Meeting Agenda **Skokie Appearance Commission** Wednesday, September 13, 2023 at 7:30 P.M. Village of Skokie 5127 Oakton Street Skokie, IL 60077

- I. Call to Order
- II. Roll Call

III. Approval of Minutes from August 9th Meeting

IV. New Business

a. Consideration of a Certificate of Appropriateness for Residential Properties:

2023-031A - 9248 Karlov Ave.
Applicant: Nathan Kriska
Owner: Ethel Kolom Sutker
Request: Residential Facade and Roof Alteration
2023-033A - 9100 Kenton Ave.
Applicant: Ej Fernandez
Owner: Nash Querishi
Request: 1st and 2nd Floor Residential Addition

b. Consideration of a Certificate of Appropriateness for Non-Residential Properties:

2023-030A - 10001 Skokie Blvd.
Applicant: Nathan Kriska
Owner: Penny Mustard Furnishings
Request: Non-Residential Facade
2023-028A - 9300 Skokie Blvd.
Applicant: Megran Farahmandpour
Owner: OP Associates LLC
Request: Non-Residential Façade
2023-027A - 4832 Main St.
Applicant: Josephine Pangilinan
Owner: Josephine Pangilinan
Request: Non-Residential Façade
2023-034A - 8057 Niles Center Rd.
Applicant: Miller Architects & Builders
Owner: John Haben
Request: 1 st Floor Non-Residential Addition
2023-029A - 3250 Touhy Ave.
Applicant: Jameel Ahmed
Owner: Aqueel Ahmed
Request: New Car Wash

V. Old Business

a. Consideration of a Certificate of Appropriateness for Residential Properties:

2023-024A - 7720 Laramie Ave. Applicant: Richard Schmidt Owner: Novera & Fouzan Ansari Request: 2nd Floor Residential Addition

VI. Public Comment (for non-agenda items)

VII. Adjourn

MEMORANDUM **Community Development Department**

То:	Michael Lynk, Appearance Commission Chair Appearance Commission Members
From:	Brian J Augustine, Zoning Administrator/Permit Supervisor Nasko Pelinkaj, Building & Zoning Division Coordinator Justin Malone, Neighborhood Services Coordinator Paul Reise, Planning Manager
_	

Date: September 13, 2023

APPEARANCE COMMISSION STAFF REPORT SUBJECT:

Staff offers the following comments on the cases scheduled for the August 9, 2023, Appearance Commission meeting:

RESIDENTIAL REQUESTS

- 2023-031A 9248 Karlov Ave – The applicant is proposing to convert a room to an attached garage, construct a covered porch behind the garage and change the roof over the converted room. Staff has no objections to the proposed elevation changes. The proposed roof nicely matches the existing. The materials appear to match existing, if they do not they should complement the existing siding and brick.
- 2023-033A 9100 Kenton Ave – The proposed addition and remodeling will require a fire sprinkler system through the entire residence.

Overall staff is not supportive of the proposed elevations. The façade does not meet the 50% minimum masonry as required by the Skokie Village Code. The bay window and guard rail appear out of place on the east elevation. The west elevation needs could use a window. Staff would prefer masonry on the 1st floor west elevation where there is siding.

The proposed covered porch is not permitted in the required front yard or corner side yard. As proposed the porch appears to be in both required yards. If the porch is removed it may dramatically alter the elevations that face both streets.

Staff recommends the petitioner change the plans and appear at a future hearing.

2023-024A 7720 Laramie Ave - Overall staff has no objections to the proposed elevations. The new proposal appears to meet the 50% masonry requirement. The applicant must bring in samples of any new materials. The proposed hardie board siding color should complement the other materials.

NON-RESIDENTIAL REQUESTS

- **2023-030A 10001 Skokie Blvd** Staff has no objections to the proposed elevation changes. The proposed fiber cement panels behind the sign are complimentary to the columns and new wall and parapet colors.
- **2023-028A 9300 Skokie Blvd** Overall staff has no objections to the proposed elevation changes. The proposed new gray facade doesn't appear to clash with the lighter color façade that exists on the adjacent facades (Emma's Bagels etc.).

Any future signage will be reviewed during the permit process.

- **2023-027A 4832 Main St** Staff has no objections to the proposed front façade changes. The new Fiberon cladding will be an improvement to the existing façade. The proposed door and window frame color nicely compliments the proposed cladding.
- **2023-034A 8057** Niles Center Rd Staff has no objections to the proposed addition façade as long as the proposed brick matches or compliments the existing masonry.
- **2023-029A 3250 Touhy Ave** Staff has no objections to the proposed building elevations. The proposed building looks similar to other car wash buildings in Skokie.

Appearance Commission Meeting Minutes Date: August 09, 2023

A motion was made by Commissioner Pathak to approve the minutes of the July 12, 2023 meeting and seconded by commissioner DaMario. All members voted aye.

Case 2023-026A - 4801 Golf Rd

Discussion and Interested Parties

Commissioner DaMario read Staff comments into the record.

Staff noted that the ground sign is inside the sight distance triangle and states that if it is reduced from 5' tall to 30" in height it would be permitted.

The representative from Expedite the Diehl says that this can be done.

The petitioner says the sign on the second floor was proposed because the trees would block the sign would it not be placed on that location. The petitioner adds that two previous banks have had a sign in that location.

Chairman Lynk and Staff add that the Zoning Board of Appeals can hear cases on sign relief for location.

Staff added that two signs on one wall are not permitted. The petitioner commented that since the tenants are stacked, two signs were placed on one wall. Staff added that relief can be requested on this item as well.

Chairman Lynk referenced pages 11 & 14 from the presentation and asked for motion to grant relief for the signs shown on this page.

Commissioner DaMario asks for a motion to approve with conditions provided that the ground sign is no taller than 30", the BMO sign on page 11 is granted relief for replacement above the window, and the sign on page 14 be permitted and granted relief for being a 2nd wall sign due to the fact that the tenants are stacked and not horizonal.

Recommendation and Voting

A motion was made to grant a Certificate of Appropriateness to approve with conditions noted. The vote was unanimous.

Motion: DaMario Second: Pathak

Ayes: 6 Nays: 0 Absent: 1

Case 2023-025A – 8440 Niles Center Rd

Discussion and Interested Parties

Commissioner DaMario read Staff comments into the record.

The petitioner noted the car wash building is brick and was falling apart on the exterior when it was acquired. He stated that he has been going to the car wash for 15 years and that he wanted to make it a better experience for the community. He added that the newly painted brick gives the appearance that Skokie promotes art.

Chairman Lynk states that a sign cannot be painted on brick and that it is against the Village Code.

Staff adds that the code has existed for at least20 years.

Chairman Lynk commented that the item is something that the Appearance Commission has no ability to grant relief for.

Staff let the petitioner know that one wall sign facing a street plus a ground sign is permitted.

Chairman Lynk adds that the rest of the design is fine.

Recommendation and Voting

A motion was made to grant a Certificate of Appropriateness to approve with a provision that the existing painted on wall signage will be removed and that the applicant will work with Village Staff to create an appropriate and compliant sign package going forward.

Motion: DaMario Second: Shah

Ayes: 6 Nays: 0 Absent: 1

Public Comments

Chairman Lynk states that comments will not be heard about 4600 Main