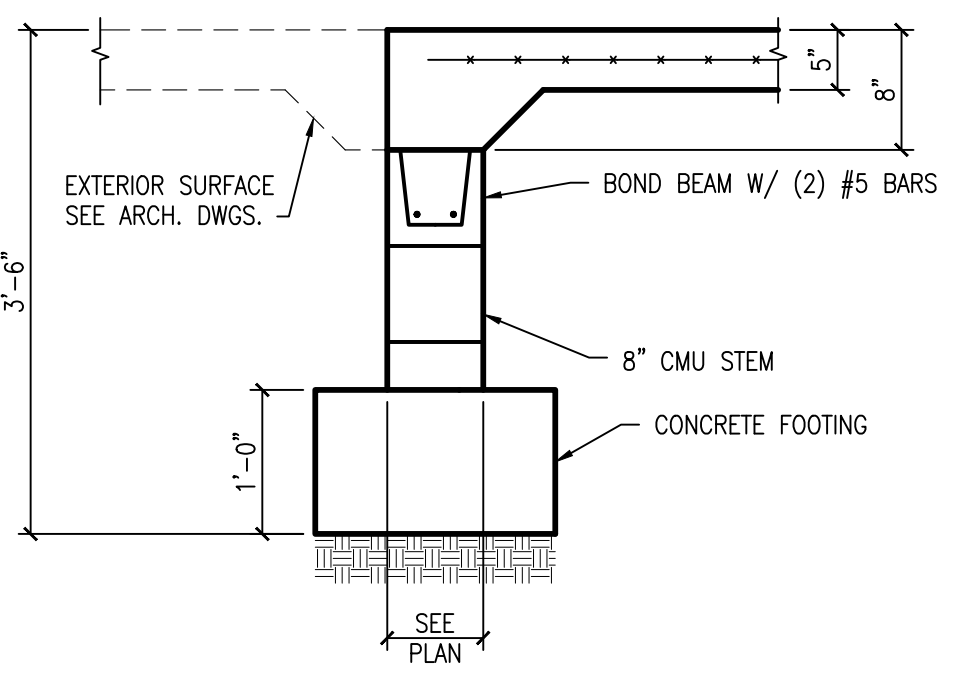
3 TYP CORNER BAR REINF. DETAIL
SCALE: 1/2" = 1'-0"



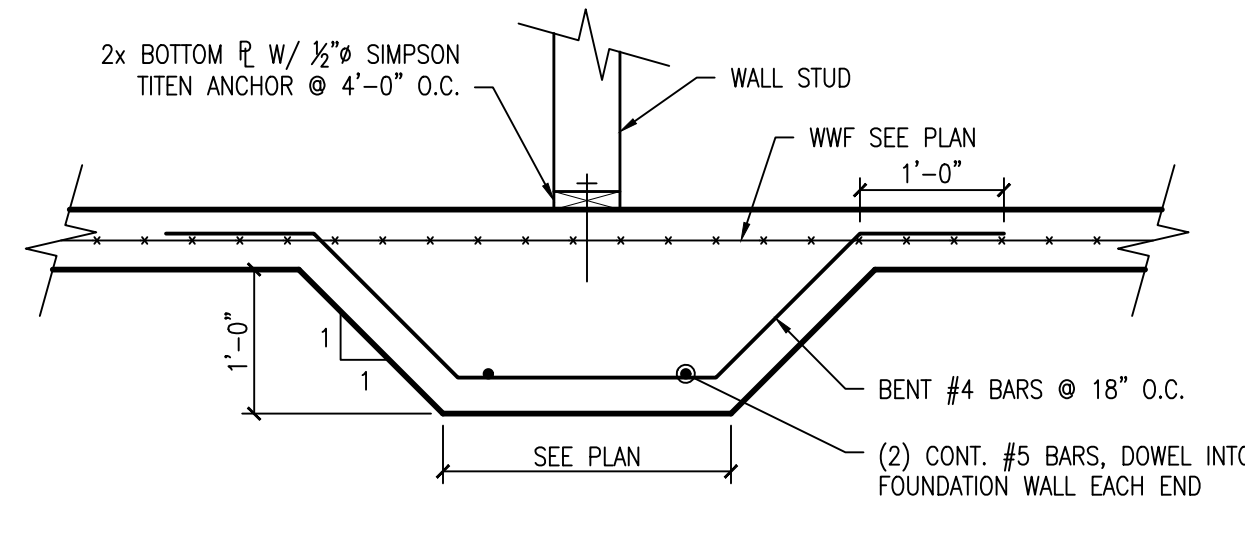
4 TYP STEP FOOTING
SCALE: 3/8" = 1'-0"



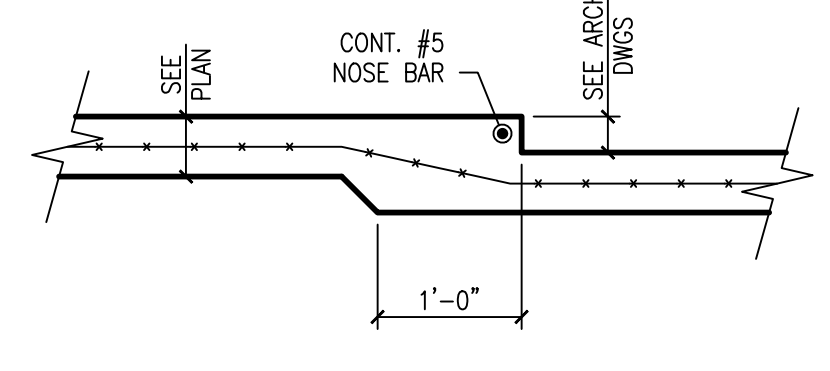
5 TYP FOUNDATION SECTION
SCALE: 1/2" = 1'-0"



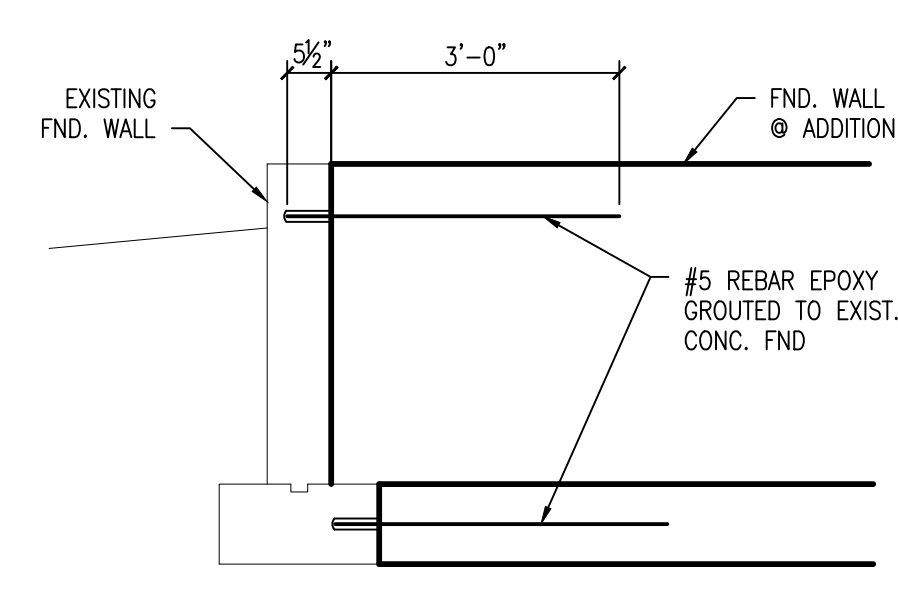
6 FOUNDATION SECTION @ DOOR
SCALE: 3/4" = 1'-0"



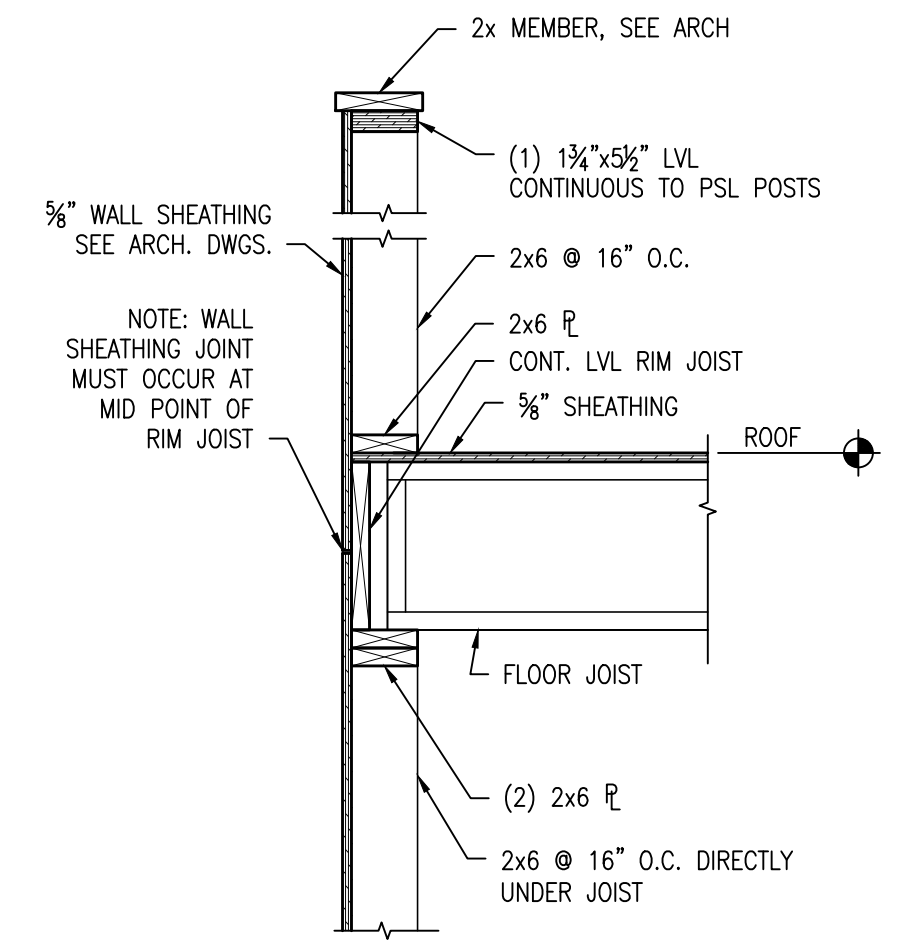
7 THICKENED SLAB DETAIL
SCALE: 3/4" = 1'-0"



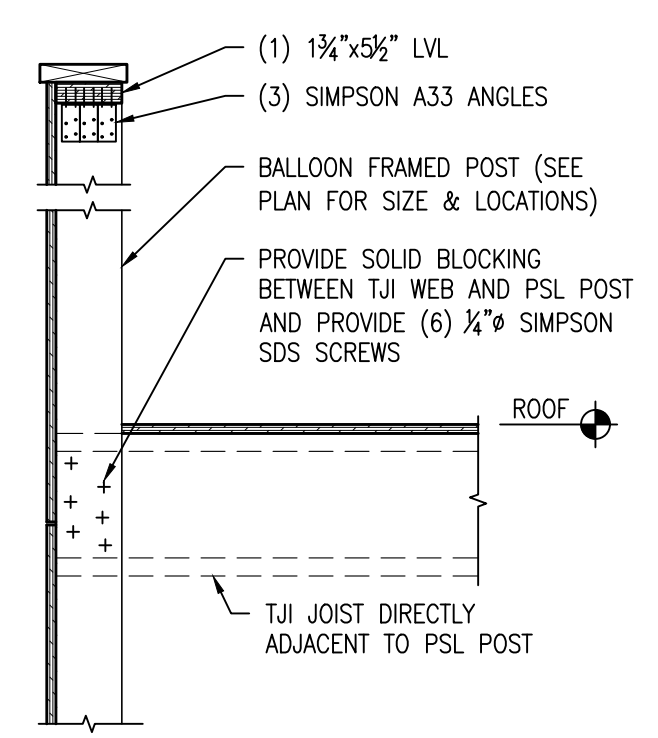
8 SLAB STEP DETAIL
SCALE: 3/4" = 1'-0"



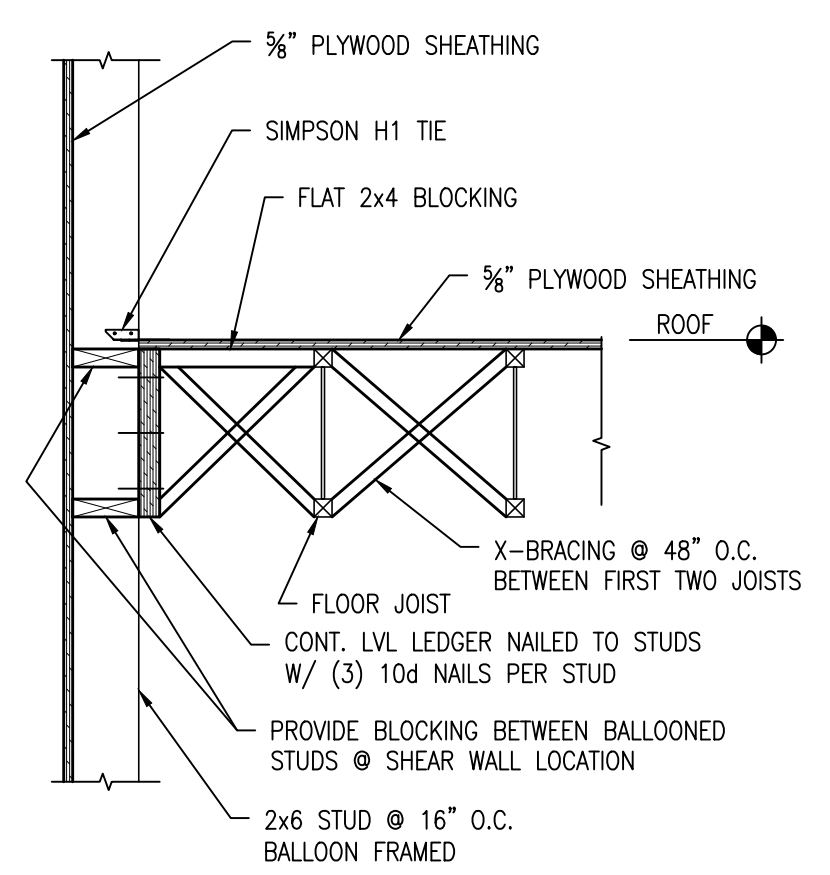
9 DETAIL
SCALE: 1/2" = 1'-0"



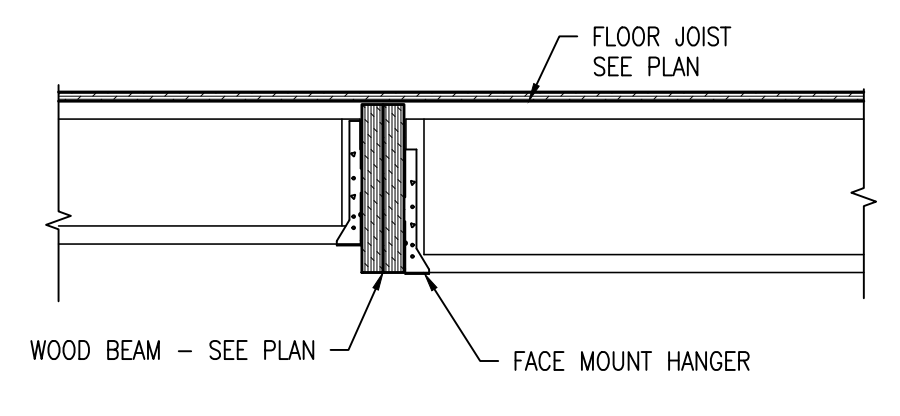
10 WALL SECTION
SCALE: 3/4" = 1'-0"



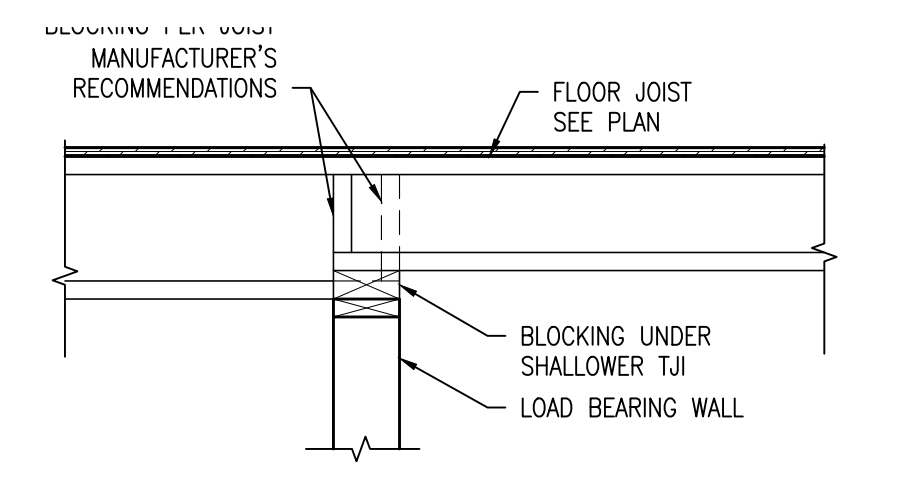
11 WALL SECTION
SCALE: 3/4" = 1'-0"



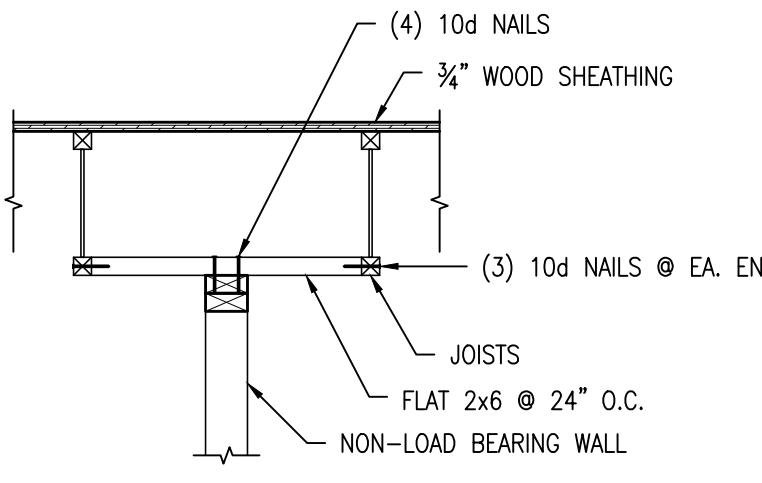
12 WALL SECTION
SCALE: 3/4" = 1'-0"



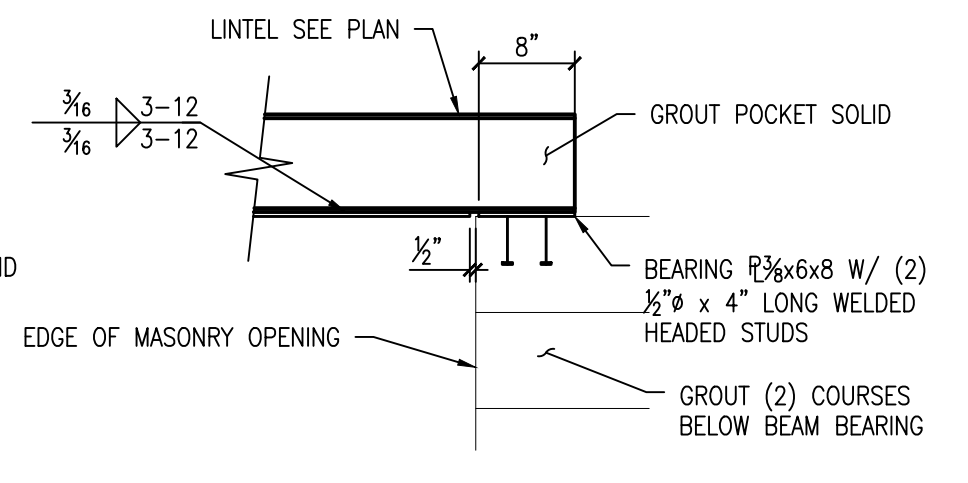
13 JOIST TO BEAM CONNECTION
SCALE: 3/4" = 1'-0"



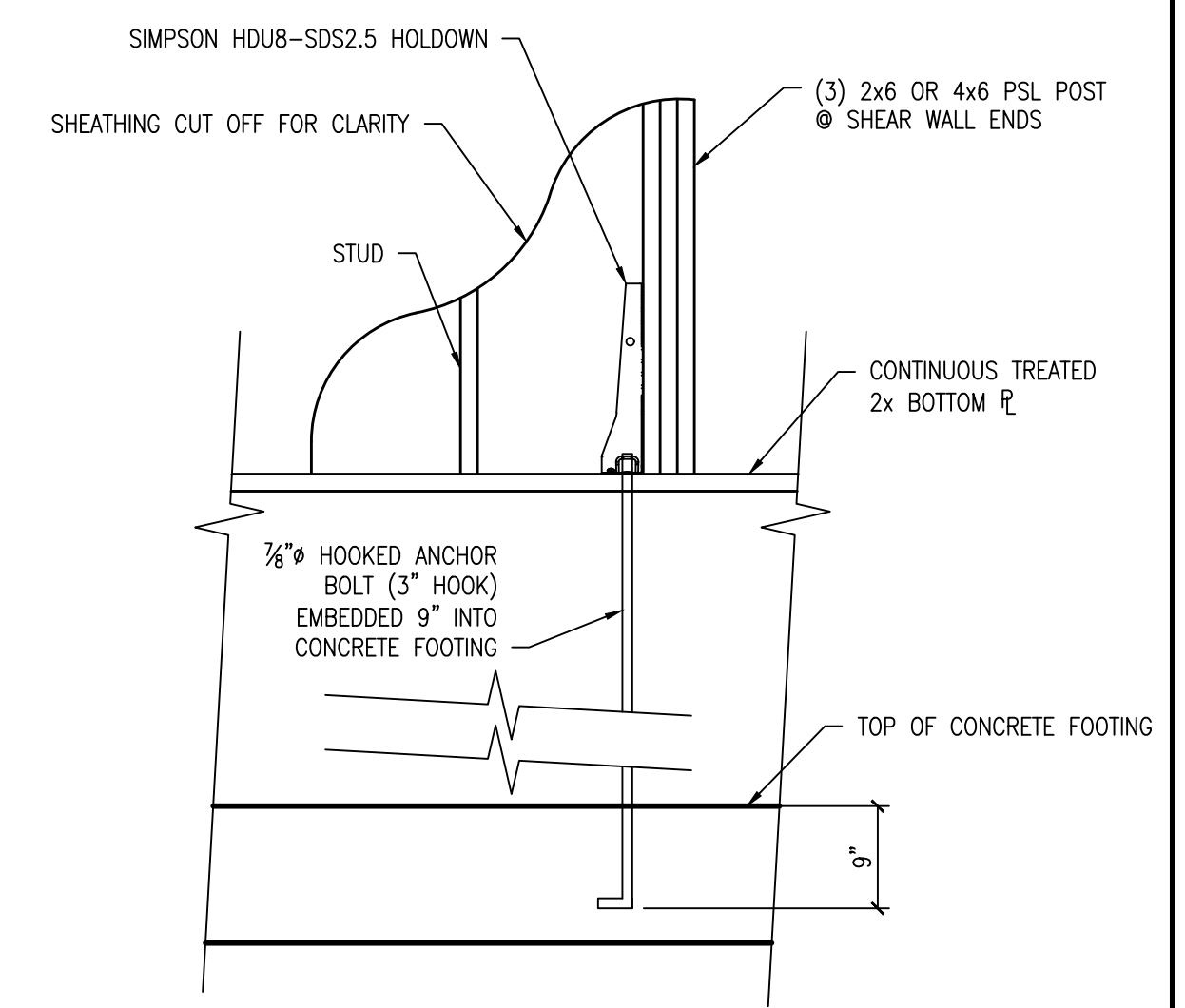
14 JOIST BEARING DETAIL
SCALE: 3/4" = 1'-0"



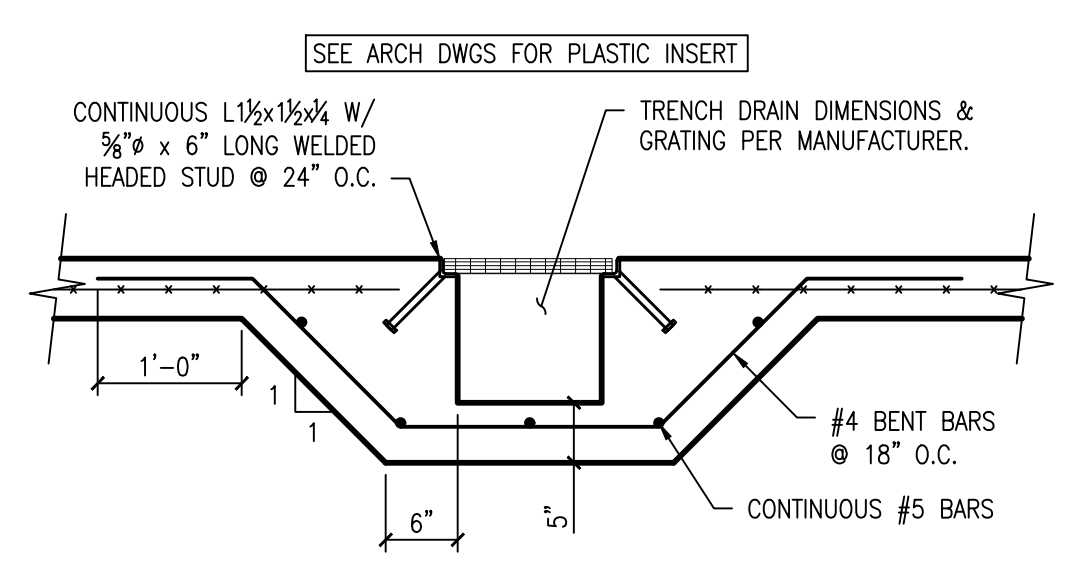
15 SECTION
SCALE: 3/4" = 1'-0"



16 LINTEL BEARING DETAIL
SCALE: 3/4" = 1'-0"

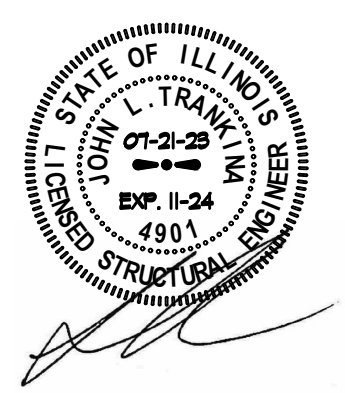


17 SHEAR WALL DETAIL
SCALE: 3/4" = 1'-0"



18 TRENCH DETAIL
SCALE: 3/4" = 1'-0"

**HABEN FUNERAL HOME
BUILDING ADDITION**
 8057 NILES CENTER ROAD
 SKOKIE, ILLINOIS 60077



HUTTER TRANKINA ENGINEERING

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SHEET TITLE:

DETAILS

PROJECT NUMBER: 23087
 DATE: 07-21-23
 SCALE: AS NOTED
 DRAWN BY: JDR
 CHECKED BY: JLT

SHEET NO:

S-3

SHEET NO. 3 OF 3





BY 84572
ILLINOIS
BYE OF DOWNTOWN CHICAGO

Additional
Parking on
Niles Center Rd.

HABER
FUNERAL HOME
& CREMATORIUM



Apr 27, 2023 at 2:53:19 PM
8057 Niles Center Rd
Skokie IL 60077
United States



Apr 27, 2023 at 2:55:31 PM
8116 Niles Center Rd
Skokie IL 60077

Haben
FUNERAL
HOME

2 HOUR
PARKING
9 AM - 6 PM
EXCEPT SUN
& HOLIDAYS
& NO PARKING
3 AM - 5 AM

HABEN
FUNERAL HOME
& CREMATORY

8057

United States



Village of Skokie APPEARANCE COMMISSION APPLICATION

Community Development Department - Building & Zoning Division
5127 Oakton St. Skokie, IL 60077
Phone 847/933-8223 Fax 847/933-8230

The Appearance Commission meets the 2nd Wednesday of each month at 7:30 p.m.

Until further notice, applications will only be accepted in a PDF format.

APPLICATION DATE: 8/2/2023

APPLICATION TYPE (Please check all that apply):

New Construction 1st Floor Addition 2nd Floor Addition Façade Signage Other

LAND USE:

Single Family Residential Multifamily Residential Mixed Use Commercial Industrial Other

SUBJECT ADDRESS: 3250 W Touhy Ave.

OWNER INFORMATION:

Please print legibly.

NAME(S): Aqueel Ahmed

ADDRESS: 1150 W Wisconsin Ave. CITY, STATE ZIP: Chicago, IL 60614

PHONE#: 773-895-8989 EMAIL: 8958989@gmail.com

AGENT/PETITIONER INFORMATION (if other than owner):

NAME(S): Jameel Ahmed DAYTIME PHONE #: 773-516-1235

ADDRESS: 1222 Robin Dr CITY, STATE ZIP: Carol Stream, IL 60188

EMAIL: contactjameel@gmail.com SIGNATURE: _____

Please submit the following PDFs to appearance@skokie.org to complete your digital-only application:

1. Elevations, floor plans, and site plans. Scale 1/4" = 1'-0" is preferred, but not required. If the file size is greater than 5MB, multiple emails are allowed. Ensure "Appearance Commission PDF" and the project's property address are in the subject line of the email. Color elevations or one color rendering is required.
2. Completed Zoning Information Worksheet (residential projects only)
3. Photographs (all sides of the subject building and the fronts of neighboring buildings)
4. Excerpts of brochures and/or cut sheets of new materials and colors proposed for the project. Matching existing materials and colors can be confirmed with the submitted photographs.
5. Plat of Survey

*** The Building, Zoning, will not take in or hold material or color samples.

*** Visit <https://www.skokie.org/357/Appearance-Commission> to access the staff report prior to the meeting.

Fee Schedule

Residential Site (new) ... \$100 plus \$50.00 per unit
Non-Residential Site* (new) ... \$100 plus \$50.00 per 1,000 square feet (based on square footage of building)

* Any non-residentially zoned site (Business, Industrial, Mixed-Use districts)

Any Other Appearance Review (Additions, Façade, Sign Package, etc.) ... \$50.00

If you have already paid for a preliminary plan review there is no charge.

For Office Use Only:

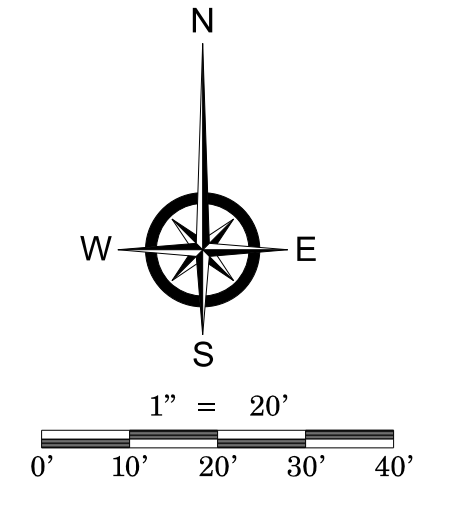
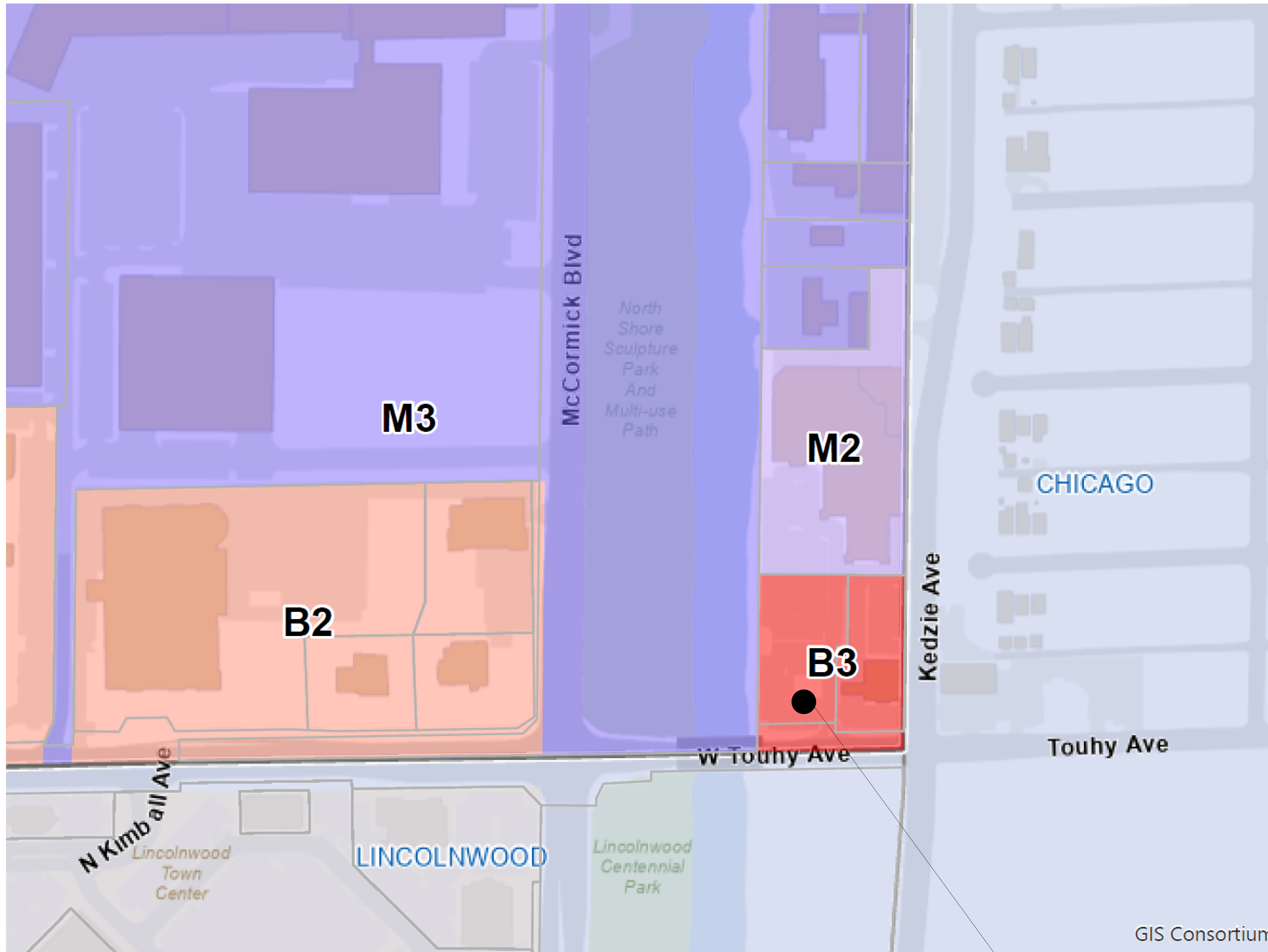
Case Number _____ Meeting Date _____

Acct # NR Amt \$ _____ Cash / Credit Card/ Check # _____

Any required fees or monies owed by the applicant to the Village must be paid as a condition of approval.

2023 Appearance Commission Schedule

<u>Meeting Date</u>	<u>Submittal Deadline</u>
January 11, 2023	December 28, 2022
February 8, 2023	January 25, 2023
March 8, 2023	February 22, 2023
April 26, 2023	April 12, 2023
May 10, 2023	April 26, 2023
June 14, 2023	May 31, 2023
July 12, 2023	June 28, 2023
August 9, 2023	July 26, 2023
September 13, 2023	August 30, 2023
October 11, 2023	September 27, 2023
November 8, 2023	October 25, 2023
December 20, 2023	December 6, 2023



09.13.2023 APPEARANCE COMMISSION
 DATE ISSUED FOR

JAKL BRANDEIS ARCHITECTS LTD.
 1800 HAWTHORNE LANE
 WEST CHICAGO, ILLINOIS 60185
 PH. (630) 562-3900
 LICENSE NO. 184-001832

DRAWING TITLE
**PROJECT SITE
 ZONING MAP**

PROJECT TITLE
**NEW CARWASH
 3250 W. TOUHY AVE.
 SKOKIE, IL 60645**

DRAWN BY: JA
 CHECKED BY: KB
 SCALE:
 PROJECT #: 2022.02
 FILE NAME:

SHEET #
AE-04

**SITE
 LOCATION**

INDEX OF SHEETS

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39.	P-1.	PLUMBING SUPPLY AND WASTE DIAGRAM

NEW CAR WASH

3250 W. TOUHY AVE., SKOKIE, IL 60645

PIN# 10-26-401-090-0000

COOK COUNTY



LOCATION MAP
NOT TO SCALE

PROJECT LOCATION

VILLAGE OF SKOKIE CONTROL MONUMENT DIAGRAM					
STATION NAME: SK499	DATE SET: 9-24-2002	OBSERVATION: 04-02-2003			
MONUMENT TYPE: 1" BRASS DISK IN CONCRETE SIDEWALK					
HORIZONTAL DATUM: NAD 83 (1997), IL EAST ZONE	US FEET	METERS	ACCURACY		
LATITUDE: 42°00'43.02473"	NORTHING: 5547563.439	593618.523	3RD ORDER CLASS 1		
LONGITUDE: 87°42'33.05662"	EASTING: 1153870.787	351700.519			
COMBINED SCALE FACTOR: 0.999985					
ORTHOMETRIC HEIGHT	FEET	METERS	DATUM	SOURCE	ACCURACY
	596.69	181.871	NAVD88	TRIGONOMETRIC	+/- 0.1 FT
ELLIPSOIDAL HEIGHT	FEET	METERS	GEOID HEIGHT	FEET	METERS
	486.21	148.197	-110.48	-33.675	GEOID 99
STATION DESCRIPTION: Located at the northwest corner of Touhy Ave. & Kedzie Ave. within the SE 1/4 of Section 26, T41N, R13E, of the 3rd P.M.					
FIELD SKETCH:					
TOUHY AVENUE KEDZIE AVENUE					
REVIEWED BY: <i>Art J</i> PATRICK ENGINEERING INC.					

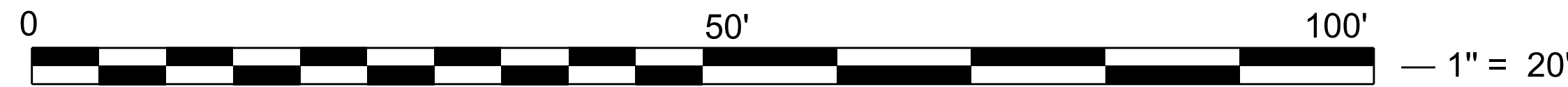
SITE BENCH MARK SK499

BENCH MARK:
SITE BENCHMARK#1:
ELEVATION = 600.83' (NAVD 88 DATUM)
NORTH EASTERLY UPPER FLANGE BOLT ON FIRE HYDRANT AT
SOUTHWEST CORNER OF SITE.

SITE BENCHMARK#2:
ELEVATION = 599.60' (NAVD 88 DATUM)
NORTH EASTERLY UPPER FLANGE BOLT ON FIRE HYDRANT
LOCATED ON NORTH SIDE OF TOUHY AVENUE 77' +/- EAST OF SITE

BUILDING CODES:

- INTERNATIONAL BUILDING CODE/2021
- INTERNATIONAL FIRE CODE/2012
- INTERNATIONAL MECHANICAL CODE/2021
- NATIONAL ELECTRICAL CODE—NFPA 70/2020
- ILLINOIS PLUMBING CODE/ILLINOIS ADMINISTRATIVE CODE TITLE 77 PART 890
- ILLINOIS ENERGY CONSERVATION CODE/ILLINOIS ADMINISTRATIVE CODE TITLE 71 PART 600
- ILLINOIS ACCESSIBILITY CODE/ILLINOIS ADMINISTRATIVE CODE TITLE 71 PART 400



FULL SIZE (34" X 22") PLANS HAVE BEEN PREPARED USING STANDARD ENGINEERING SCALES. REDUCED SIZED PLANS WILL NOT CONFORM TO STANDARD SCALES. IN MAKING MEASUREMENTS ON REDUCED PLANS, THE ABOVE SCALES MAY BE USED.

DUTY TO INDEMNIFY:

THE CONTRACTOR SHALL DEFEND, INDEMNIFY, KEEP AND SAVE HARMLESS THE VILLAGE OF SKOKIE, OWNER, ARCHITECT AND ENGINEER, AND THEIR RESPECTIVE BOARD MEMBERS, REPRESENTATIVES, AGENTS AND EMPLOYEES, IN BOTH INDIVIDUAL AND OFFICIAL CAPACITIES, AGAINST ALL SUITS, CLAIMS, DAMAGES, LOSSES AND EXPENSES, INCLUDING ATTORNEY'S FEES, CAUSED BY, GROWING OUT OF, OR INCIDENTAL TO THE PERFORMANCE OF THE WORK UNDER THE CONTRACT BY THE CONTRACTOR OR ITS SUBCONTRACTORS TO THE FULL EXTENT AS ALLOWED BY THE LAWS OF THE STATE OF ILLINOIS AND NOT BEYOND ANY EXTENT WHICH WOULD RENDER THESE PROVISIONS VOID OR UNENFORCEABLE. THIS OBLIGATION INCLUDES BUT IS NOT LIMITED TO: THE ILLINOIS LAWS REGARDING STRUCTURAL WORK [IL. REV. STAT. CH. 48, PAR. 60 AT SEQ.] AND REGARDING THE PROTECTION OF ADJACENT LANDOWNERS [IL. REV. STAT. CH. 17-1/2 PAR. 51 ET. SEQ.] IN THE EVENT OF ANY SUCH INJURY [INCLUDING DEATH] OR LOSS OF DAMAGE, OF CLAIMS THEREFORE, OR CLAIMS THEREFORE, THE CONTRACTOR SHALL GIVE PROMPT NOTICE TO THE OWNER.

JAKL BRANDEIS ARCHITECTS LTD.

1800 HAWTHORNE LANE
WEST CHICAGO, ILLINOIS 60185
PH. (630) 562-3900
LICENSE NO. 184-001832

BEFORE YOU DIG CALL JULIE
AT 1-800-892-0123 OR 811
(48 HOURS IN ADVANCE)



Know what's below.
Call before you dig.

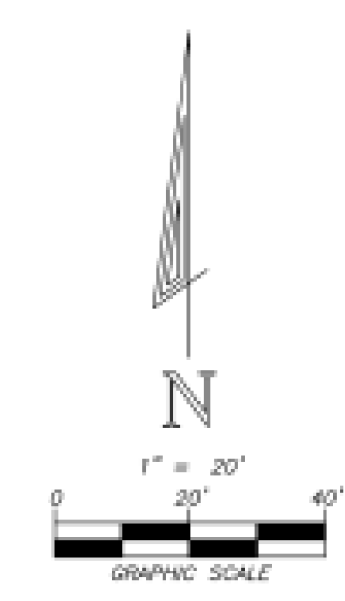
EDWARD J. MOLLOY & ASSOCIATES, LTD.
 LAND & CONSTRUCTION SURVEYORS
 1236 MARK STREET, BENSenville, ILLINOIS 60106 (630) 595-2600 Fax (630) 595-4703
 e-mail: tmolloy@molloy.com

ALTA/ACSM LAND TITLE SURVEY

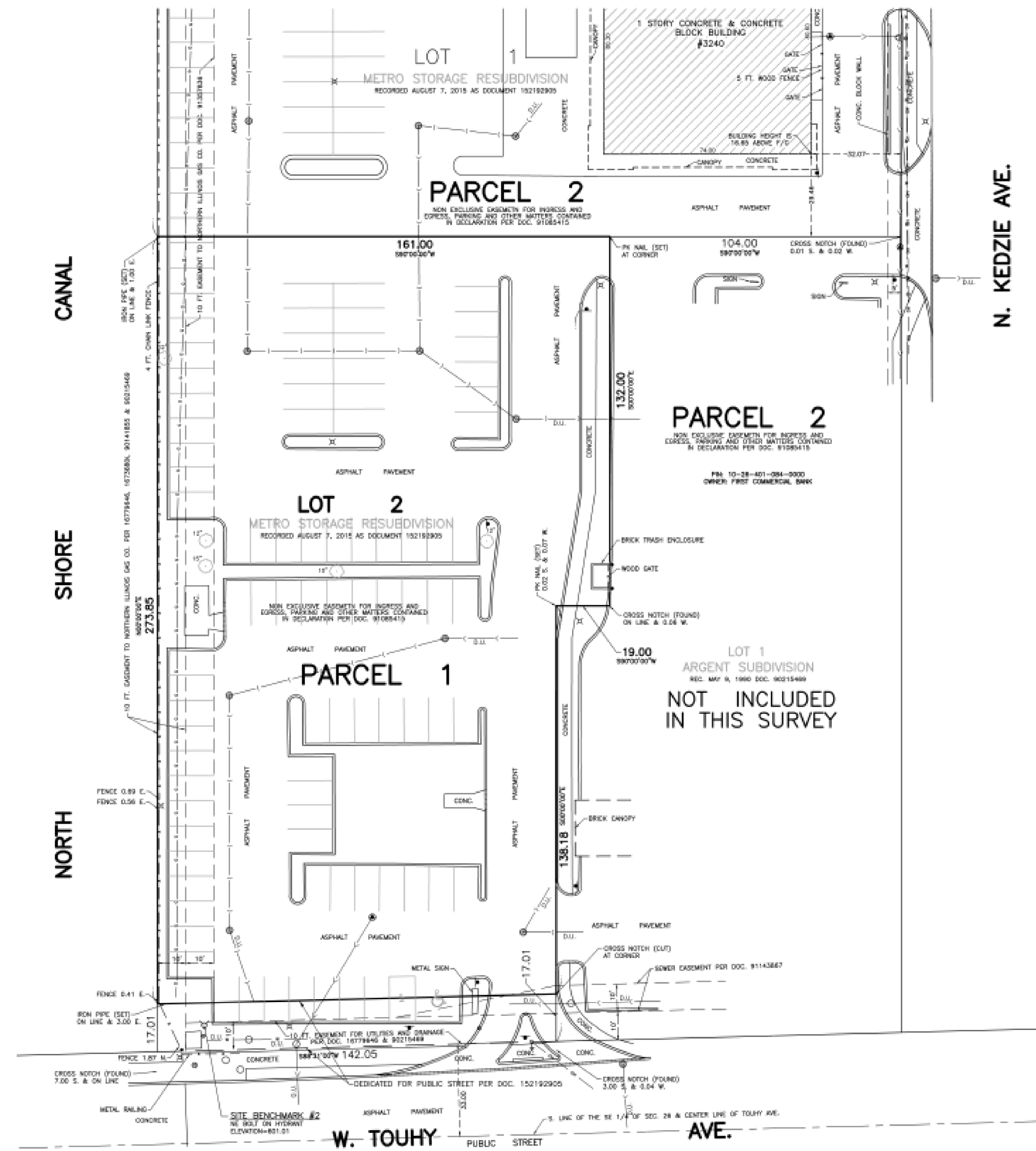
PARCEL 1:
 LOT 2 IN METRO STORAGE RESUBDIVISION, BEING A RESUBDIVISION OF PART OF THE SOUTHWEST 1/4 OF SECTION 28, TOWNSHIP 41 NORTH, RANGE 13 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED AUGUST 7, 2015 AS DOCUMENT NO. 152182930, IN COOK COUNTY, ILLINOIS.

PARCEL 2:
 NON-EXCLUSIVE EASEMENTS FOR INTEREST AND EXPRESS, PARKING AND OTHER MATTERS CONTAINED IN SECOND AMENDED AND RESTATED DECLARATION OF METRO STORAGE AND RESTRICTIONS RECORDED FEBRUARY 20, 1991 AS DOCUMENT NO. 9108415.

COMMONLY KNOWN AS: 3240 W. TOUHY AVENUE, SKOKIE, ILLINOIS



- LEGEND:**
- Manhole
 - Sanitary Manhole
 - ⊙ Storm Manhole
 - ⊙ Storm Catch Basin/Inlet
 - ⊙ Fire Hydrant w/B-Box
 - ⊙ Water Valve Vault
 - ⊙ Light Pole
 - ⊙ Traffic Sign
 - ⊙ Utility Pole w/Overhead Wire
 - ⊙ Anchor for Power Pole
 - ⊙ Concrete Filled Post
 - ⊙ Telephone Pedestal
 - ⊙ Hand Hole
 - ⊙ Underground Gas Lines
 - ⊙ Per Paint Markings
 - ⊙ Tree W/Trunk Diameter
 - Depressed Curb
 - FFE
 - F/G



DRAWN BY: BJC
 PAGE: 1 OF 1
 ORDER NO.: 160130
 FILE: 26-41-13
 PROJECT NO.: 2248



SURVEYOR'S NOTES

TITLE COMMITMENT: THIS SURVEY REFLECTS EXISTING MATTERS OF TITLE PERTAINING TO LOT 2, AS REFERENCED IN SCHEDULE B OF FIRST AMERICAN TITLE INSURANCE COMPANY COMMITMENT FOR TITLE INSURANCE FILE NUMBER NCS-89040-0125 WITH A DATE OF POLICY OF AUGUST 21, 2015.

1. RIGHT TO LAY, MAINTAIN, OPERATE, REPAIR AND SERVICE A GAS MAIN AND OTHER NECESSARY GAS FACILITIES, TOGETHER WITH RIGHT OF ACCESS THEREFOR FOR SAID PURPOSES, IN, UPON, UNDER, ALONG, AND ACROSS THE WEST 10 FEET AND THE SOUTH 10 FEET (EXCEPT THE WEST 10 FEET THEREOF), AS CREATED BY GRANT FROM ROLLED STEEL CORPORATION TO THE NORTHERN ILLINOIS GAS COMPANY, DATED DECEMBER 4, 1950 AND RECORDED DECEMBER 13, 1954 AS DOCUMENT NO. 1877844, AS SHOWN ON THE SURVEY, (AFFECTS THE SOUTH 598.86 FEET) [PLOTTED ON THE DRAWING].

2. EASEMENT FOR LAYING, MAINTAINING, ETC. GAS MAINS AND ANY NECESSARY GAS FACILITIES IN, UPON, UNDER, ALONG AND ACROSS THE WEST 10 FEET OF LOT 15 IN NATIONAL BREEK COMPANY'S INDUSTRIAL SUBDIVISION RECORDED OCTOBER 20, 1998 AS DOCUMENT NO. 1678908 OF PART OF THE SOUTH EAST 1/4 OF SECTION 28, TOWNSHIP 41 NORTH, RANGE 13 EAST OF THE THIRD PRINCIPAL MERIDIAN, IN COOK COUNTY, ILLINOIS, ACCORDING TO EASEMENT GRANT FROM AMERICAN NATIONAL BANK AND TRUST COMPANY OF CHICAGO, AS TRUSTEE UNDER TRUST AGREEMENT DATED MAY 20, 1988 AND KNOWN AS TRUST NUMBER 10554-01, TO THE NORTHERN ILLINOIS GAS COMPANY, RECORDED MARCH 30, 1993 AS DOCUMENT NO. 95141855, AS SHOWN ON THE SURVEY, (AFFECTS THE WEST 10 FEET) [PLOTTED ON THE DRAWING].

3. EASEMENT IN FAVOR OF NORTHERN ILLINOIS GAS COMPANY AND ITS/THEIR RESPECTIVE SUCCESSORS AND ASSIGNS, TO INSTALL, OPERATE AND MAINTAIN ALL EQUIPMENT NECESSARY FOR THE PURPOSE OF SERVING THE LAND AND OTHER PROPERTY, TOGETHER WITH THE RIGHT OF ACCESS TO SAID EQUIPMENT, AND THE PROVISIONS RELATING THERETO CONTAINED IN THE GRANT RECORDED JULY 17, 1991 AS DOCUMENT NO. 9129336, AFFECTING THE EAST 10 FEET OF THE WEST 20 FEET OF LOT 2 LYING SOUTH OF A STRAIGHT LINE INTERSECTING THE EAST LINE OF SECTION 28 AT A 90 DEGREE ANGLE AT A POINT 624.54 FEET NORTH OF THE SOUTHWEST CORNER OF SAID SECTION 28 OF THE LAND, AS SHOWN ON THE SURVEY, [PLOTTED ON THE DRAWING].

4. TERMS, PROVISIONS, COVENANTS, CONDITIONS, AND RESTRICTIONS CONTAINED IN AID EASEMENTS, RIGHTS AND OBLIGATIONS CREATED BY SECOND AMENDED AND RESTATED DECLARATION OF METRO STORAGE AND RESTRICTIONS RECORDED FEBRUARY 20, 1991 AS DOCUMENT NO. 9108415, [EASEMENTS NOTED ON THE DRAWING].

5. PLAT OF AGRICULTURE SUBDIVISION RECORDED MAY 9, 1990 AS DOCUMENT NO. 90213488 ENCLOSURES THE FOLLOWING EASEMENTS: (A) A 5 FOOT PUBLIC UTILITY EASEMENT ALONG THE NORTHERLY LINE OF THE LAND BEGINNING AT THE MOST WESTERLY AND EXTENDING EAST TO THE EASTERLY LINE OF THE LAND; (B) A 5 FOOT PUBLIC UTILITY EASEMENT ALONG THE MOST NORTHERLY LINE OF THE LAND; (C) A 10 FOOT PUBLIC UTILITY EASEMENT LYING IN THE SOUTHERLY 150 FEET OF THE NORTHERLY 150 FEET OF THE LAND AS MEASURED ALONG THE EAST LINE; (D) A 20 FOOT EASEMENT FOR INTEREST AND EXPRESS OVER THE SOUTHERLY 20 FEET OF THE NORTHERLY 25 FEET OF THE LAND AS MEASURED ALONG THE EAST LINE; (E) A 10 FOOT PUBLIC UTILITY EASEMENT ALONG THE SOUTHERLY LINE OF THE LAND, AND (F) A 10 FOOT EASEMENT TO NORTHERN ILLINOIS GAS COMPANY ALONG THE WESTERLY LINE OF THE LAND, [PLOTTED ON THE DRAWING].

6. EASEMENT IN FAVOR OF THE VILLAGE OF SKOKIE FOR THE MAINTENANCE AND OPERATION OF A SEWER OVER, UNDER, AND ACROSS A PORTION OF LOT 2 AND OTHER PROPERTY ATTACHED AS SHOWN 'X' TO RESOLUTION RECORDED APRIL 1, 1991 AS DOCUMENT NO. 91143887, AS SHOWN ON THE SURVEY, [PLOTTED ON THE DRAWING].

7. TERMS, PROVISIONS, COVENANTS, CONDITIONS, AND RESTRICTIONS CONTAINED IN VILLAGE OF SKOKIE ORDINANCE NO. 15-5-2-2-114 GRANTING APPROVAL FOR A PLANNED DEVELOPMENT OF THE LAND AS MORE FULLY SET FORTH IN NOTICE OF APPROVAL DATED MAY 18, 2015, AND RECORDED JUNE 2, 2015 AS DOCUMENT NO. 1515350043, [NOT PLOTTABLE].

8. TERMS, PROVISIONS, COVENANTS, CONDITIONS, AND RESTRICTIONS CONTAINED IN AGREEMENT FOR INSTALLATION AND MAINTENANCE OF LANDSCAPING BY AND BETWEEN STANDARD BANK & TRUST COMPANY, AS TRUSTEE UNDER TRUST NO. 19933 AND THE VILLAGE OF SKOKIE DATED MAY 18, 2015, AND RECORDED JUNE 2, 2015 AS DOCUMENT NO. 1515350044, [NOT PLOTTABLE].

9. TERMS, PROVISIONS, COVENANTS, CONDITIONS, AND RESTRICTIONS CONTAINED IN VILLAGE OF SKOKIE ORDINANCE NO. 15-5-2-2-114 GRANTING APPROVAL FOR A PLANNED DEVELOPMENT OF THE LAND AS MORE FULLY SET FORTH IN NOTICE OF APPROVAL DATED MAY 18, 2015, AND RECORDED JUNE 2, 2015 AS DOCUMENT NO. 1515350046, [NOT PLOTTABLE].

TAX PARCEL PERMANENT INDEX NUMBER: 10-28-401-080-0000

ACCESS STATEMENT: THE PROPERTY HAS DIRECT PHYSICAL ACCESS TO AND FROM W. TOUHY AVENUE AND ACCESS BY WAY OF FRONT DRIVE TO AND FROM N. KEDZIE AVENUE, BOTH LEGALLY OPENED AND PUBLICLY DEDICATED, USED AND MAINTAINED STREETS OR HIGHWAYS.

TABLE A - ITEM 1 STATEMENT AS TO MONUMENTS PLACED: SEE DRAWING FOR ALL MONUMENTS PLACED OR FOUND WHILE COMPLETING THE FIELD SURVEY.

TABLE A - ITEM 2 STATEMENT AS TO ADDRESS: THE PROPERTY SURVEYED CONTAINS A PARKING LOT, NO ADDRESS OBSERVED.

TABLE A - ITEM 3 STATEMENT AS TO FLOOD ZONE CLASSIFICATION: OUR EXAMINATION OF THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) FLOOD INSURANCE RATE MAP COMMUNITY-PANEL NO. 17031022855 WITH A MAP REVISED DATE OF AUGUST 18, 2008 SHOWS THAT THE MAJORITY OF THE PROPERTY DOES NOT FALL WITHIN A SPECIAL FLOOD HAZARD AREA AND THAT SAID PROPERTY DOES FALL WITHIN ZONE 'X' DEFINED AS AREAS DETERMINED TO BE OUTSIDE OF THE 100 YEAR ANNUAL CHANCE FLOODPLAIN AND A SMALL PORTION OF THE PROPERTY ALONG THE WESTERLY BOUNDARY LINE FALLS WITHIN ZONE 'X' DEFINED AS SPECIAL FLOOD ZONING AREAS SUBJECT TO FLOODING BY THE 1% ANNUAL CHANCE FLOOD WITH NO BASIC FLOOD ELEVATIONS DETERMINED.

TABLE A - ITEM 4 STATEMENT AS TO GROSS LAND AREA: THE LAND SURVEYED HEREON CONTAINS 41,134 SQUARE FEET OR 0.9443 ACRES.

TABLE A - ITEM 6(B) STATEMENT REGARDING ZONING CLASSIFICATION AND RESTRICTIONS: SURVEYOR HAS NOT BEEN PROVIDED WITH ZONING CLASSIFICATION BY RESTRICTING BY THE INSURER. OUR EXAMINATION OF THE OFFICIAL VILLAGE OF SKOKIE ZONING MAP FINDS THE PROPERTY TO BE A SITE PLAN APPROVAL/PLANNED DEVELOPMENT IN ZONE 'S2' COMMERCIAL DISTRICT.

TABLE A - ITEM 8 STATEMENT AS TO EXISTING PARKING SPACES: THE LAND SURVEYED HEREON CONTAINS A TOTAL OF 88 EXISTING PARKING SPACES INCLUDING 1 DESIGNATED HANDICAP PARKING SPACES.

TABLE A - ITEM 11 STATEMENT REGARDING EXISTING UTILITIES: SURVEYOR HAS SHOWN LOCATION OF UTILITIES EXISTING ON OR SERVING THE SURVEYED PROPERTY AS DETERMINED BY OBSERVED EVIDENCE.

TABLE A - ITEM 13 STATEMENT REGARDING ADJOINING OWNERS: SEE DRAWING FOR NAMES OF ADJOINING OWNERS ADJACENT FROM THE COOK COUNTY TREASURER'S RECORDS.

TABLE A - ITEM 14 STATEMENT REGARDING OBSTACLE TO NEAREST INTERSECTING STREET: SEE DRAWING FOR THE OBSTACLE TO THE NEAREST INTERSECTING STREET.

TABLE A - ITEM 16 STATEMENT REGARDING EARTH MOVING AND BUILDING CONSTRUCTION: SURVEYOR FINDS NO OBSERVABLE EVIDENCE OF EARTH MOVING OR BUILDING CONSTRUCTION.

TABLE A - ITEM 17 STATEMENT REGARDING CHANGES IN STREET RIGHT-OF-WAY LINES: SURVEYOR HAS NO KNOWLEDGE OR OBSERVATION IN STREET RIGHT-OF-WAY LINES CONTINUED OR PROPOSED AND FINDS NO OBSERVABLE EVIDENCE OF RECENT STREET OR SIDEWALK CONSTRUCTION OR REPAIRS.

TABLE 'A' ITEM 18 STATEMENT OF WETLAND AREAS: SURVEYOR FINDS NO INDICATION OF WETLAND AREAS AS DELINEATED BY APPROPRIATE AUTHORITIES ON THE PROPERTY.

TABLE 'A' ITEM 19 STATEMENT OF OFFSITE EASEMENTS: SURVEYOR FINDS NO OFFSITE EASEMENTS OR SERVICES EXISTING ON THE SURVEYED PROPERTY THAT ARE DISCLOSED IN THE RECORD DOCUMENTS.

TABLE A - ITEM 20 STATEMENT REGARDING PROFESSIONAL LIABILITY INSURANCE: PROFESSIONAL LIABILITY INSURANCE POLICY OBTAINED BY THE SURVEYOR IN THE MINIMUM AMOUNT OF \$1,000,000 TO BE IN EFFECT THROUGHOUT THE CONTRACT TERM, CERTIFICATE OF INSURANCE TO BE FURNISHED UPON REQUEST.

09.13.2023 APPEARANCE COMMISSION
 DATE ISSUED FOR

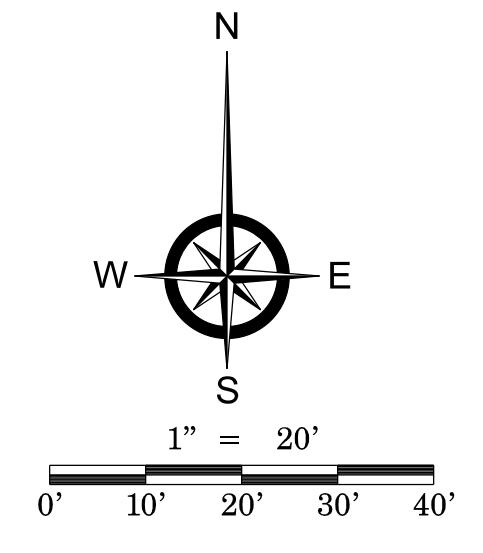
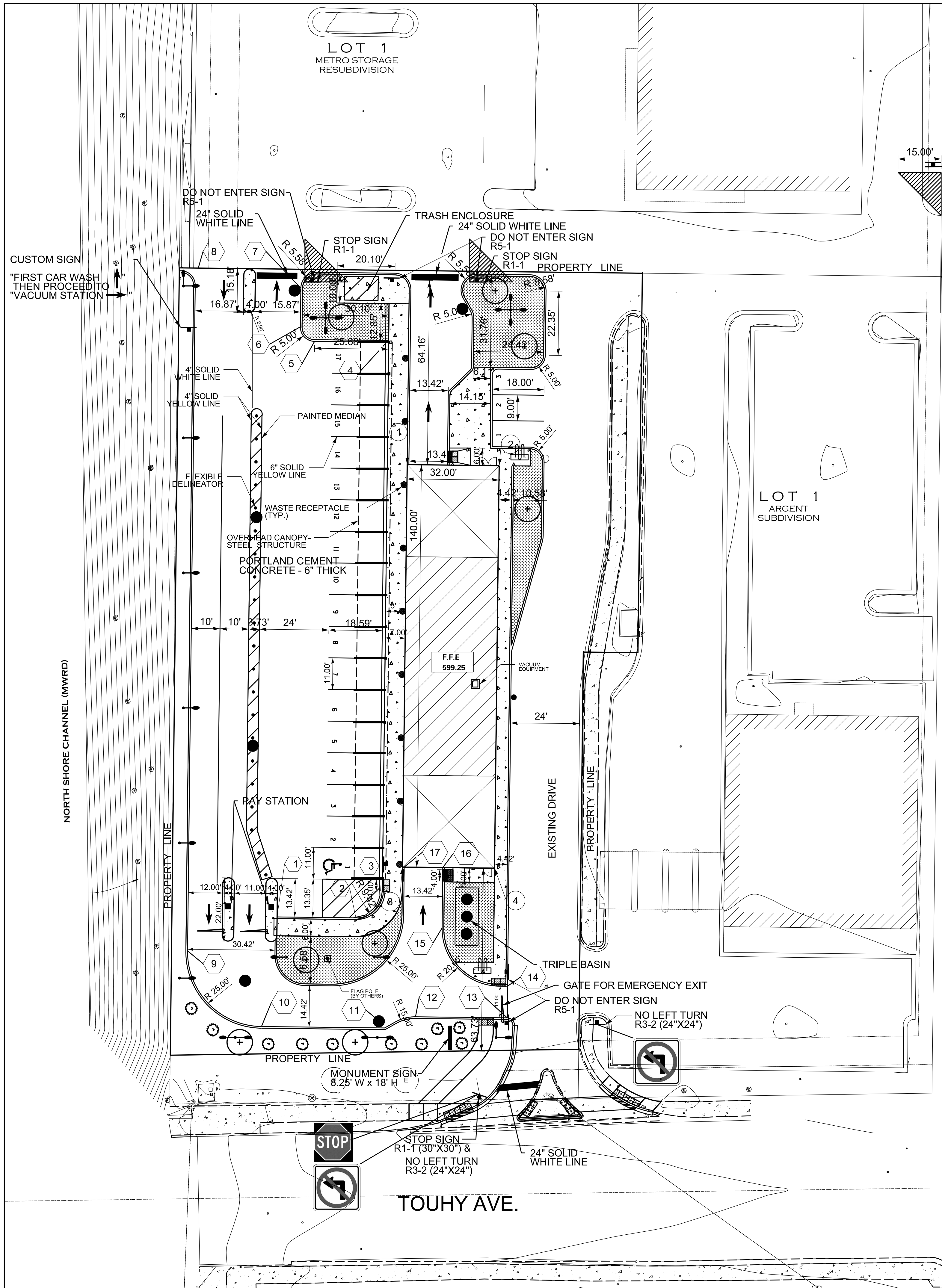
JAKL BRANDEIS ARCHITECTS LTD.
 1800 HAMTHORNE LANE
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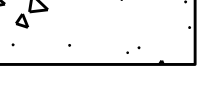
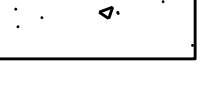
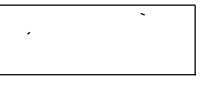


















DRAWING TITLE
PLAT OF SURVEY

PROJECT TITLE
**NEW CARWASH
 3250 W. TOUHY AVE.
 SKOKIE, IL 60645**

DRAWN BY: JA
 CHECKED BY: KB
 SCALE:
 PROJECT #: 2022.02
 FILE NAME:

SHEET #
C-02



- LEGEND**
-  PROPOSED BUILDING + TOWER (4,480 SQ FT)
 -  LANDSCAPED AREA (7,507 SQ FT)
 -  NEW CONCRETE DRIVEWAY - 8" THICK
 -  SIDEWALK - 5" THICK (2,582SQ FT ON PROPERTY)
 -  NEW CONCRETE PAVEMENT - 6" THICK (18,892 SQ FT)
 -  SIGN
 -  CLEANOUT STRUCTURE
 -  CATCH BASIN - 4' DIA.
 -  MANHOLE - 4' DIA.
 -  GREASE TRAP
 -  TRAVEL DIRECTION
 -  HANDICAP PARKING SPACE
 -  BIKE RACK - 2'x6'
 -  LIGHT POLE
 -  WASTE RECEPTACLE
 -  VACUUM STATION
 -  VEHICULAR GATE
 -  PAY STATION
 -  CANOPY STRUCTURE
 -  15' SIGHT DISTANCE TRIANGLE
 -  EXISTING TREE
 -  NEW TREE
 -  NEW SHRUBS

BUILDING			
①	②	③	④
N=1947776.18 E=1153685.75	N=1947775.81 E=1153717.74	N=1947636.19 E=1153684.13	N=1947635.82 E=1153716.13
SITE			
①	②	③	④
N=1947618.27 E=1153640.51	N=1947618.54 E=1153667.93	N=1947627.86 E=1153676.45	N=1947818.77 E=1153678.65
⑤	⑥	⑦	⑧
N=1947819.05 E=1153653.56	N=1947824.11 E=1153648.61	N=1947837.54 E=1153648.77	N=1947844.54 E=1153613.11
⑨	⑩	⑪	⑫
N=1947607.05 E=1153609.37	N=1947580.75 E=1153635.07	N=1947581.26 E=1153677.67	N=1947584.13 E=1153688.65
⑬	⑭	⑮	⑯
N=1947583.76 E=1153720.53	N=1947594.76 E=1153720.66	N=1947615.03 E=1153697.89	N=1947636.03 E=1153698.13
⑰			
N=1947636.18 E=1153684.71			

09.13.2023 APPEARANCE COMMISSION
DATE ISSUED FOR



LICENSE EXPIRES ON 11/30/2023

JAKL BRANDEIS ARCHITECTS LTD.
1800 HAWTHORNE LANE
WEST CHICAGO, ILLINOIS 60185
PH. (630) 562-3900
LICENSE NO. 184-001832

DRAWING TITLE
SITE PLAN

PROJECT TITLE
NEW CARWASH
3250 W. TOUHY AVE.
SKOKIE, IL 60645

DRAWN BY: JA
CHECKED BY: KB
SCALE:
PROJECT #: 2022.02
FILE NAME:

SHEET #
C-07

LOT 1
METRO STORAGE
RESUBDIVISION

9.33' W. x 8.75' D. x 6.33' H.
CONC. MASONRY UNIT (NOM.
8" THICK) TRASH ENCLOSURE
ON MIN. 4" THICK CONCRETE
PAD OVER MIN. 8" COMPACTED
GRAVEL. PROVIDE (2) 3' W. x 6'
H. OPAQUE COOKABLE WOOD
GATE WITH HEAVY DUTY HINGES
ON EITHER SIDE.

TRASH ENCLOSURE

QRF

PROPERTY LINE

UMG

CEO

QRF

LOT 1
ARGENT
SUBDIVISION

F.F.E.
599.25

TRIPLE BASIN

GLT

GLT

THUOFC

ACC HYPKAL ACC

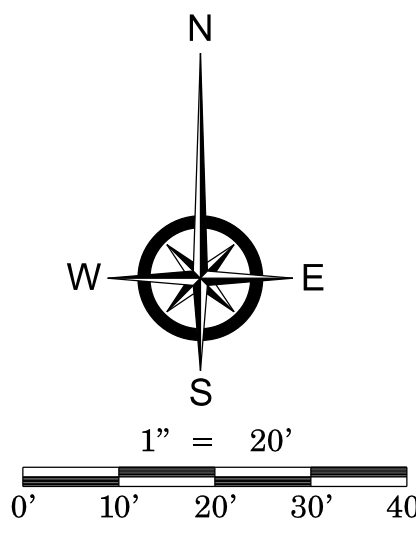
JUNHOR

HYPKAL

PROPERTY LINE

EXISTING TREES TO REMAIN
AND PROTECTED

TOUHY AVE.



LEGEND

- SHADE TREE
- EXISTING TREE
- SOD WITH 4" TOP SOIL
- TREE PROTECTION AT DRIPLINE
- NATIVE SHRUB
- EVERGREEN HEDGE
- 12' X 12' SIGHT TRIANGLE
- MONUMENT SIGN

NOTE:

1. NO GROWTH TO BE OVER 12" WITHIN SIGHT TRIANGLES.
2. ALL SHRUBS SHALL BE PLANTED 3' OFF CENTER. REFER TO PLANT SCHEDULE FOR SIZES OF ALL SHRUB SPECIES.
3. TREES, SHRUBS, GROUND COVER AND OTHER PLANTS SELECTED FOR PLANTING SHALL BE ACCLIMATED TO NORTHERN ILLINOIS
4. ALL NEW TREES SHALL BE MINIMUM 2 1/2" CALIPER

PLANT SCHEDULE

CODE	QTY	BOTANICAL NAME	COMMON NAME	BALL	SIZE
THUOFC	2	THUJA OCCIDENTALIS 'CONGABE'	FIRE CHIEF ARBORVITAE	CONT/BB	36"
JUNHOR	3	JUNIPERUS HORIZONTALIS 'HUGHES'	HORIZONTAL JUNIPER	CONT/BB	1 GAL - 30" HIGH MIN.
HYPKAL	3	HYPERICUM KALMIANUM	KALM ST. JOHNSWORT	CONT/BB	1 GAL - 30" HIGH MIN.
ACC	2	ACER CAMPESTRA	HEDGE MAPLE	BB	12'
CEO	1	CELTIS OCCIDENTALIS	HACKBERRY	BB	10'
GLT	1	GLEDITSIA TRIACANTHOS	HONEYLOCUST	BB	10'
UMG	1	ULMUS 'MORTON GLOSSY'	TRIUMPH ELM		
QRF	1	QUERCUS ROBUR 'FASTIGIATA'	COLUMNAR OAK		

NORTH SHORE CHANNEL (MWRD)

09.13.2023 APPEARANCE COMMISSION
DATE ISSUED FOR

JAKL BRANDEIS ARCHITECTS LTD.
1800 HAWTHORNE LANE
WEST CHICAGO, ILLINOIS 60185
PH. (630) 562-3900
LICENSE NO. 184-001832

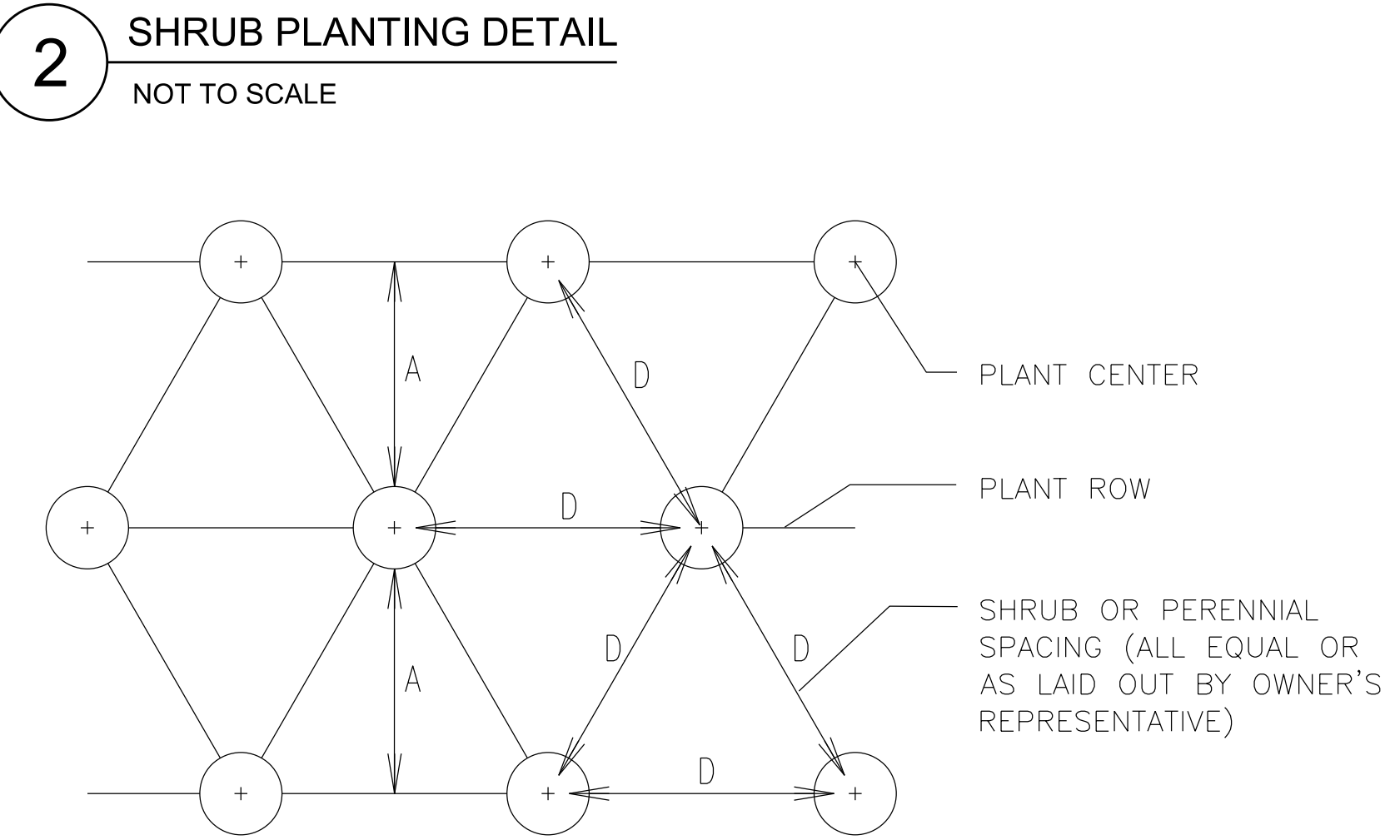
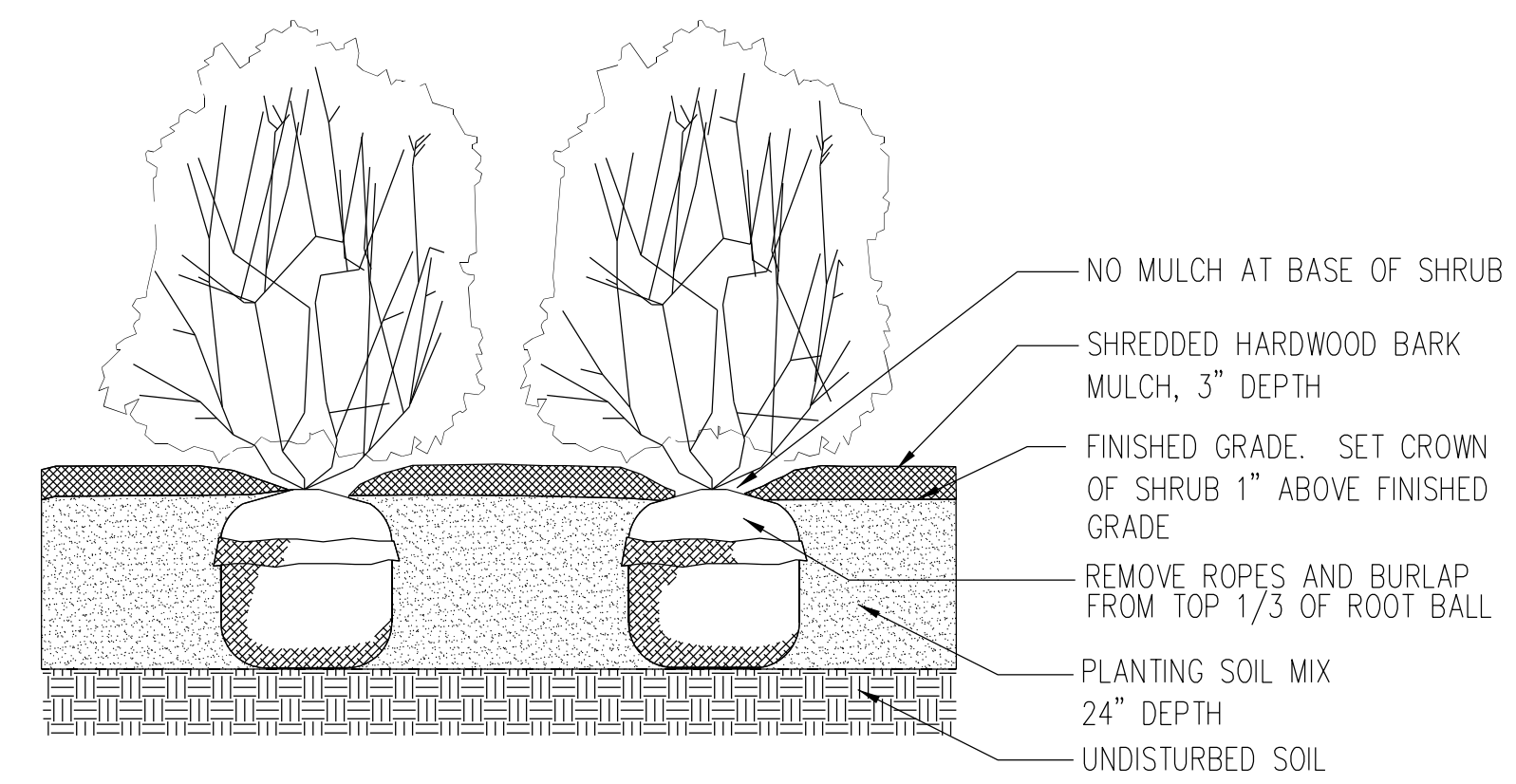
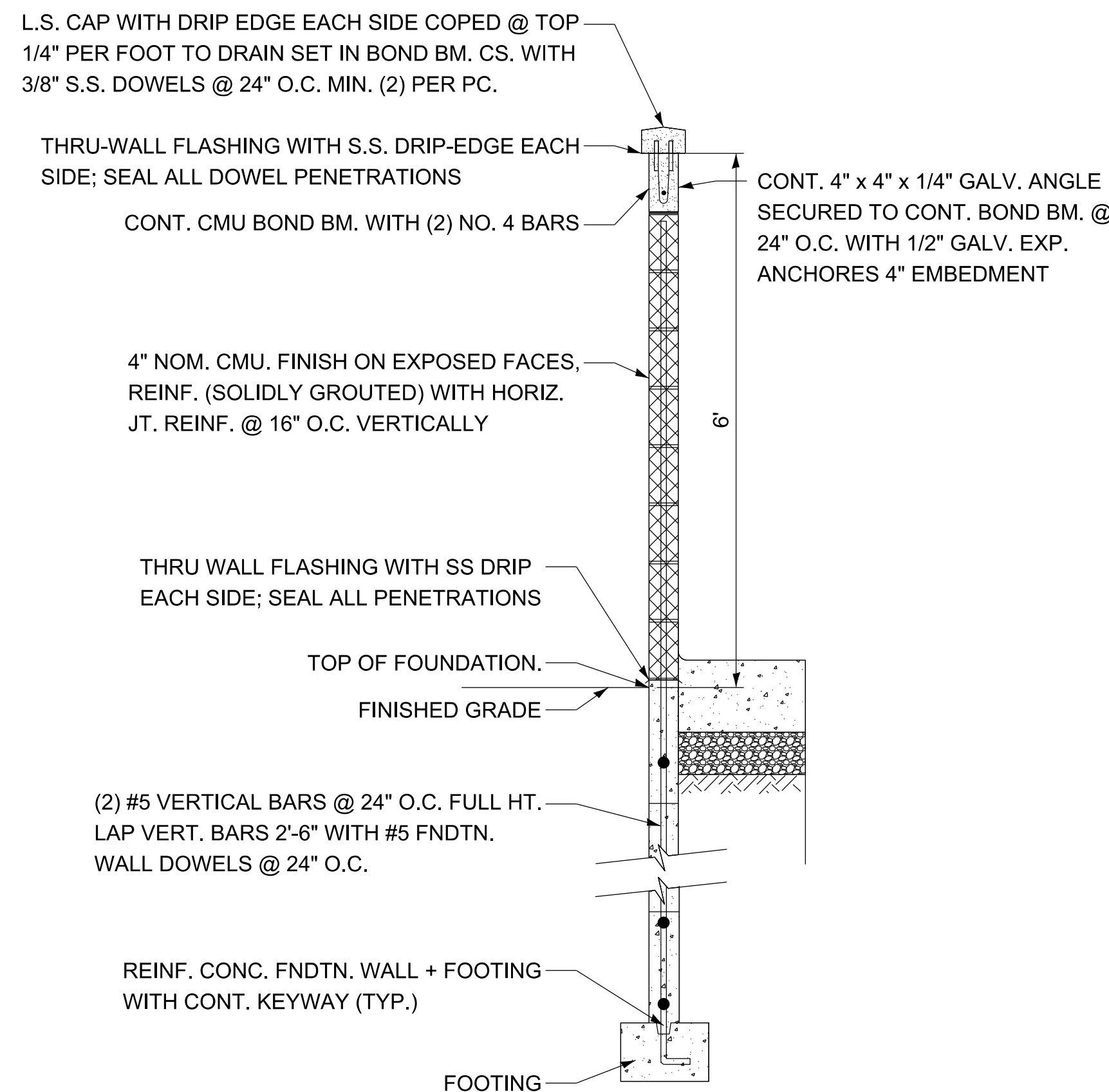
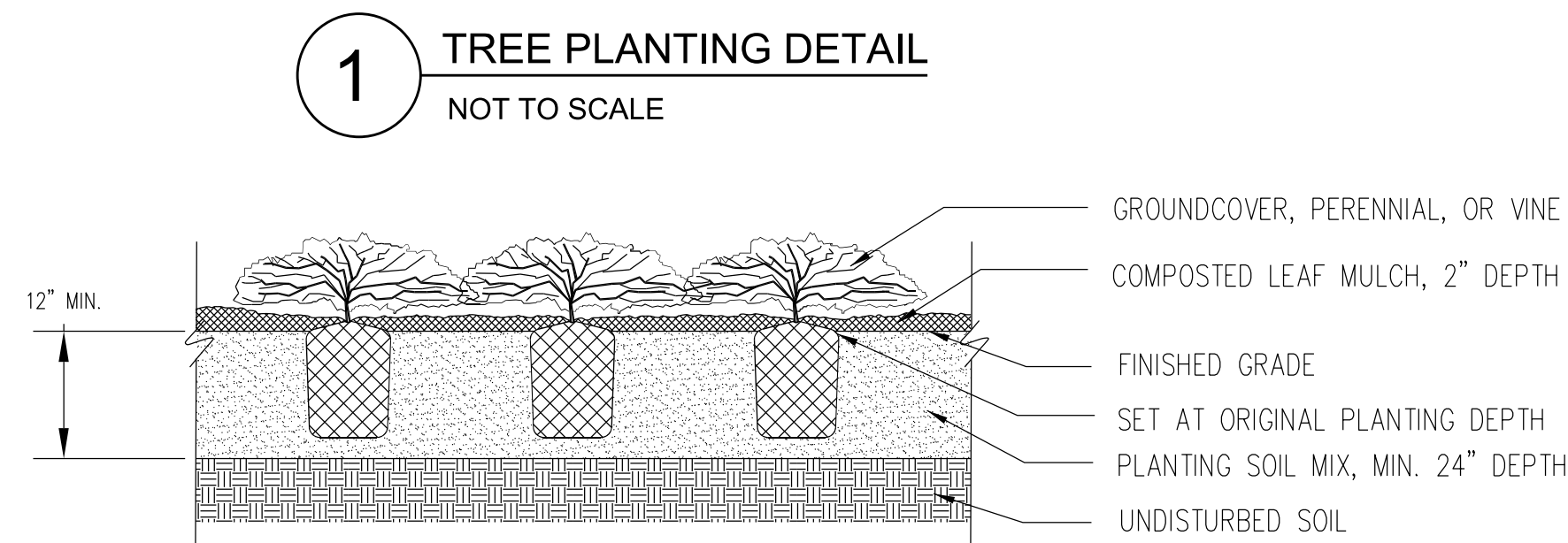
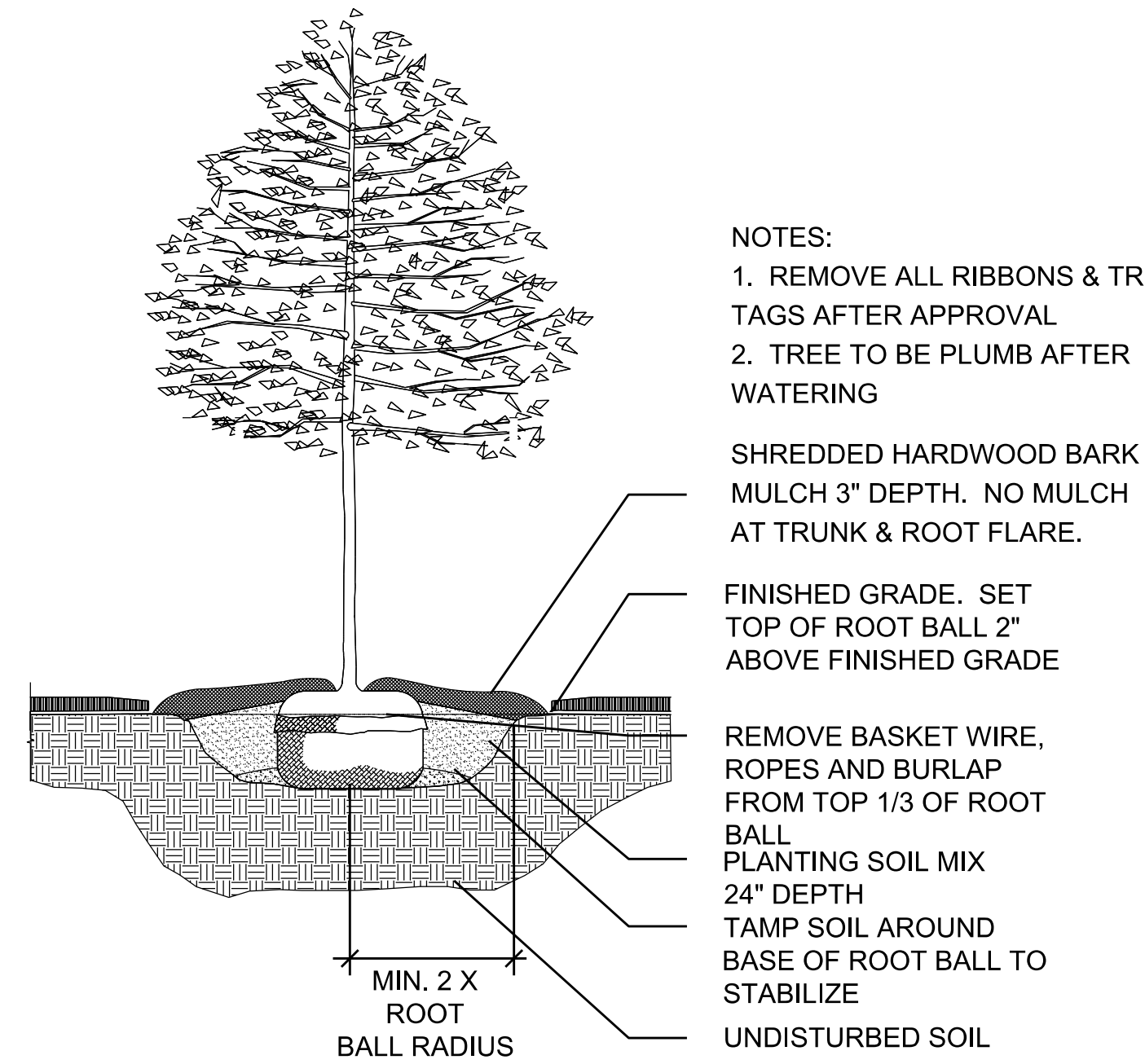
DRAWING TITLE
LANDSCAPE PLAN

PROJECT TITLE
**NEW CARWASH
3250 W. TOUHY AVE.
SKOKIE, IL 60645**

DRAWN BY: JA
CHECKED BY: KB
SCALE:
PROJECT #: 2022.02
FILE NAME:
SHEET #
LS-1

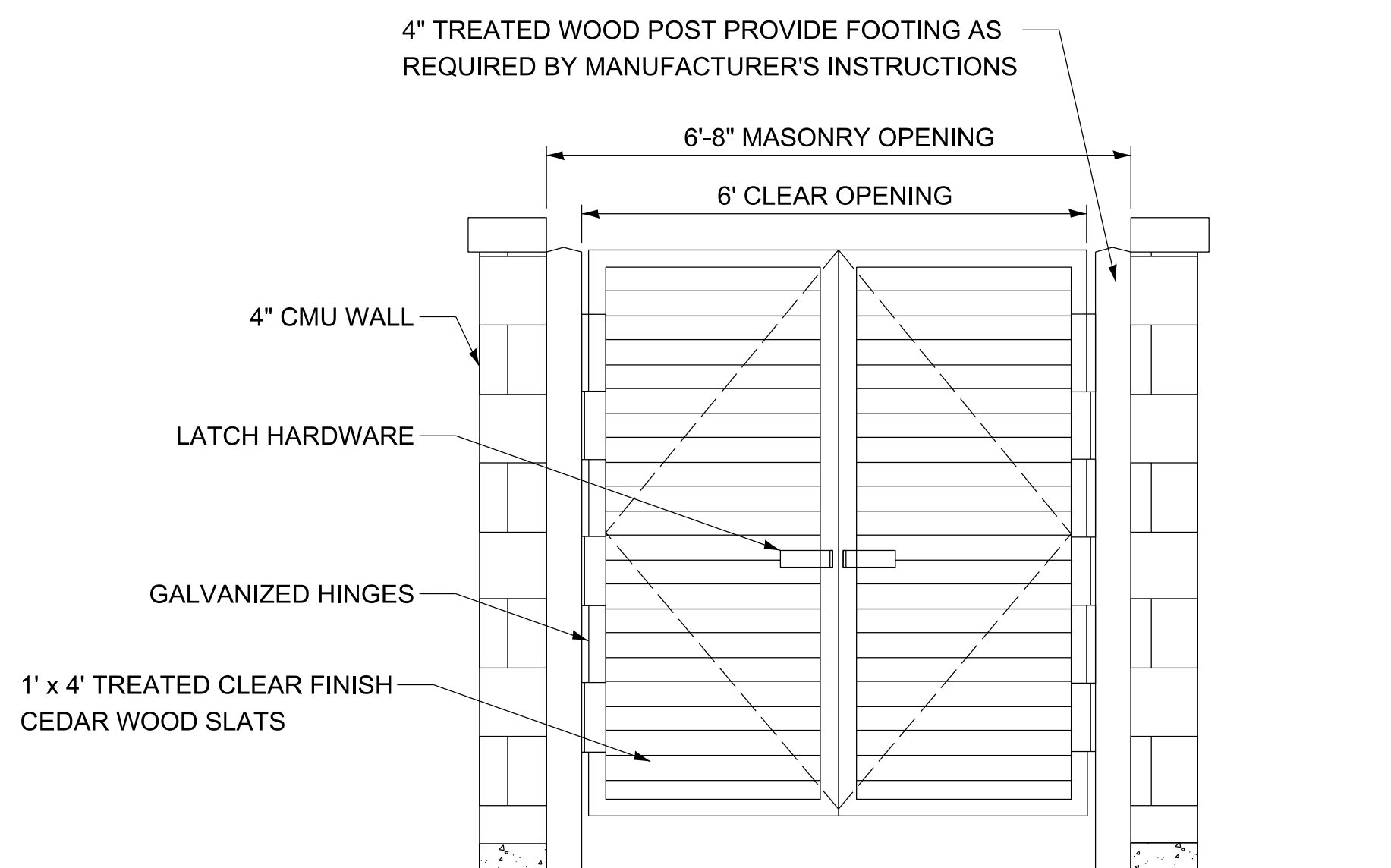
GENERAL NOTES:

1. PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION ACTIVITIES THE CONTRACTOR SHALL NOTIFY DIGGER AT (312)-644-7000 TO DETERMINE THE LOCATION OF ANY UNDERGROUND UTILITIES WHICH MAY AFFECT PROPOSED SITE WORK.
2. CONTRACTOR SHALL NOTIFY LANDSCAPE ARCHITECT/OWNER IMMEDIATELY OF ANY DISCREPANCIES, OBSTACLES AND/OR PROBLEMS.
3. VERIFICATION OF DIMENSIONS AND GRADES, BOTH EXISTING AND PROPOSED, SHALL BE THE CONTRACTOR'S RESPONSIBILITY PRIOR TO COMMENCEMENT OF WORK. THE CONTRACTOR SHALL NOTIFY THE OWNER OF ANY DISCREPANCIES.
4. ALL SURFACE DRAINAGE SHALL BE DIRECTED AWAY FROM STRUCTURES. SURFACE DRAINAGE SHALL BE DIRECTED TO EXISTING, AND/OR NEW CATCH BASINS DESIGNATED FOR THE COLLECTION OF SURFACE RUNOFF. UPON EXCAVATION OF TREE PIT ZONES, PERFORM A TEST OF PERCOLATION AND IF IT DOES NOT DRAIN, CONTACT LANDSCAPE ARCHITECT FOR DIRECTION IN INSTALLATION OF DRAINAGE PIPES.
5. CONTRACTOR SHALL NOTIFY OWNER OF ANY UNDESIRABLE DRAINAGE CONDITIONS AND RECOMMEND SUITABLE SOLUTIONS.
6. LANDSCAPE CONTRACTOR SHALL REPAIR IN KIND ALL AREAS DAMAGED AS A RESULT OF LANDSCAPE OPERATIONS.
7. ALL TREE AND SHRUB BEDS TO RECEIVE A MINIMUM 3" OF SHREDDED HARDWOOD MULCH. ALL PERENNIAL BEDS TO RECEIVE A MINIMUM 2" OF COMPOSTED LEAF MULCH.
8. LANDSCAPE CONTRACTOR SHALL WARRANTY ALL TREES, SHRUBS, GRASSES, VINES AND GROUNDCOVERS UNDER THIS CONTRACT WILL BE HEALTHY AND IN FLOURISHING CONDITION OF ACTIVE GROWTH ONE YEAR FROM DATE OF FINAL ACCEPTANCE.
9. SOIL TO BE USED FOR THE PLANTING MEDIUM FOR THE PROJECT SHALL BE FERTILE, WELL DRAINED, OF UNIFORM QUALITY, FREE OF STONES OF 1" DIA., STICKS, OILS, CHEMICALS, PLASTER, CONCRETE AND OTHER DELETERIOUS MATERIALS.
10. LANDSCAPE CONTRACTOR SHALL STAKE THE LOCATION OF ALL TREES AND PLANTING BED LINES AND HAVE LAYOUT APPROVED BY LANDSCAPE ARCHITECT/OWNER PRIOR TO PLANTING.
11. WATER ALL PLANTS IMMEDIATELY AFTER PLANTING. FLOOD PLANTS TWICE DURING FIRST 24-HOUR PERIOD AFTER PLANTING.
12. ALL NEW TRANSPLANTED PLANTS TO BE SPRAYED WITH AN ANTIDESSICANT WITHIN 24 HOURS AFTER PLANTING. ANTI-TRANSPIRANT SHALL BE EQUAL TO "WILTPRUF."
13. ALL MUD SHALL BE REMOVED FROM ALL TIRES BEFORE LEAVING THE SITE AND ROADS SHALL BE KEPT CLEAR OF MUD AND DEBRIS AT ALL TIMES.



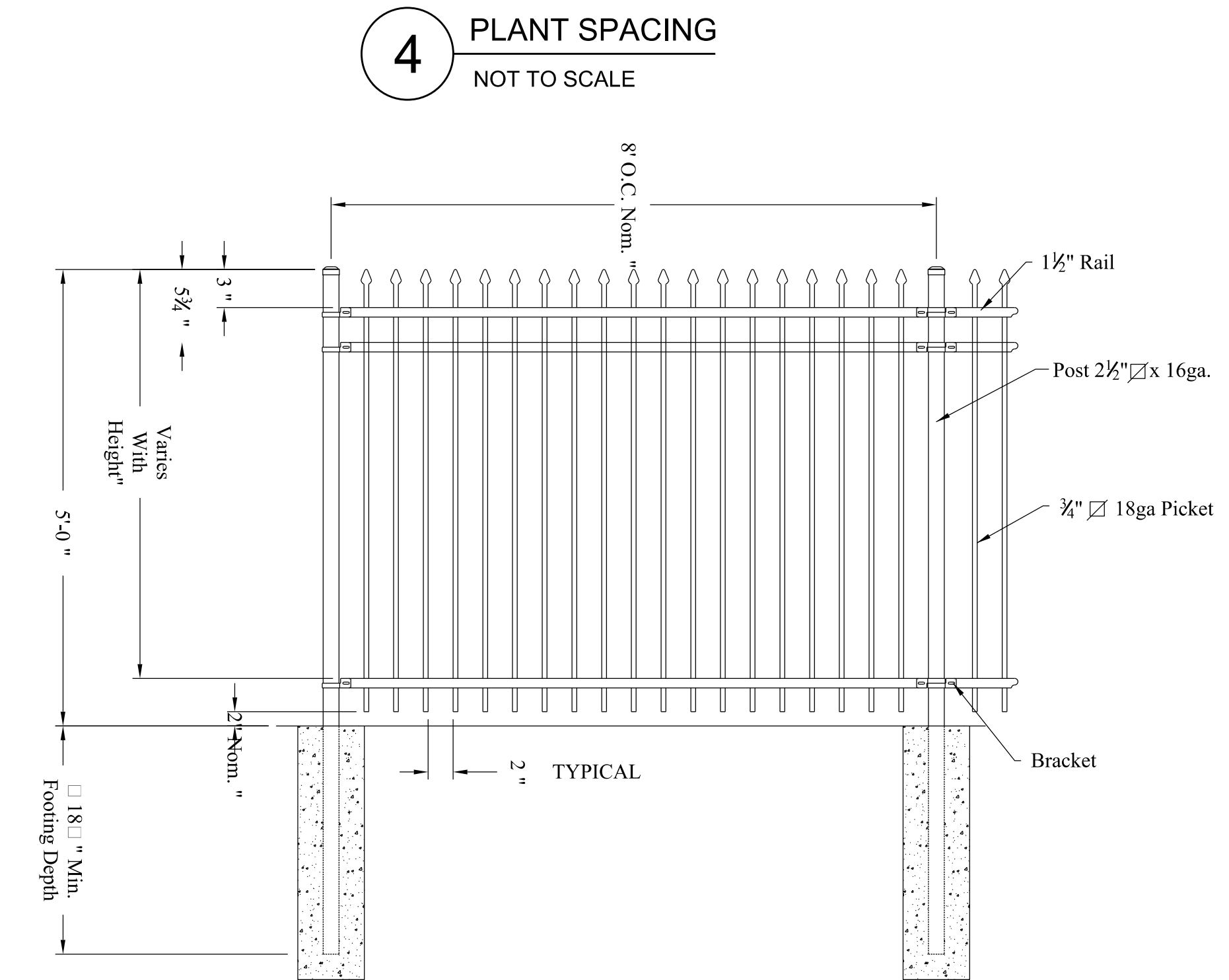
Plant Spacing		
	Spacing 'D'	Row 'A'
Perennial, Groundcover, and Vine Spacing	18" O.C.	15.6"

NOTE: PLANT QUANTITIES ARE DETERMINED BY DIVIDING AREA (S.F.) BY 2.25 FOR PLANTS SPACED 18" O.C.



- NOTES:**
- ALL BOARDS TO BE FASTENED WITH GALVANIZED SCREWS.
 - SEE SITE PLANS FOR GATE LOCATIONS
 - ALL MASONRY TO BE SEALED

5 TRASH ENCLOSURE ELEVATION
NOT TO SCALE



7 ORNAMENTAL METAL FENCE
NOT TO SCALE

09.13.2023 APPEARANCE COMMISSION

DATE ISSUED FOR

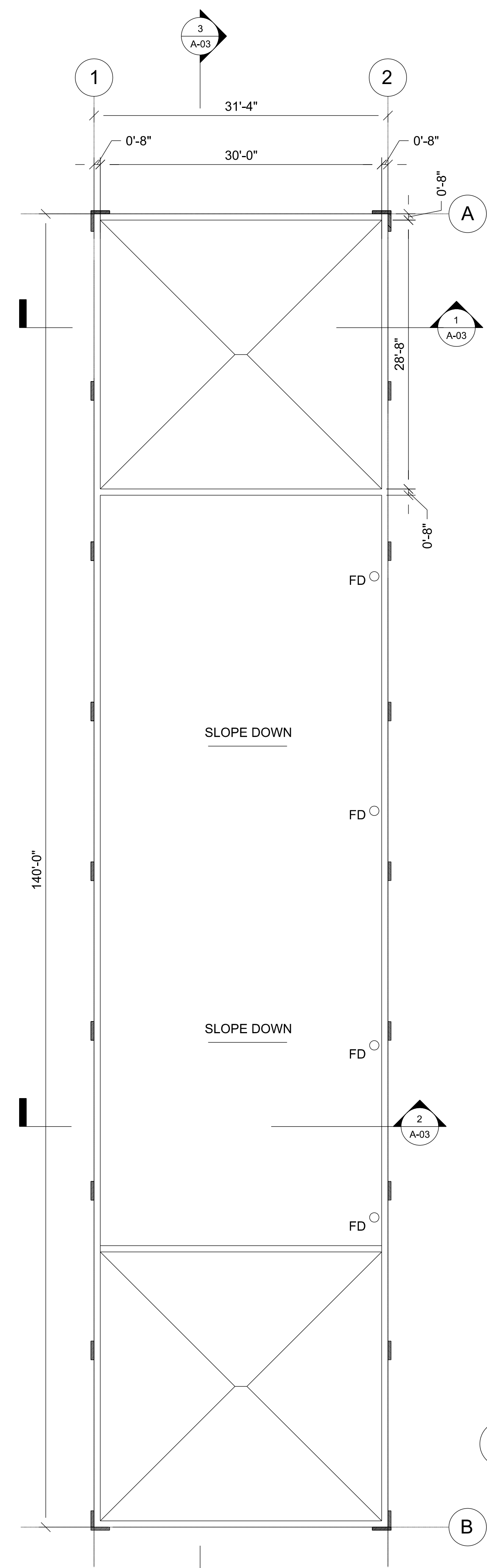
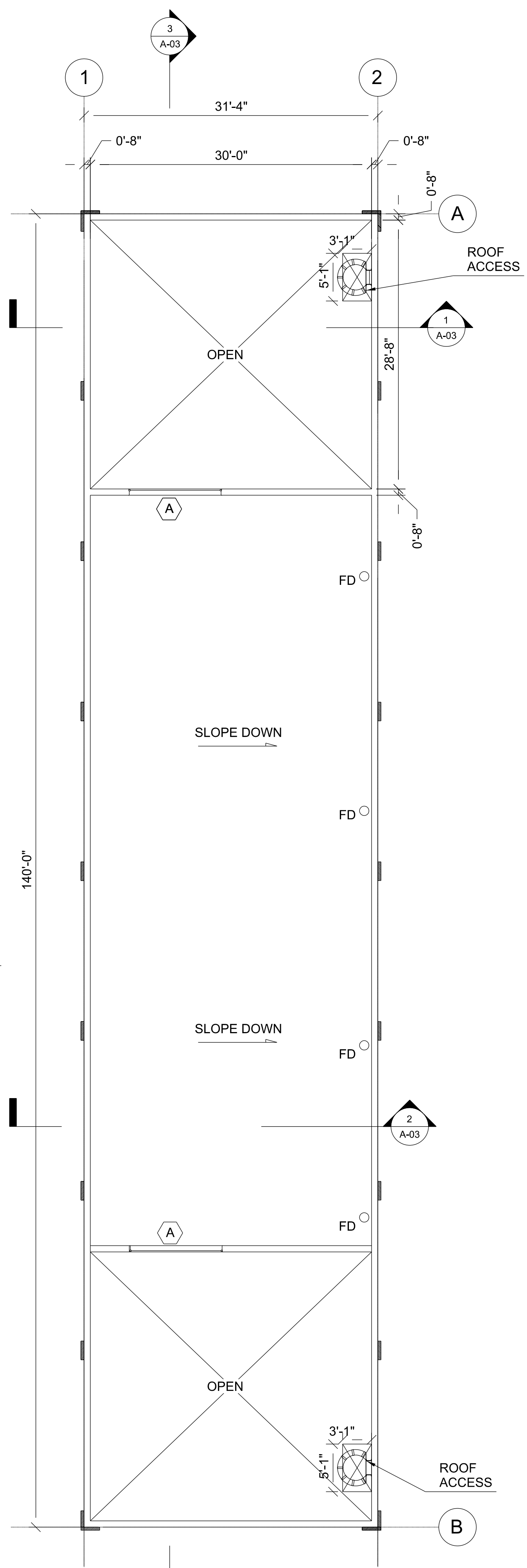
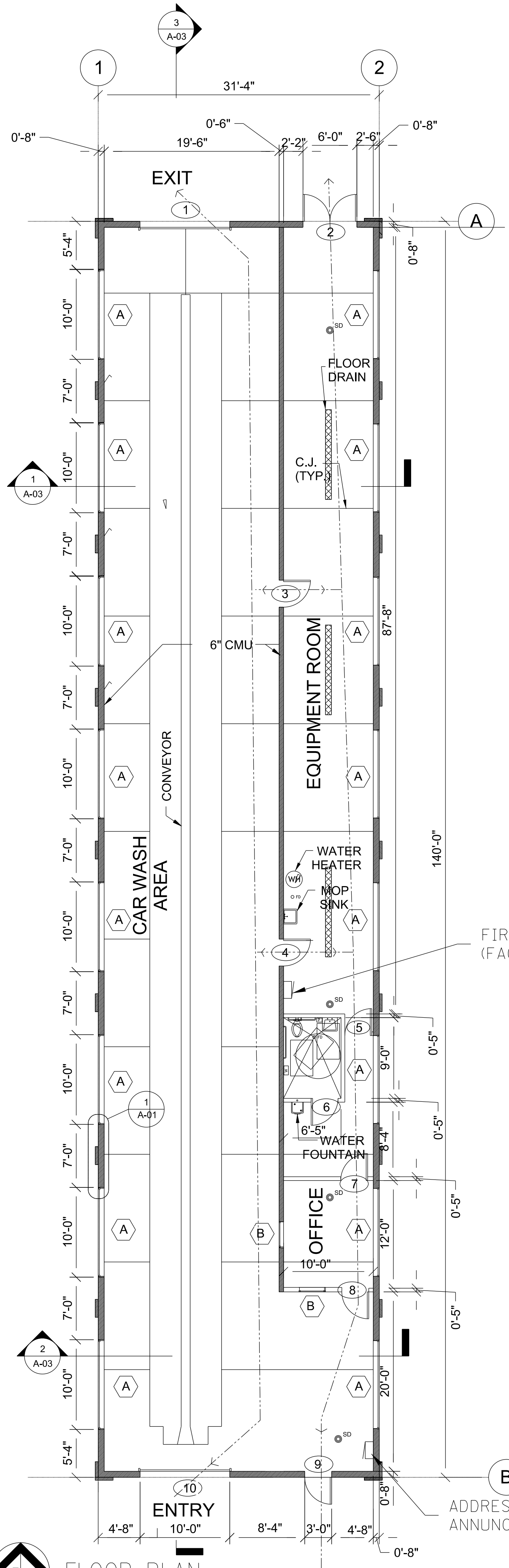
JAKL BRANDEIS ARCHITECTS LTD.
1800 HAWTHORNE LANE
WEST CHICAGO, ILLINOIS 60185
PH. (630) 562-3900
LICENSE NO. 184-001832

DRAWING TITLE
LANDSCAPE DETAILS

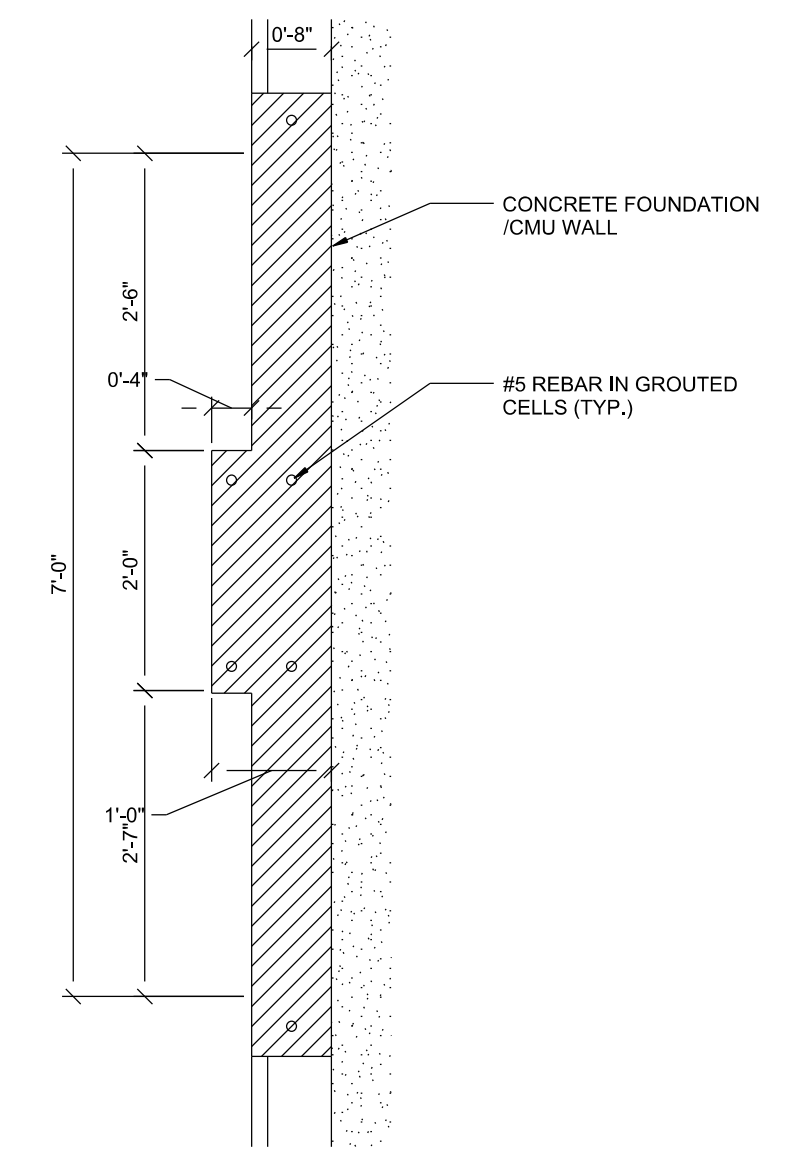
PROJECT TITLE
NEW CARWASH
3250 W. TOUHY AVE.
SKOKIE, IL 60645

DRAWN BY: JA
CHECKED BY: KB
SCALE:
PROJECT #: 2022.02
FILE NAME:

SHEET #
LS-2



LEGEND:
 - - - - - FIRE ESCAPE ACCESS ROUTE
 ●^{SD} SMOKE DETECTOR



09.13.2023 APPEARANCE COMMISSION
 DATE ISSUED FOR

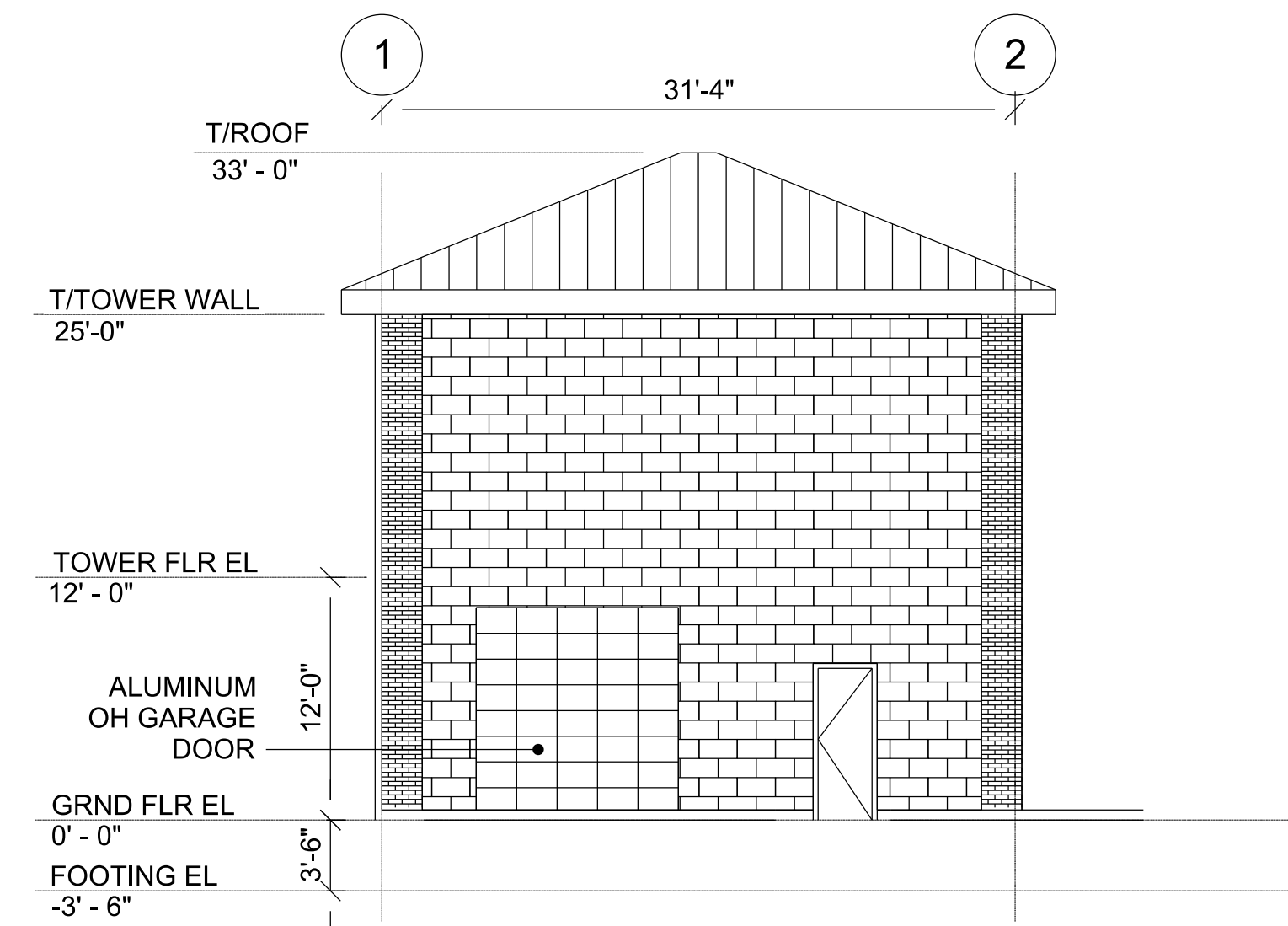
JAKL BRANDEIS ARCHITECTS LTD.
 1800 HAWTHORNE LANE
 WEST CHICAGO, ILLINOIS 60185
 PH. (630) 562-3900
 LICENSE NO. 184-001832

DRAWING TITLE
FLOOR PLAN

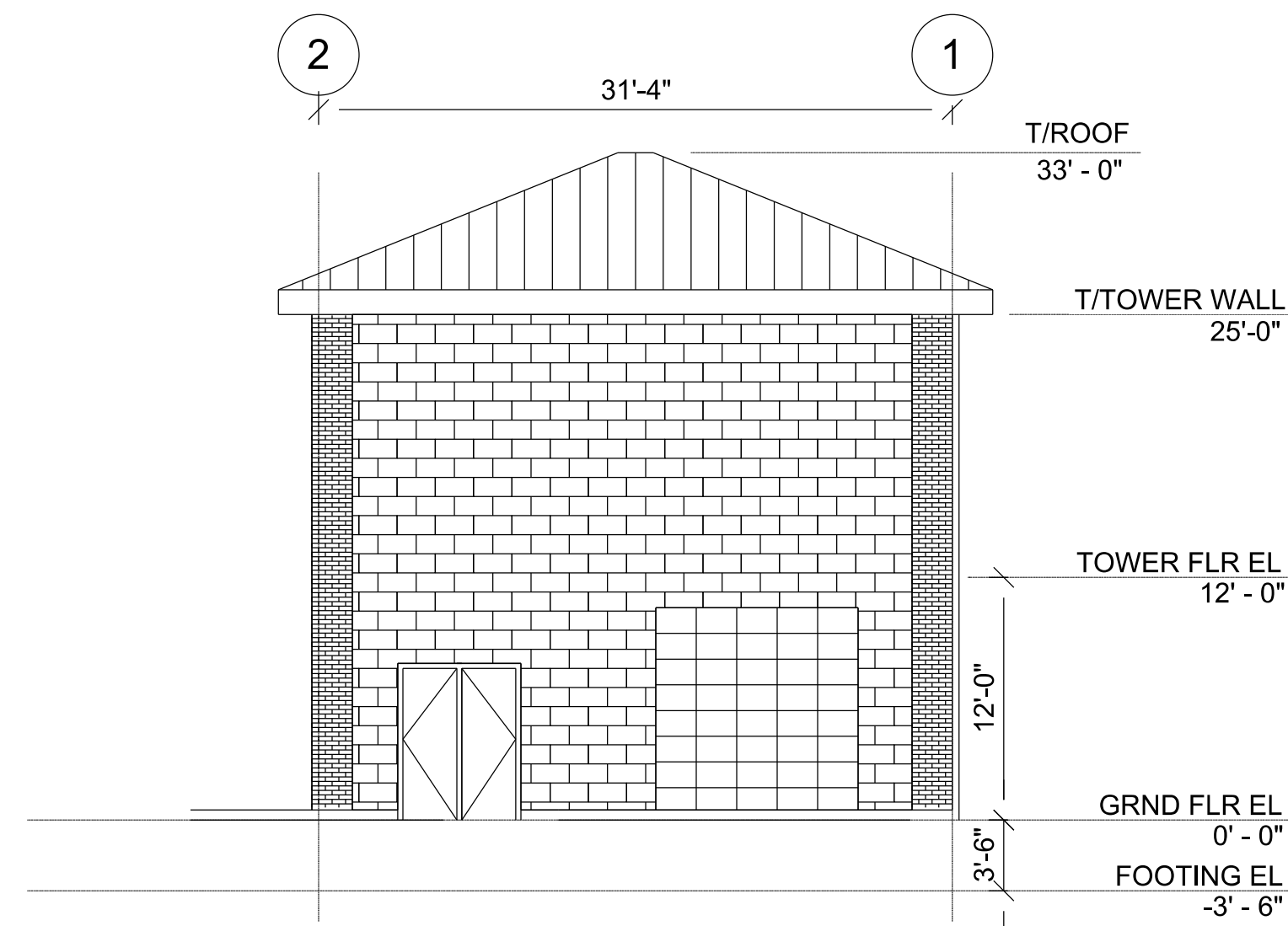
PROJECT TITLE
NEW CARWASH
3250 W. TOUHY AVE.
SKOKIE, IL 60645

DRAWN BY: JA
 CHECKED BY: KB
 SCALE:
 PROJECT #: 2022.02
 FILE NAME:

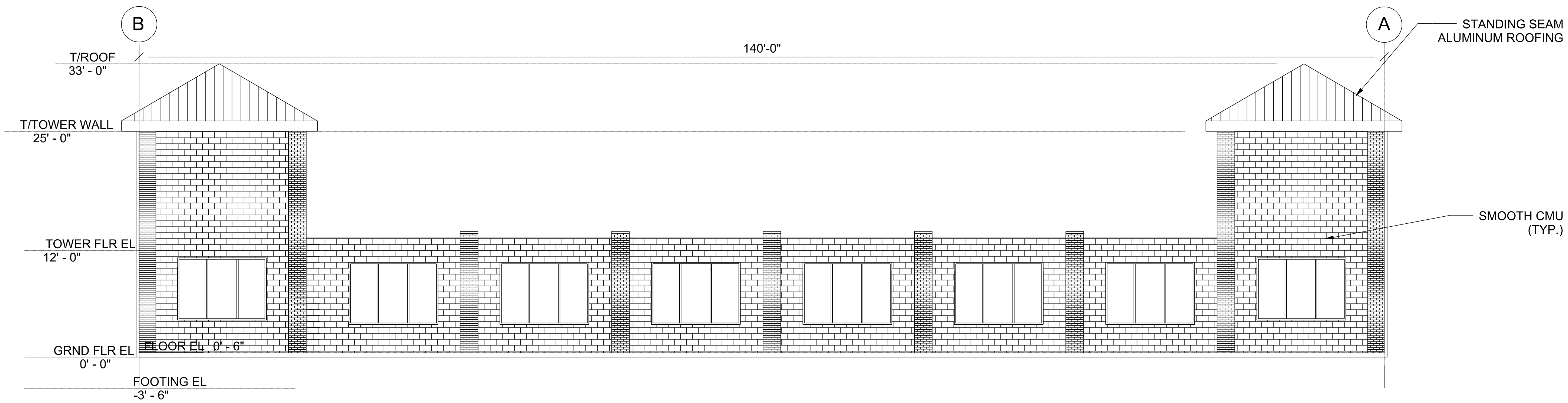
SHEET #
A-01



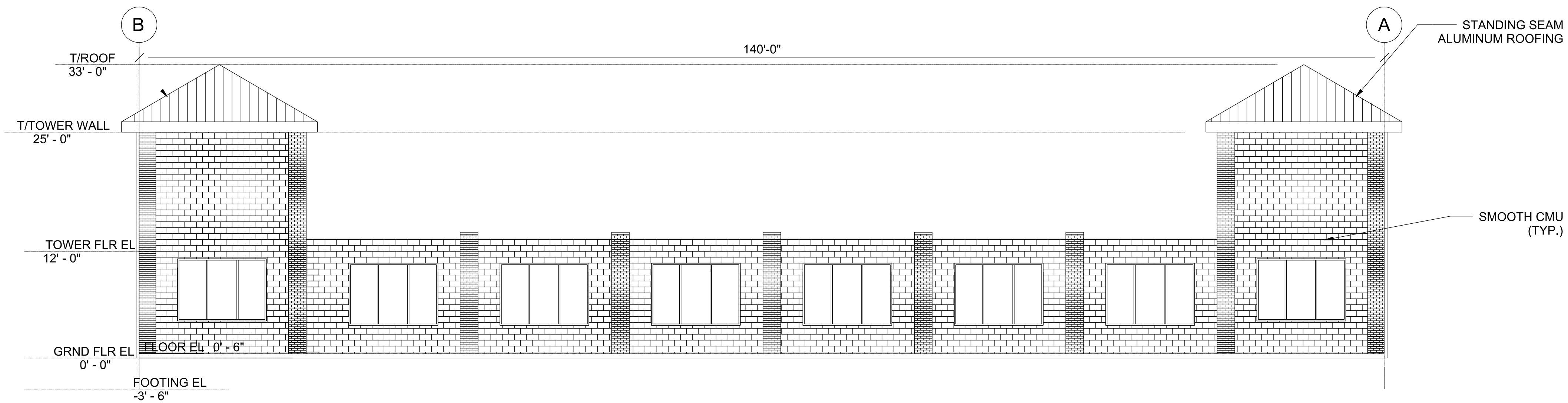
SOUTH ELEVATION



NORTH ELEVATION



WEST ELEVATION



EAST ELEVATION

09.13.2023 APPEARANCE COMMISSION
DATE ISSUED FOR

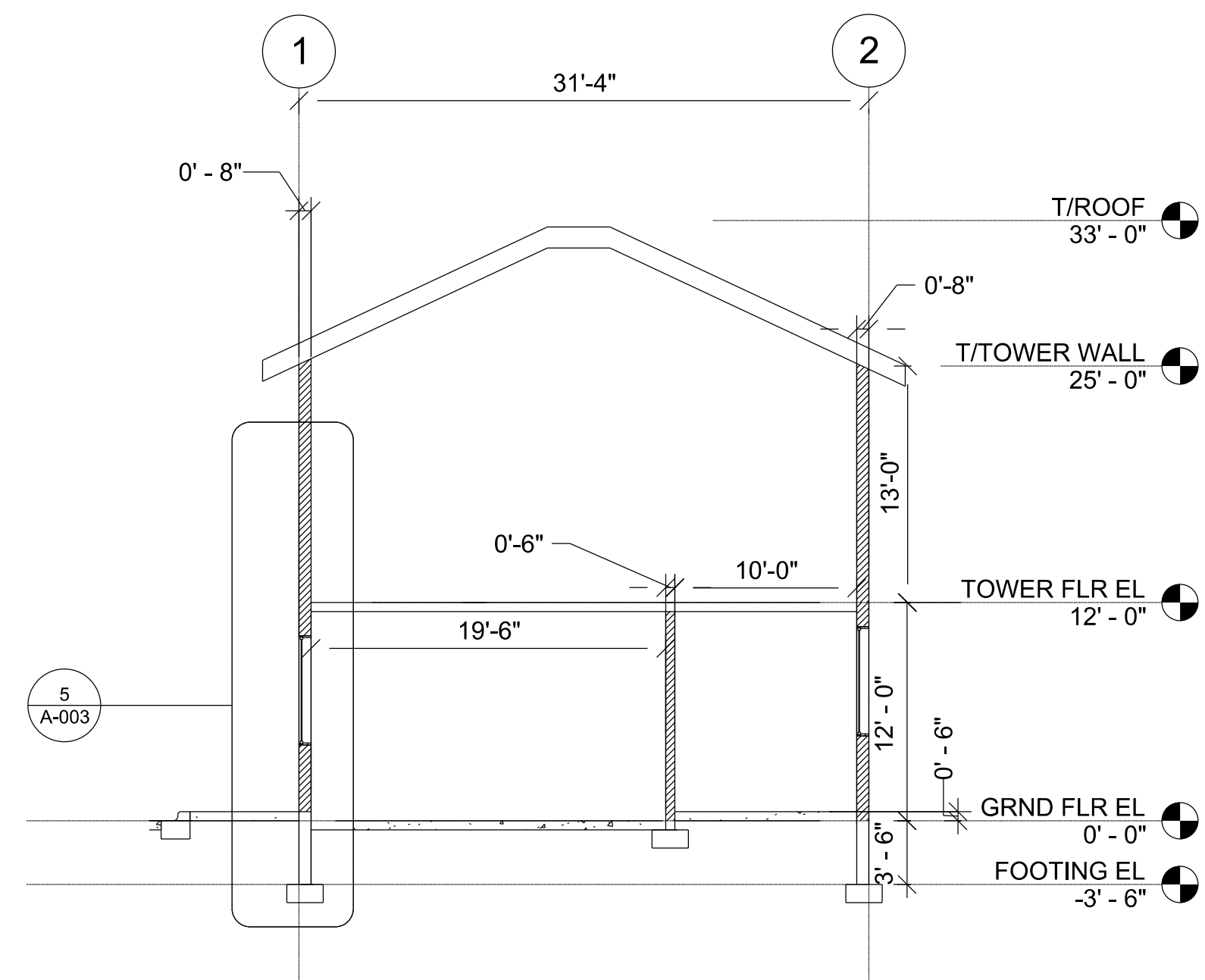
JAKL BRANDEIS ARCHITECTS LTD.
1800 HAWTHORNE LANE
WEST CHICAGO, ILLINOIS 60185
PH. (630) 562-3900
LICENSE NO. 184-001832

DRAWING TITLE
ELEVATIONS

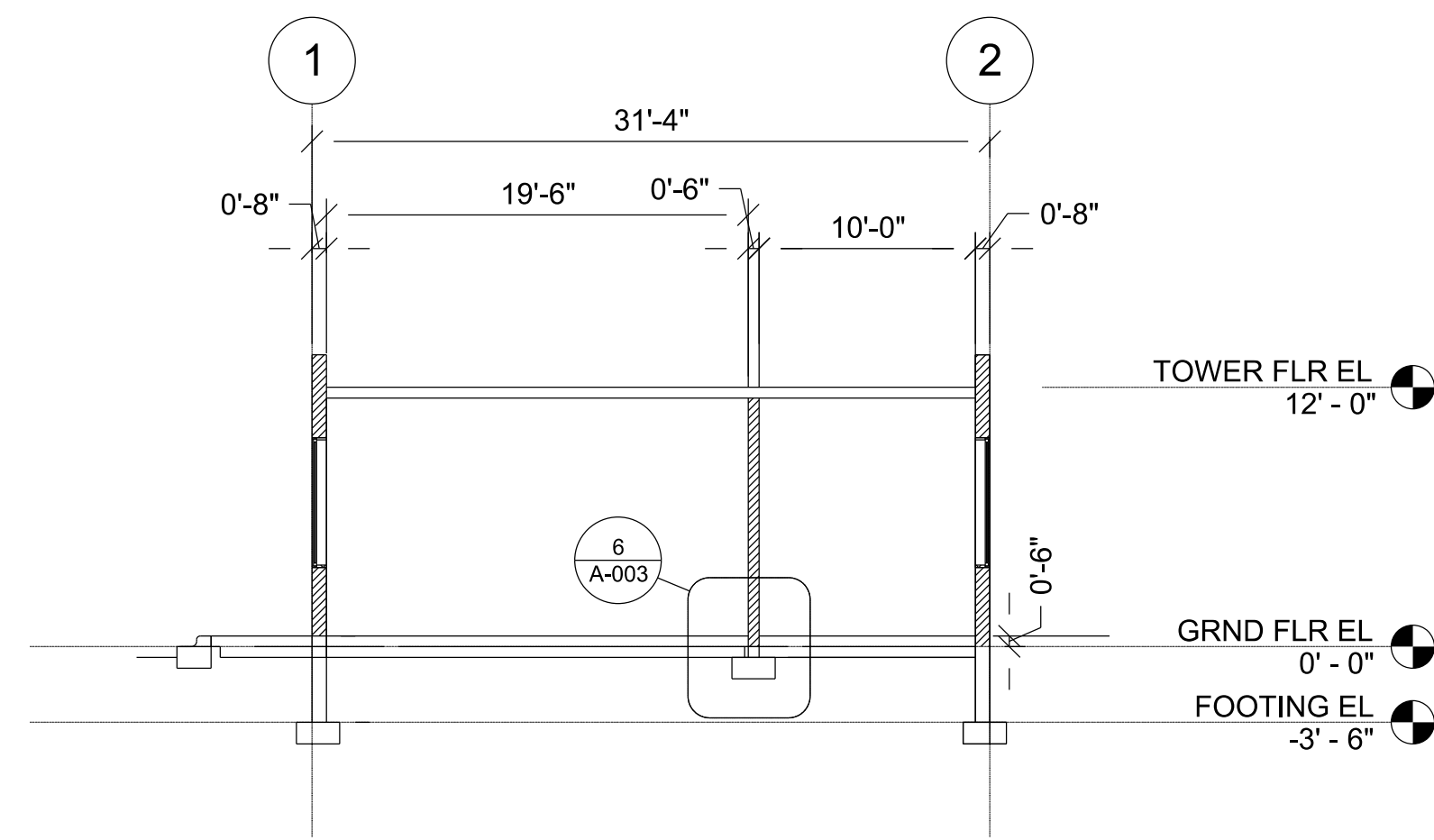
PROJECT TITLE
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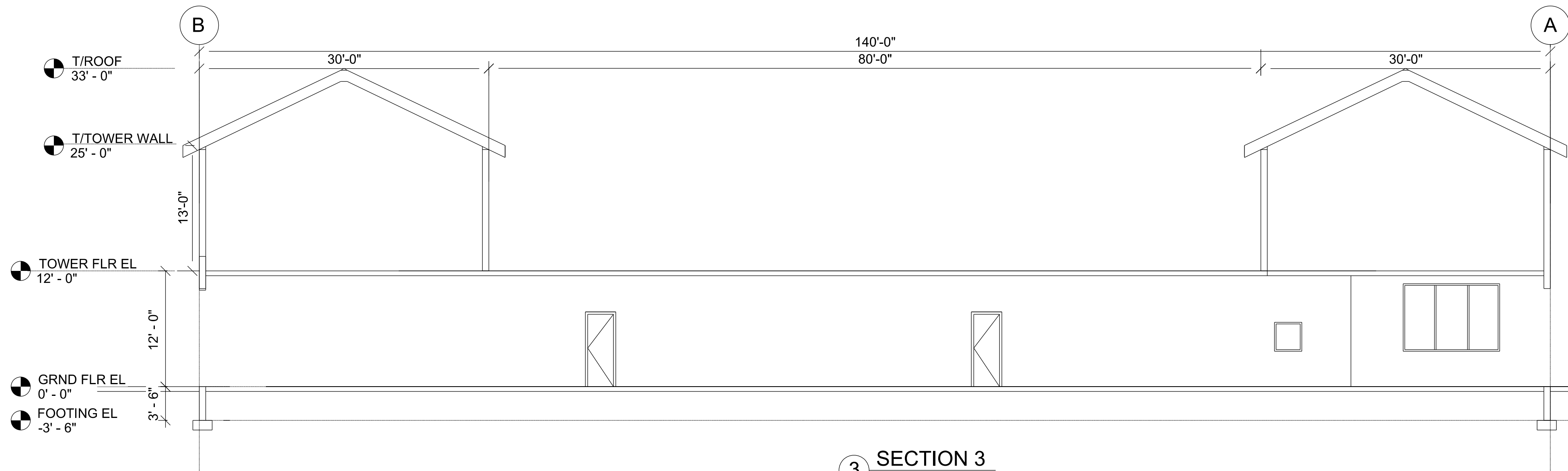
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A-02



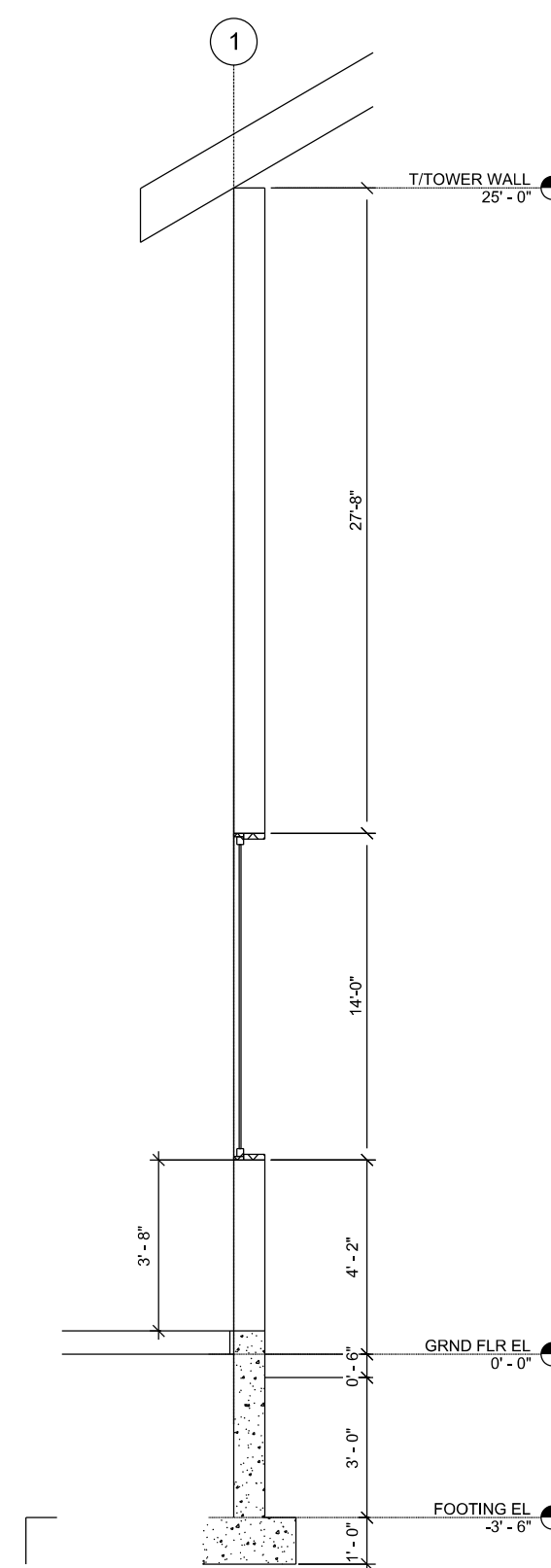
SECTION 1
1/8" = 1'-0"



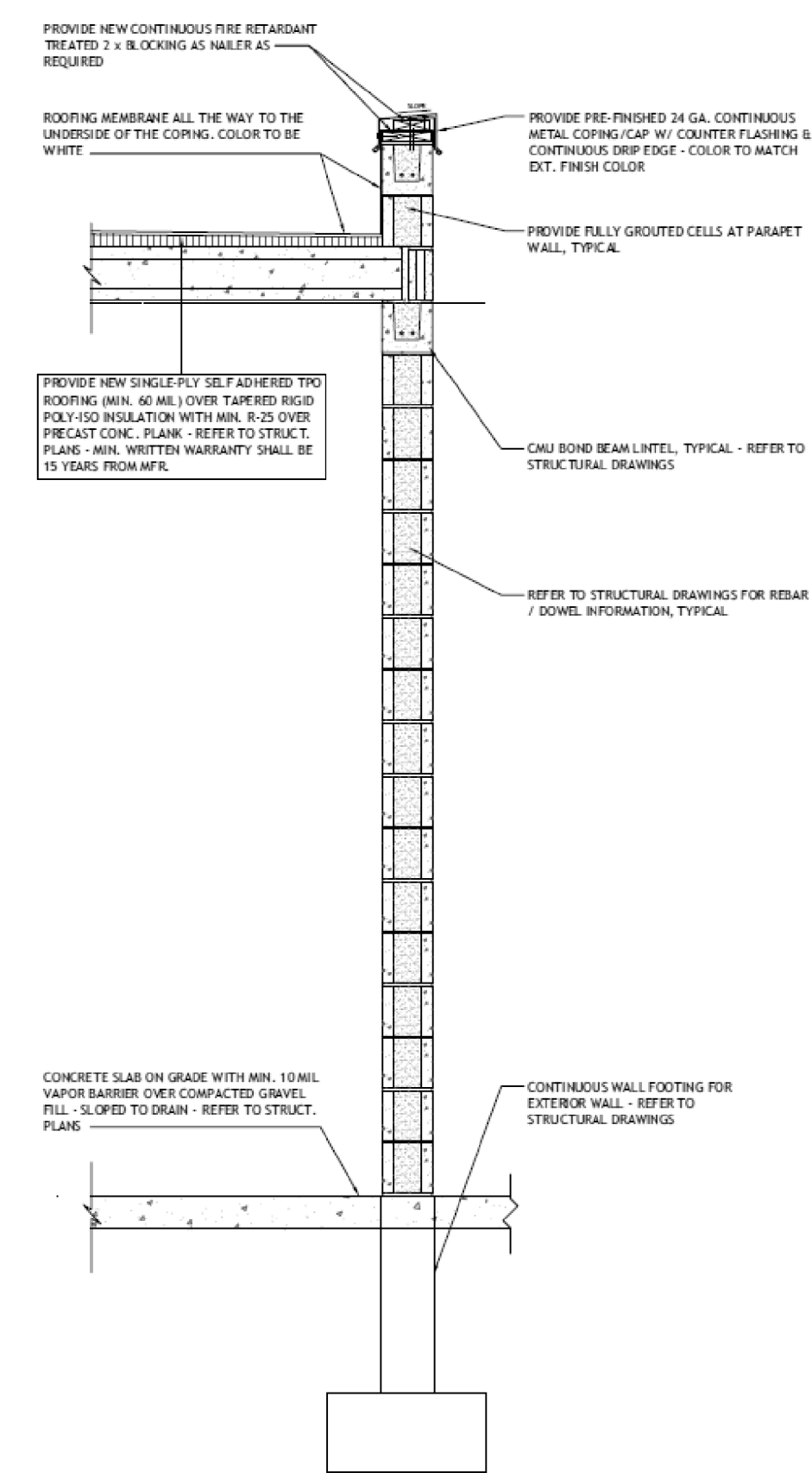
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1/8" = 1'-0"



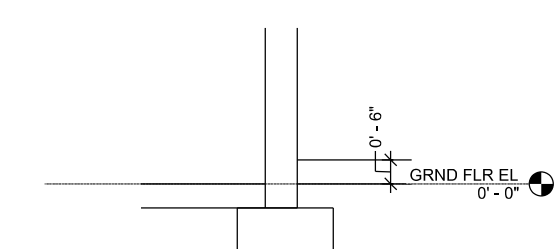
SECTION 3
1/8" = 1'-0"



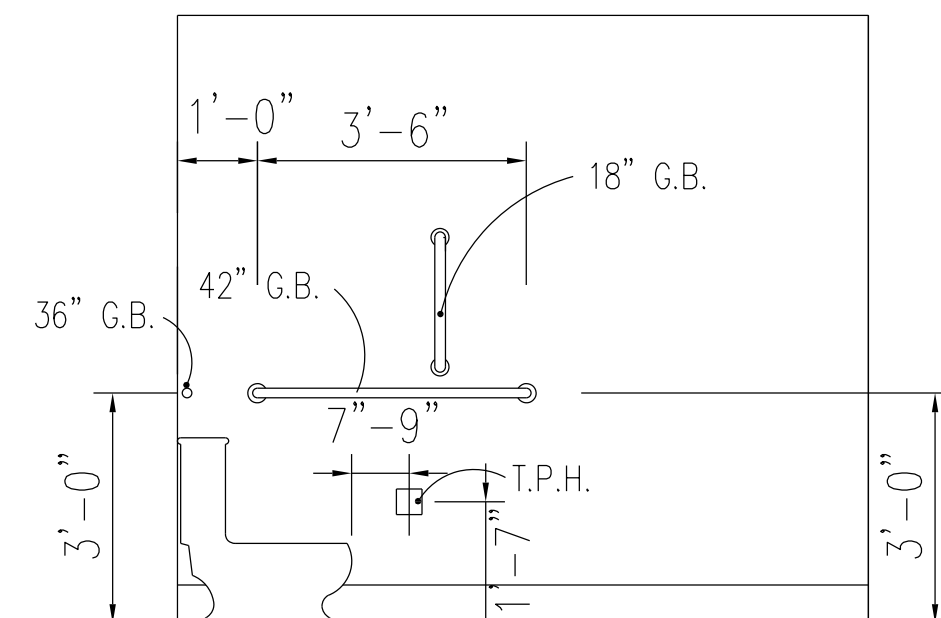
EXTERIOR WALL FOOTING DETAIL
1/4" = 1'-0"



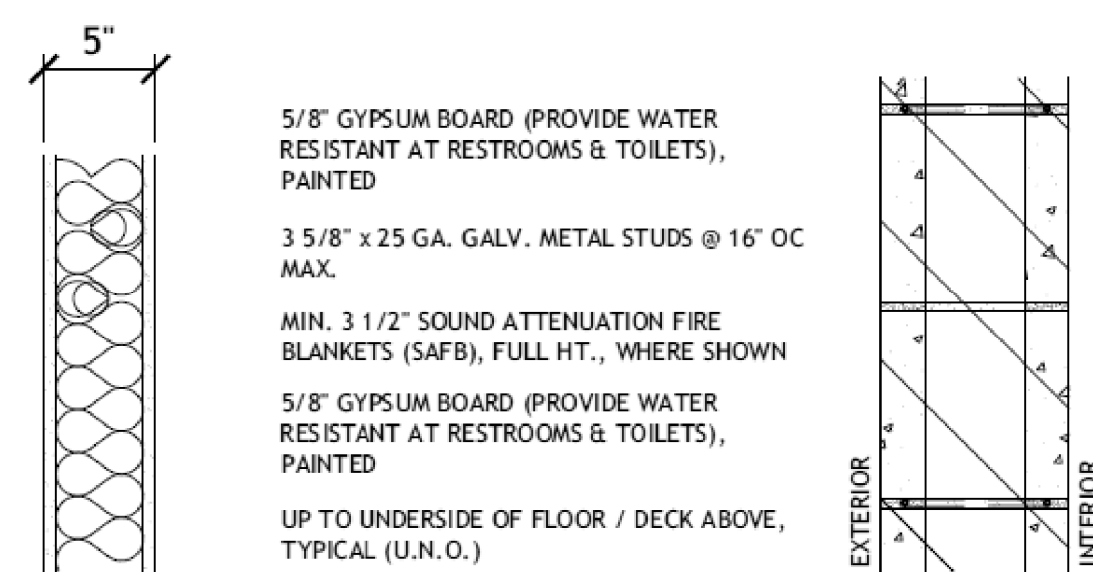
TYP. WALL SECTION
SCALE: F.N.T.S.



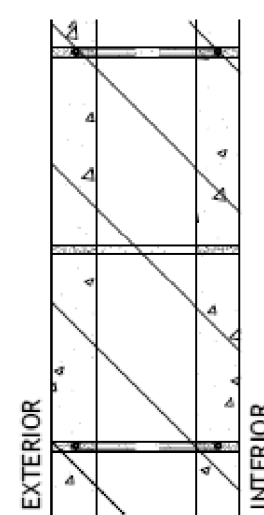
INTERIOR WALL FOOTING DETAIL
1/4" = 1'-0"



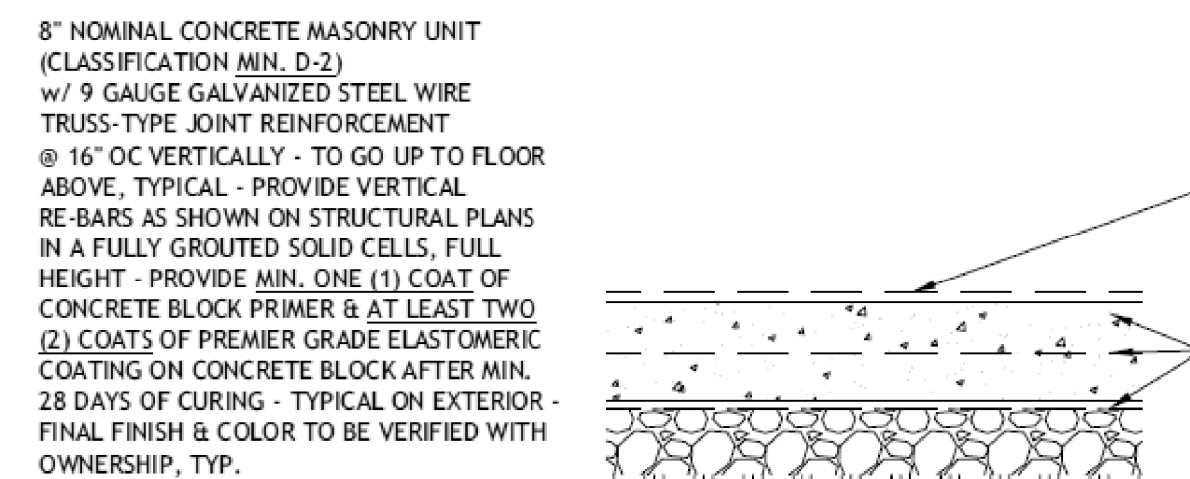
BATHROOM DETAIL



NON-RATED, AS SHOWN
NON-BEARING WALL, U.N.O.
REPLACE 3 5/8" STUDS IN ASSEMBLY "A" WITH FOLLOWING (@ PLUMBING WALLS, TYPICAL; U.N.O.): 6" x 25 GA. GALV. METAL STUDS @ 16" OC MAX.

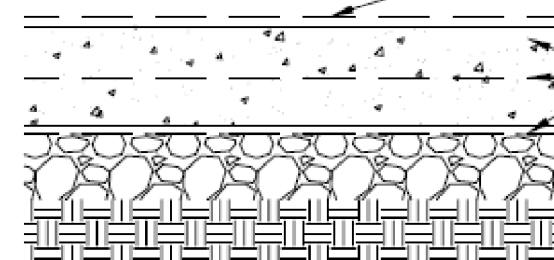


1 HR. RATED, AS SHOWN
(SEE STRUCTURAL PLANS FOR FOOTING)
U.L. DESIGN NO.: U905, SIM.
LOAD-BEARING OR NON-BEARING WALL



FLOOR SYSTEM

FLOOR FINISH PER OWNER - REFER TO PLANS - ALL FLOOR FINISHES TO BE INSTALLED PER MFR.'S WRITTEN INSTRUCTIONS SO THAT FULL WARRANTIES SHALL BE APPLICABLE



MAIN FLOOR ASSEMBLY
CONCRETE SLAB ON GRADE

WINDOW SCHEDULE

NO.	WINDOW SIZE	WINDOW TYPE	FRAME TYPE	FIRE RATING	REMARKS
A	10'-0" x 7'-0"	PICTURE	ALUM.	-	(3) PANEL
B	3'-0" x 2'-10"	TRANSOM	ALUM.	-	-

HARDWARE SCHEDULE

HW-1	HINGES LOCKSET CLOSER WALL STOPS PANIC HARDWARE DOOR SILENCERS
HW-2	HINGES PRIVACY SET CLOSER WALL STOPS DOOR SILENCERS

DOOR AND FRAME SCHEDULE

NO.	DOOR				FRAME			HARDWARE	THRESHOLD	FIRE RATING	REMARKS
	SIZE	TYPE	MAT'L	FIN.	TYPE	FIN.	DET.				
1	10'-0" x 12'-0" x 1 3/4"		HM	PAINT	MTL	PAINT	-		MTL	-	-
2	6'-0" x 6'-8" x 1 3/4"	A	HM	PAINT	MTL	PAINT	-	HW-1	MTL	-	-
3	3'-0" x 6'-8" x 1 3/4"	A	HM	PAINT	MTL	PAINT	-	HW-1	MTL	-	-
4	3'-0" x 6'-8" x 1 3/4"	A	HM	PAINT	MTL	PAINT	-	HW-1	MTL	-	-
5	3'-0" x 6'-8" x 1 3/4"	A	HM	PAINT	MTL	PAINT	-	HW-1	MTL	-	-
6	3'-0" x 6'-8" x 1 3/4"	A	HM	PAINT	MTL	PAINT	-	HW-1	MTL	-	-
7	3'-0" x 6'-8" x 1 3/4"	A	HM	PAINT	MTL	PAINT	-	HW-1	MTL	-	-
8	3'-0" x 6'-8" x 1 3/4"	A	HM	PAINT	MTL	PAINT	-	HW-1	MTL	-	-
9	3'-0" x 6'-8" x 1 3/4"	A	HM	PAINT	MTL	PAINT	-	HW-1	MTL	-	-
10	10'-0" x 12'-0" x 1 3/4"		HM	PAINT	MTL	PAINT	-		MTL	-	-

ASSEMBLY TYPES
SCALE: NTS

5

09.13.2023 APPEARANCE COMMISSION
DATE ISSUED FOR

JAKL BRANDEIS ARCHITECTS LTD.
1800 HAWTHORNE LANE
WEST CHICAGO, ILLINOIS 60185
PH. (630) 562-3900
LICENSE NO. 184-001832

SECTIONS & DETAILS

DRAWING TITLE

PROJECT TITLE
NEW CARWASH
3250 W. TOUHY AVE.
SKOKIE, IL 60645

DRAWN BY: JA

CHECKED BY: KB

SCALE:

PROJECT #: 2022.02

FILE NAME:

SHEET #

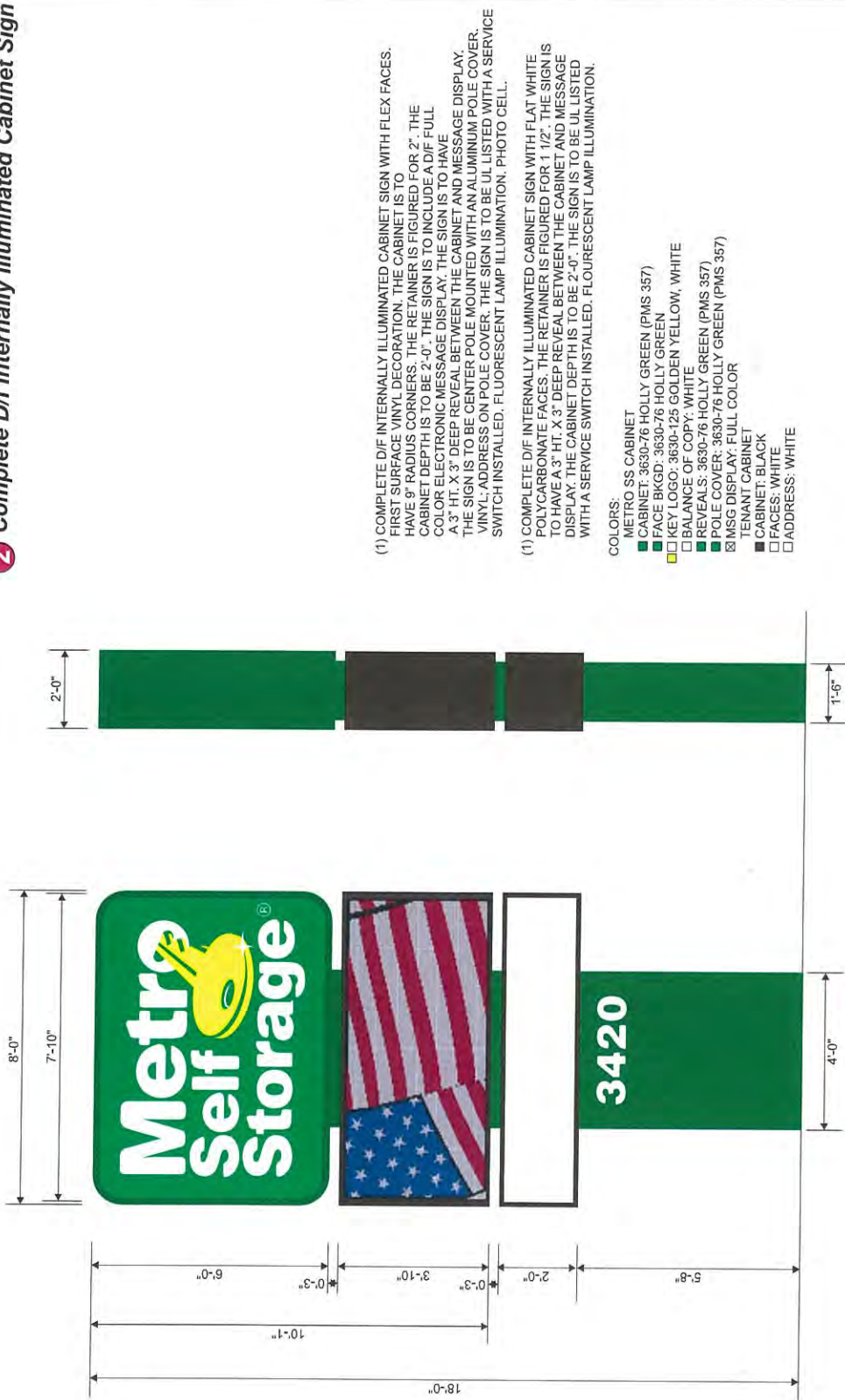
A-3

EXHIBIT C

Depiction of Existing Metro Sign

(See Attached)

2 Complete D/f Internally Illuminated Cabinet Sign



(1) COMPLETE D/F INTERNALLY ILLUMINATED CABINET SIGN WITH FLEX FACES. FIRST SURFACE VINYL DECORATION. THE CABINET IS TO HAVE 9" RADIUS CORNERS. THE RETAINER IS FIGURED FOR 2". THE CABINET DEPTH IS TO BE 2'-0". THE SIGN IS TO INCLUDE A D/F FULL COLOR ELECTRONIC MESSAGE DISPLAY. THE SIGN IS TO HAVE A 3" HT. X 3" DEEP REVEAL BETWEEN THE CABINET AND MESSAGE DISPLAY. THE SIGN IS TO BE CENTER POLE MOUNTED WITH AN ALUMINUM POLE COVER. VINYL ADDRESS ON POLE COVER. THE SIGN IS TO BE UL LISTED WITH A SERVICE SWITCH INSTALLED. FLOURESCENT LAMP ILLUMINATION. PHOTO CELL.

(1) COMPLETE D/F INTERNALLY ILLUMINATED CABINET SIGN WITH FLAT WHITE POLYCARBONATE FACES. THE RETAINER IS FIGURED FOR 1 1/2". THE SIGN IS TO HAVE A 3" HT. X 3" DEEP REVEAL BETWEEN THE CABINET AND MESSAGE DISPLAY. THE CABINET DEPTH IS TO BE 2'-0". THE SIGN IS TO BE UL LISTED WITH A SERVICE SWITCH INSTALLED. FLOURESCENT LAMP ILLUMINATION.

- COLORS:
- METRO SS CABINET
 - CABINET: 3630-76 HOLLY GREEN (PMS 357)
 - FACE BKGD: 3630-76 HOLLY GREEN
 - KEY LOGO: 3630-125 GOLDEN YELLOW, WHITE
 - BALANCE OF COPY: WHITE
 - REVEALS: 3630-76 HOLLY GREEN (PMS 357)
 - POLE COVER: 3630-76 HOLLY GREEN (PMS 357)
 - MSG DISPLAY: FULL COLOR
 - TENANT CABINET
 - CABINET: BLACK
 - FACES: WHITE
 - ADDRESS: WHITE

METRO SELF STORAGE
3220 W. TOUHY AVENUE
SKOKIE, IL
ORDER#:

ACCEPTED BY: _____ DATE: _____

<p>THIS SIGN SHALL REMAIN THE PROPERTY OF ADAMS SIGNS UNTIL FULLY PAID FOR.</p>		<p>THE INTENT OF THIS DRAWING IS TO SHOW A CONCEPTUAL REPRESENTATION OF THE PROPOSED SIGNAGE. DUE TO VARIATIONS IN PRINTING DEVICES AND SUBSTRATES, THE FINISHED PRODUCT MAY DIFFER SLIGHTLY FROM DRAWING.</p>	
<p>SCALE: 3/8" = 1'-0"</p>		<p>DATE: 9-26-15 / 9-28-15 / 10-2-15 / 10-27-15 / 10-28-15 / 12-3-15 / 1-18-16</p>	
<p>SALES: DARRYL</p>		<p>ART: RS</p>	
<p>DWG. #: 0915046</p>		<p>CKD. :</p>	
<p>FACE TRIM SIZE:</p>		<p>CABINET TRIM SIZE:</p>	

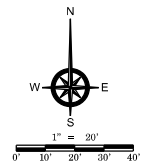
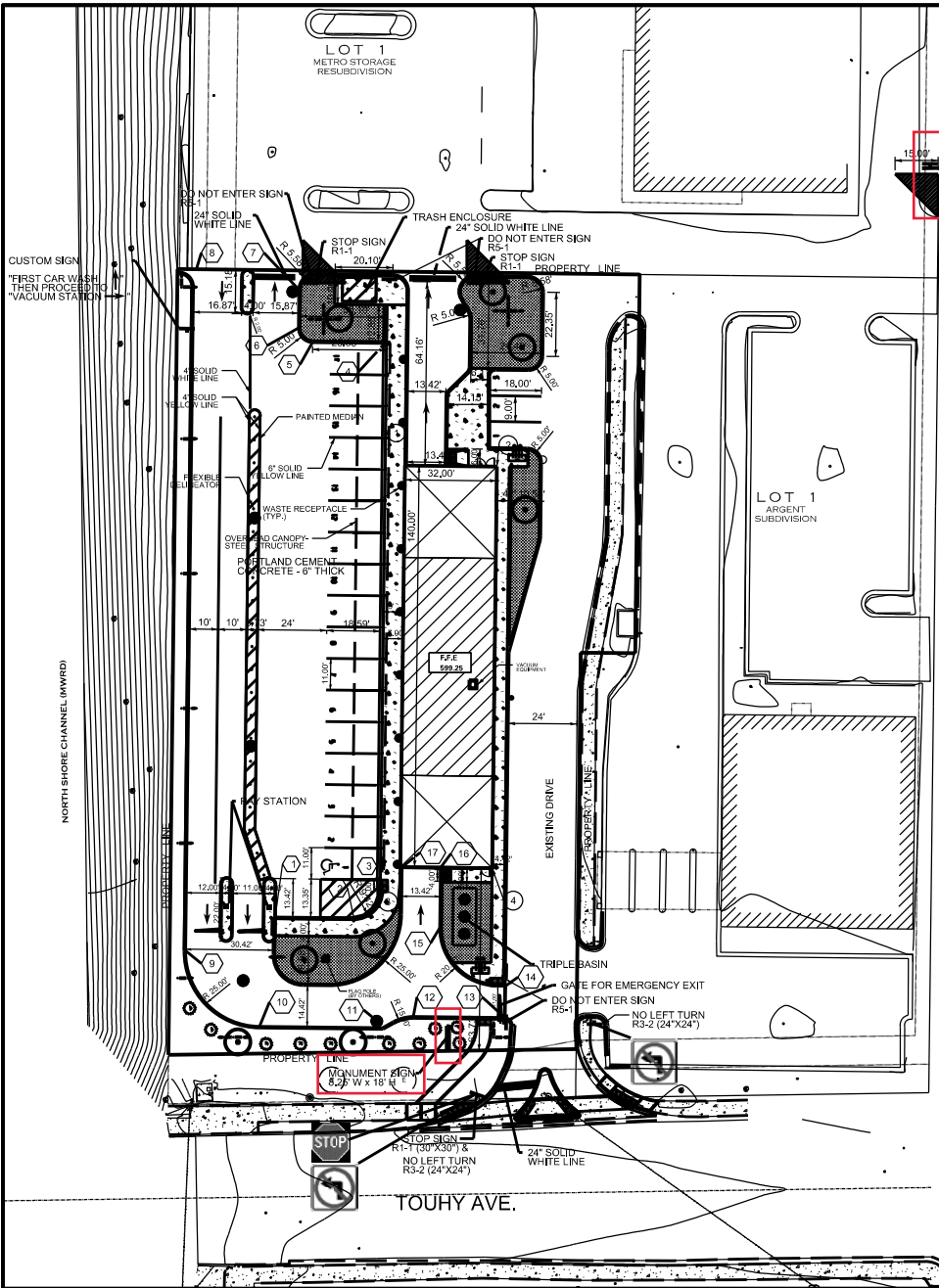


ADAMS ELECTRIC SIGNS
CHICAGO, IL

EXHIBIT D

Nappa Car Wash Signage Plan

(See Attached)



- LEGEND**
- PROPOSED BUILDING + TOWER (4,480 SQ. FT.)
 - LANDSCAPED AREA (7,507 SQ. FT.)
 - NEW CONCRETE DRIVEWAY - 8" THICK
 - SIDEWALK - 5" THICK (2,582 SQ. FT. ON PROPERTY)
 - NEW CONCRETE PAVEMENT - 6" THICK (18,892 SQ. FT.)
 - SIGN
 - CLEANOUT STRUCTURE
 - CATCH BASIN - 4' DIA.
 - MANHOLE - 4' DIA.
 - GREASE TRAP
 - TRAVEL DIRECTION
 - HANDICAP PARKING SPACE
 - BIKE RACK - 2"x6"
 - WASTE RECEPTACLE
 - VACUUM STATION
 - VEHICULAR GATE
 - PAY STATION
 - CANOPY STRUCTURE
 - 15' SIGHT DISTANCE TRIANGLE
 - EXISTING TREE
 - NEW TREE
 - NEW SHRUBS



BUILDING			
① N=1947776.18 E=1153695.75	② N=1947775.81 E=1153717.74	③ N=1947636.19 E=1153684.13	④ N=1947635.82 E=1153716.13

SITE			
① N=1947818.27 E=1153640.51	② N=1947618.54 E=1153697.93	③ N=1947627.86 E=1153676.45	④ N=1947818.77 E=1153678.65
⑤ N=1947819.05 E=1153653.56	⑥ N=1947824.11 E=1153648.61	⑦ N=1947837.54 E=1153648.77	⑧ N=1947844.54 E=1153613.11
⑨ N=1947607.05 E=1153699.37	⑩ N=1947580.75 E=1153635.07	⑪ N=1947581.26 E=1153677.87	⑫ N=1947584.13 E=1153688.65
⑬ N=1947583.76 E=1153720.53	⑭ N=1947594.76 E=1153720.66	⑮ N=1947615.03 E=1153697.89	⑯ N=1947636.03 E=1153698.13
⑰ N=1947636.18 E=1153684.71			

APPEARANCE COMMISSION
DATE: _____ ISSUED FOR: _____

LICENSE EXPIRES ON 11-30-2025
JAKL BRANDEIS ARCHITECTS LTD.
1800 HAWTHORNE LAKE
WEST CHICAGO, ILLINOIS 60615
LICENSE NO. 184-001832

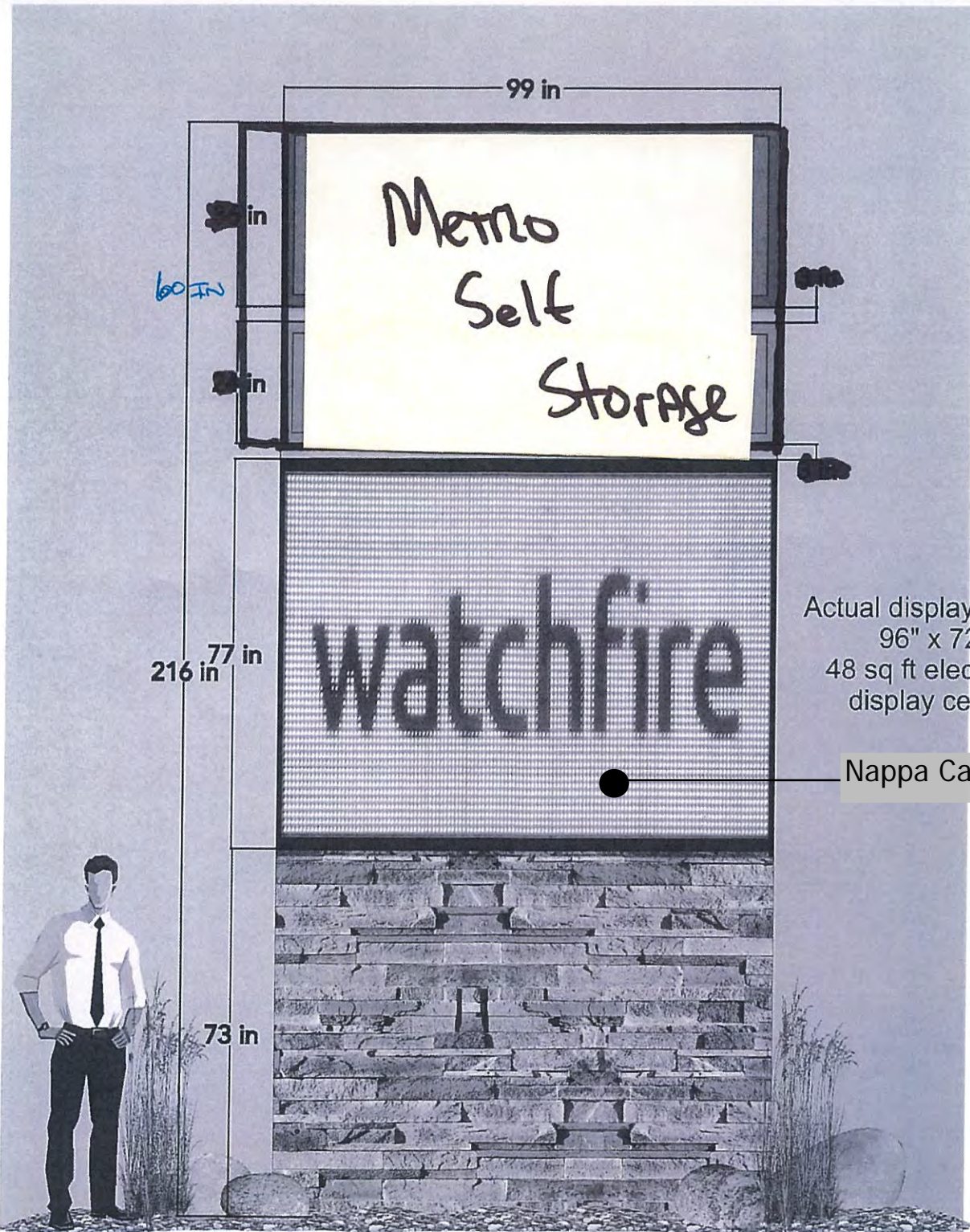
DRAWING TITLE
SITE PLAN
PROJECT TITLE
NEW CARWASH
3250 W. TOUHY AVE.
SKOKIE, IL 60645

DRAWN BY: JA
CHECKED BY: KB
SCALE:
PROJECT #: 2022-01
SHEET #
C-07
FILE NAME:

EXHIBIT E

Depiction of New Monument Sign

(See Attached)



Actual display area is
96" x 72"
48 sq ft electronic
display center

Nappa Car Wash

Signature: _____ Date: _____



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7381 Ardith Ct SW, Suite D, Byron Center, MI 49315
616.583.1743 800.245.5800 midwestsignco.com

Drawing monument rev A			
Project	Wash U Skokie		
Date	6/19/2018	1.0	rjsjr

EXHIBIT F

Depiction of Directional Sign

(See Attached)



2-sided internally illuminated sign, 4 sf

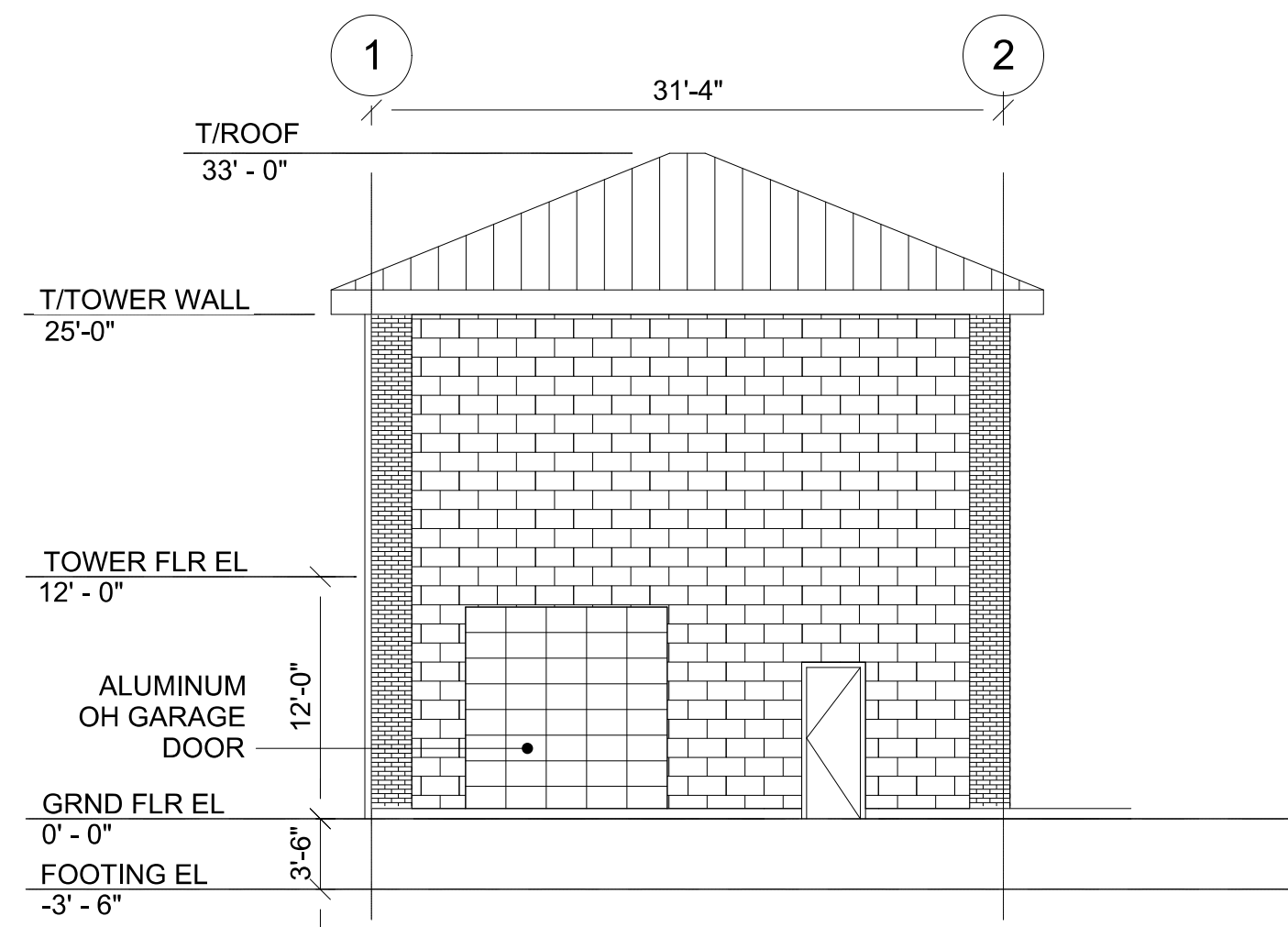
Signature: _____ Date: _____



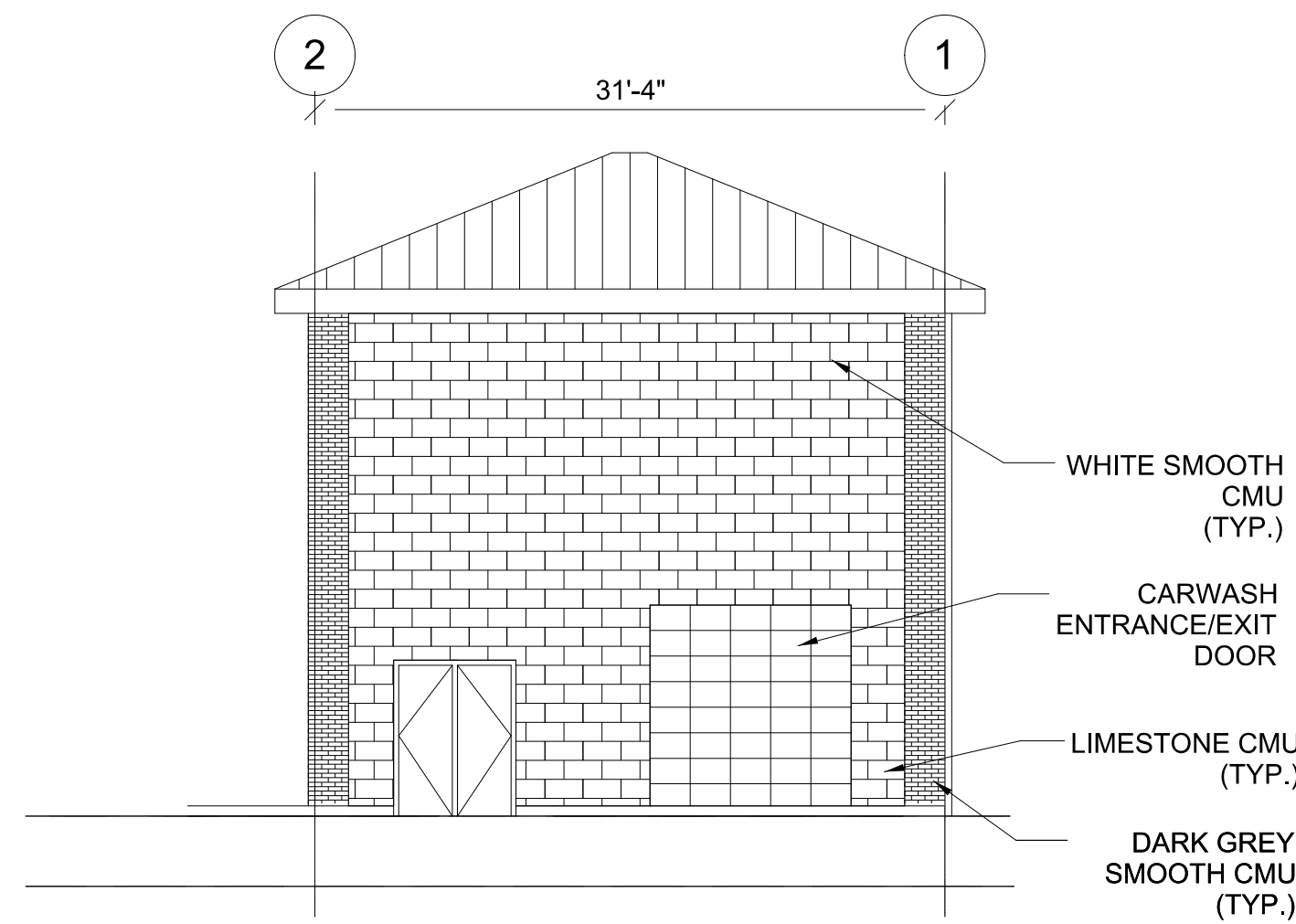
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616.583.1743 800.245.5800 midwestsignco.com

Drawing arrow sign			
Project	WASH U/Skokie		
Date	1/8/2019	0.5	risjr



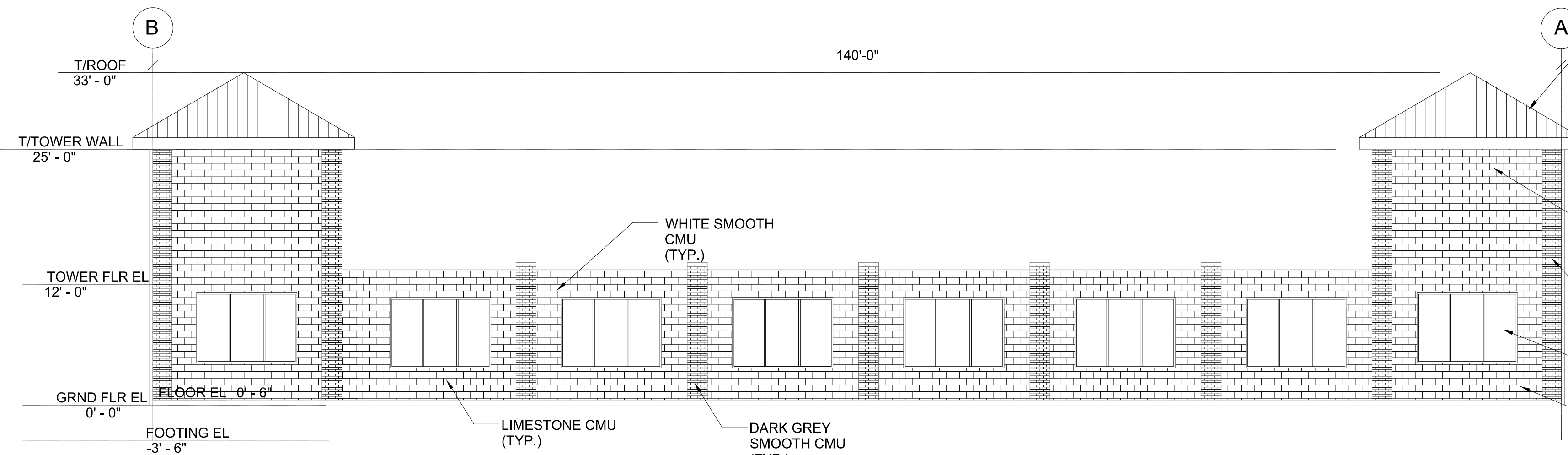
SOUTH ELEVATION



NORTH ELEVATION



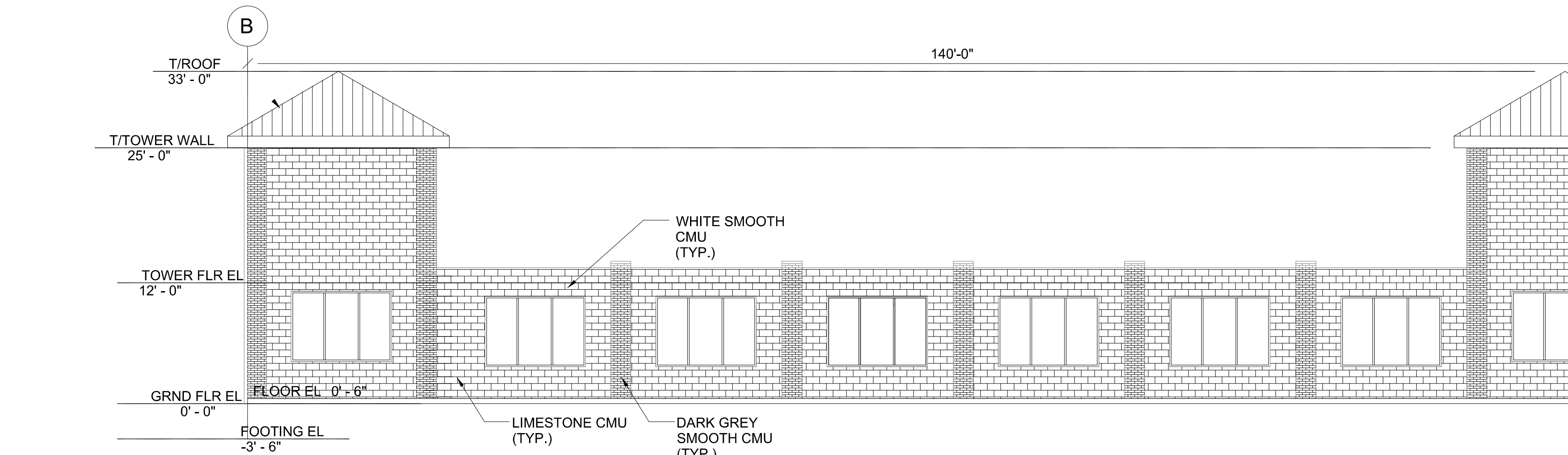
- WHITE SMOOTH CMU (TYP.)
- CARWASH ENTRANCE/EXIT DOOR
- LIMESTONE CMU (TYP.)
- DARK GREY SMOOTH CMU (TYP.)



WEST ELEVATION



- STANDING SEAM ALUMINUM ROOFING
- WHITE SMOOTH CMU (TYP.)
- DARK GREY SMOOTH CMU (TYP.)
- ALUMINUM WINDOWS WITH TINTED GLASS (TYP.)
- LIMESTONE CMU (TYP.)



EAST ELEVATION

- STANDING SEAM ALUMINUM ROOFING
- WHITE SMOOTH CMU (TYP.)
- DARK GREY SMOOTH CMU (TYP.)
- LIMESTONE CMU (TYP.)

2022.08.07 APPEARANCE COMMISSION
DATE ISSUED FOR

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1800 HAWTHORNE LANE
WEST CHICAGO, ILLINOIS 60185
PH. (630) 562-3900
LICENSE NO. 184-001832

DRAWING TITLE
ELEVATIONS EXHIBIT

PROJECT TITLE
**NEW CARWASH
3250 W. TOUHY AVE.
SKOKIE, IL 60645**

DRAWN BY: JA
CHECKED BY: KB
SCALE:
PROJECT #: 2022.02
FILE NAME:

SHEET #
AE-01



TOWER ELEVATION



BUILDING ELEVATION



VACUUM STATION



VACUUM STATION

2022.08.07 APPEARANCE COMMISSION
DATE ISSUED FOR

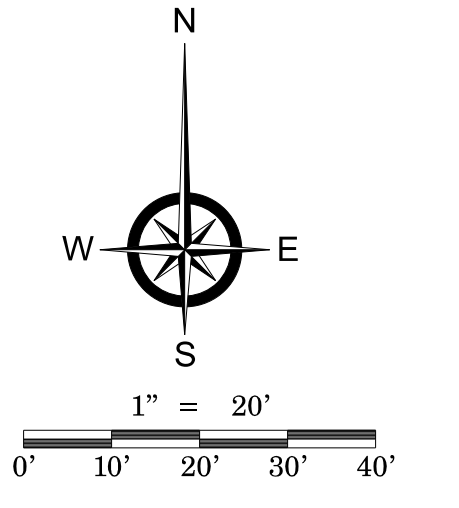
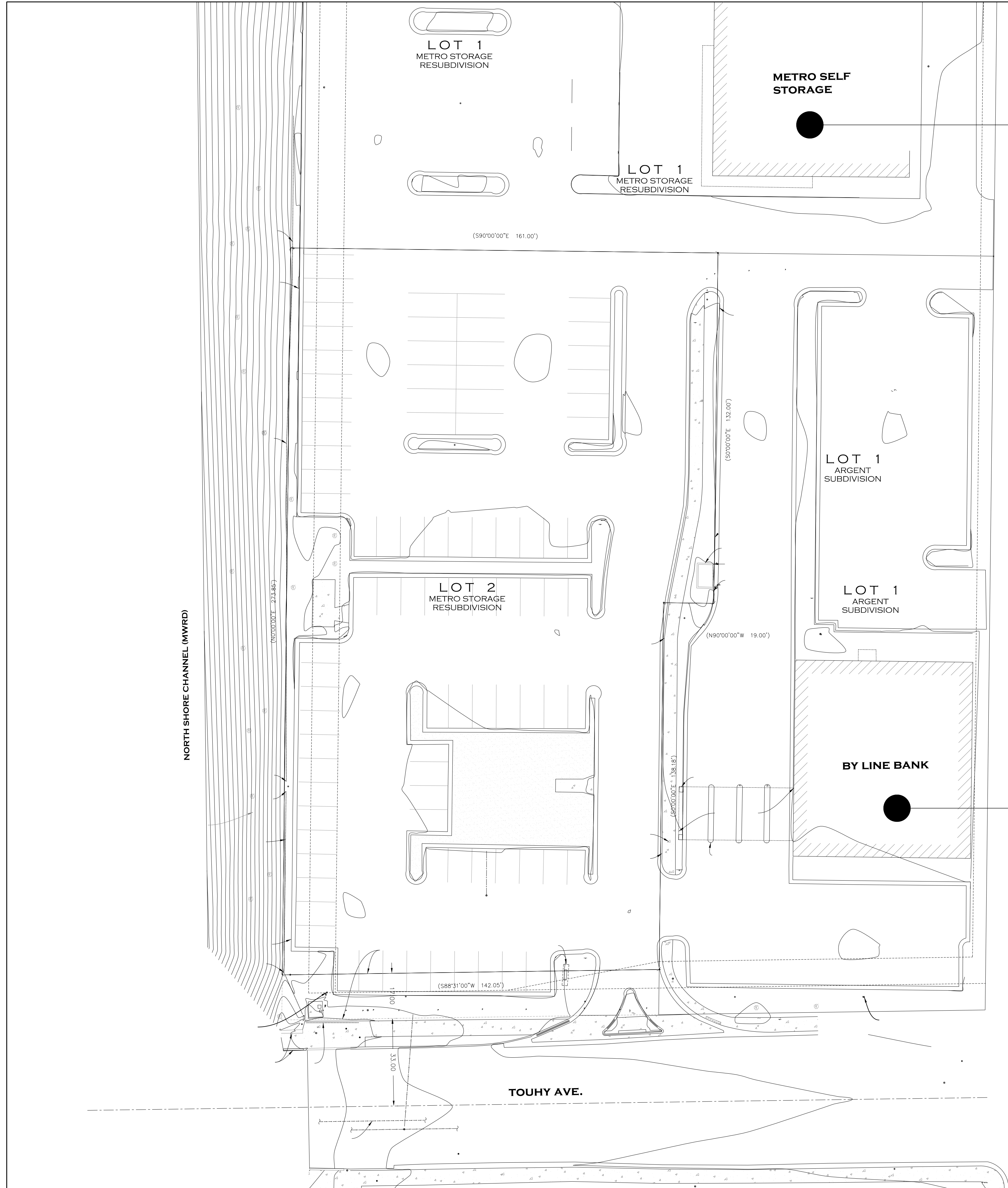
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LICENSE NO. 184-001832

DRAWING TITLE
ELEVATIONS EXHIBIT

PROJECT TITLE
**NEW CARWASH
3250 W. TOUHY AVE.
SKOKIE, IL 60645**

DRAWN BY: JA
CHECKED BY: KB
SCALE:
PROJECT #: 2022.02
FILE NAME:

SHEET #
AE-02



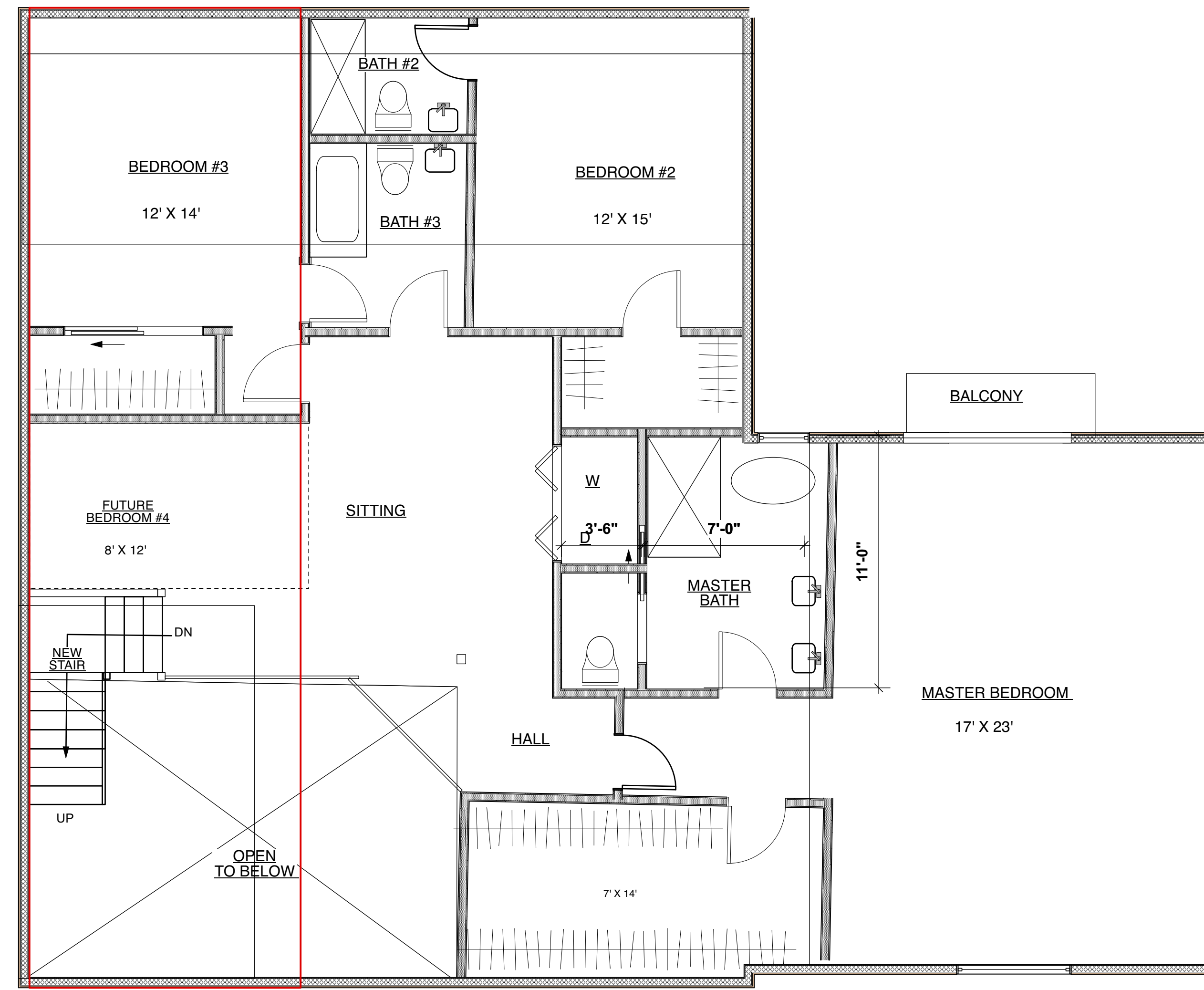
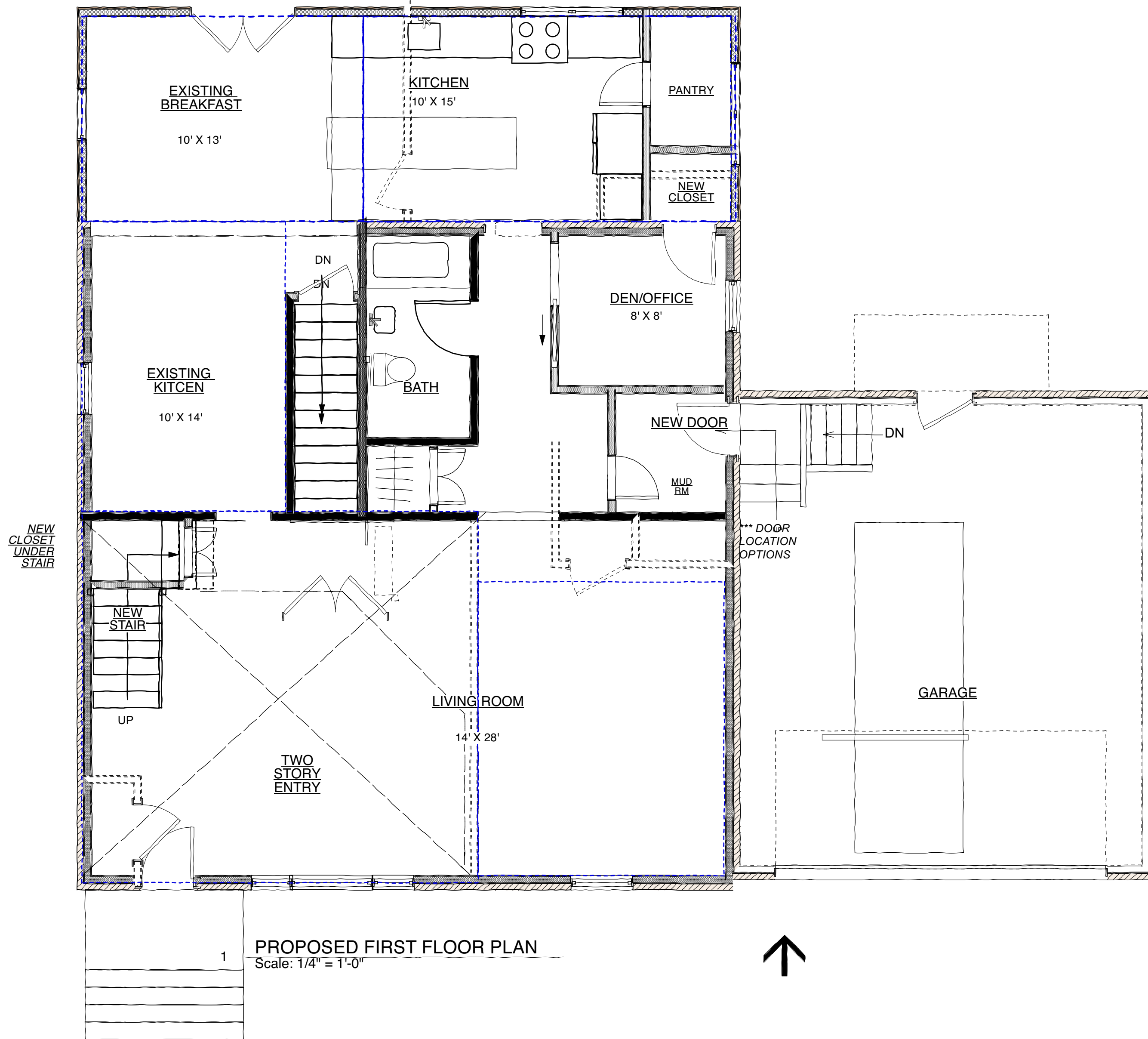
2022.08.07 APPEARANCE COMMISSION
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LICENSE NO. 184-001832

DRAWING TITLE
NEIGHBORING BUILDINGS

PROJECT TITLE
**NEW CARWASH
3250 W. TOUHY AVE.
SKOKIE, IL 60645**

DRAWN BY: JA	SHEET # AE-03
CHECKED BY: KB	
SCALE:	
PROJECT #: 2022.02	
FILE NAME:	



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RESIDENTIAL
ADDITION
SKOKIE, ILLINOIS

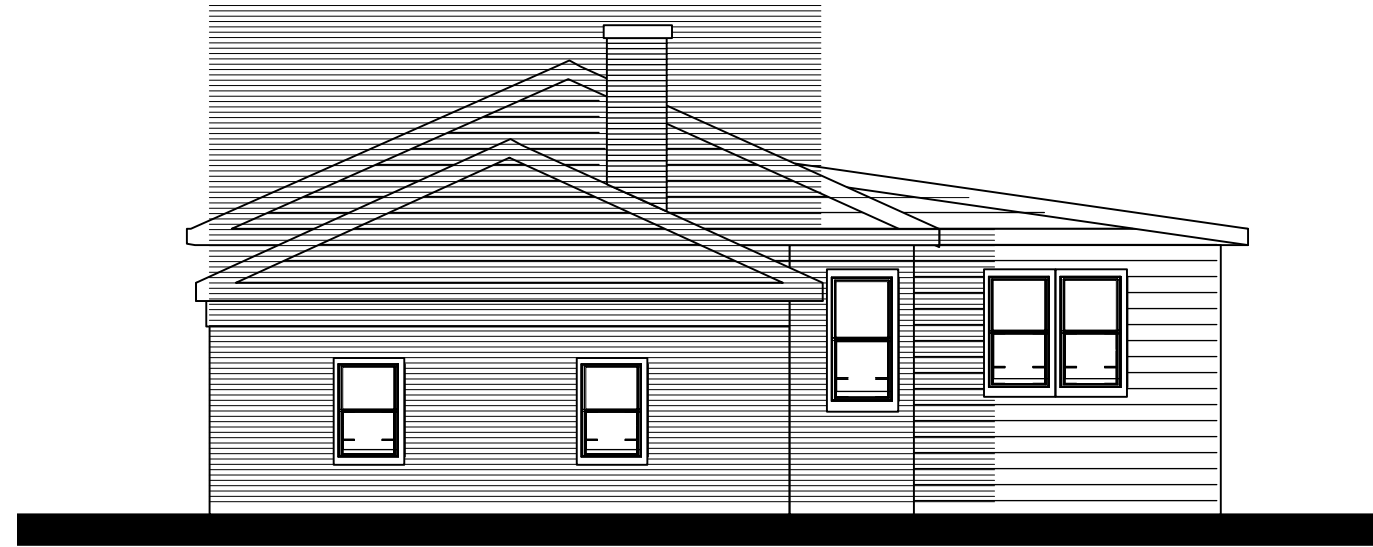
FLOOR PLANS,
NOTES

A-2

No.	Date	Revision



2 East Elevation (Street)
Scale: 1/8" = 1'-0"



1 North Elevation (Street)
Scale: 1/8" = 1'-0"



4 WEST Elevation (BACK YARD)
Scale: 1/8" = 1'-0"



3 WEST Elevation (LEFT SIDE YARD)
Scale: 1/8" = 1'-0"

REVISED per Comments		8/30/23	
2		Issue For Appearance Review	6/28/23
1	Issue For Appearance Review	6/28/23	
REV	DESCRIPTION	DATE	APPROVED
REVISION HISTORY			



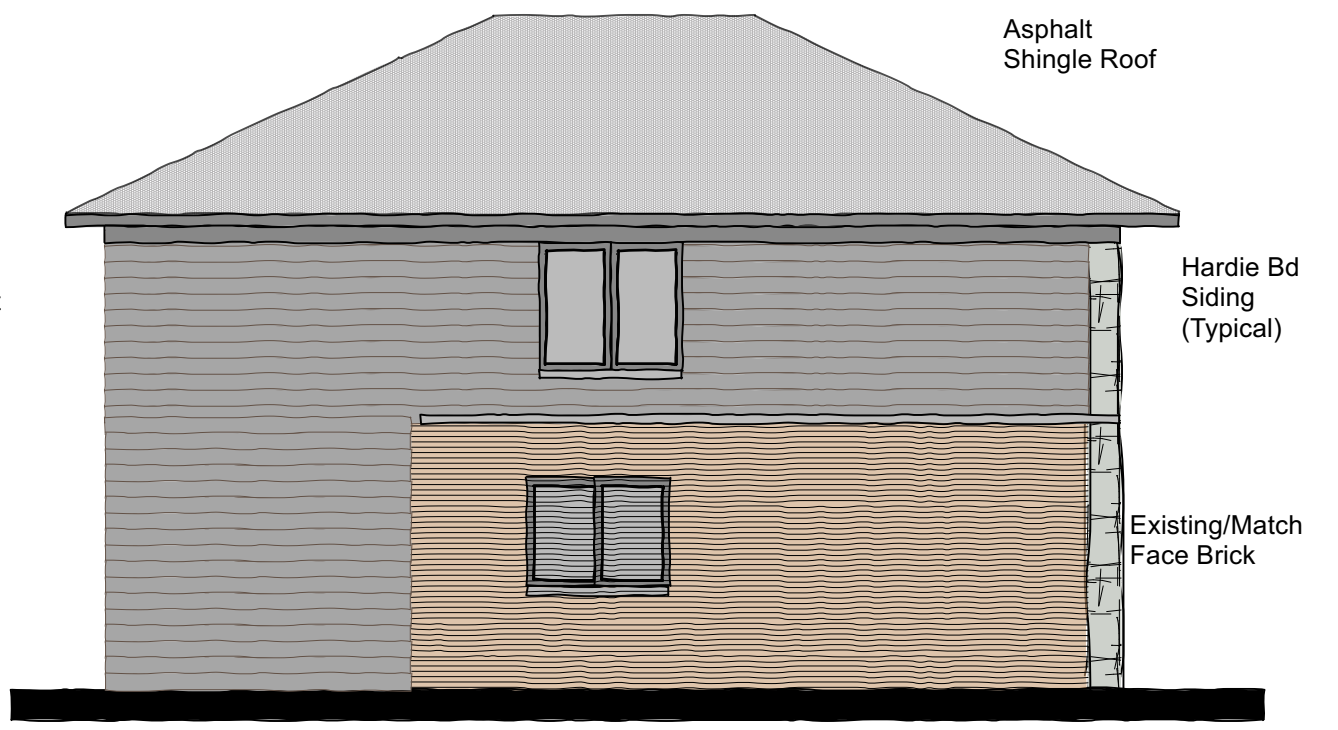
2 **PROPOSED East Elevation (Street)** *ELEVATION = 1,125 SF*
MASONRY = 1,125 SF
 Scale: 1/8" = 1'-0"



7 **PROPOSED East Elevation (Street)** *ELEVATION = 846 SF*
MASONRY = 566 SF
HARDIE BD = 274 SF
 Scale: 1/8" = 1'-0"



4 **PROPOSED WEST Elevation (BACK YARD)** *ELEVATION = 846 SF*
MASONRY = 190 SF
HARDIE BD = 656 SF
 Scale: 1/8" = 1'-0"



3 **PROPOSED WEST Elevation (LEFT SIDE YARD)** *ELEVATION = 846 SF*
MASONRY = 320 SF
HARDIE BD = 526 SF
 Scale: 1/8" = 1'-0"

schmidt DESIGN inc.
 Architecture
 Planning
 Interior Design
 707 CLINTON AVENUE
 OAK PARK, IL 60304
 TELEPHONE 708-524-5404
 FAX 708-524-5420

PROJECT ADDRESS : **7720 LARAMIE**
SKOKIE, ILLINOIS

PROPOSED ELEVATIONS A-4

REVISED per Comments			
2		8/30/23	
1	Issue For Appearance Review	6/28/23	
REV	DESCRIPTION	DATE	APPROVED
REVISION HISTORY			



1 PROPOSES East Elevation (Street)
 Scale: 3/16" = 1'-0"

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 OAK PARK, IL 60304
 TELEPHONE 708-524-5404
 FAX 708-524-5420

PROJECT ADDRESS :

**7720 LARAMIE
 SKOKIE, ILLINOIS**

**STREET ELEVATION
 RENDERED**

A-4,1

2 REVISED per Comments 8/30/23
 1 Issue For Appearance Review 6/28/23

REV	DESCRIPTION	DATE	APPROVED
REVISION HISTORY			



STREET VIEW



STREET VIEW



STREET CORNER VIEW

	REVISED per Comments	8/30/23	
	2		
	1 Issue For Appearance Review	6/28/23	
REV	DESCRIPTION	DATE	APPROVED
REVISION HISTORY			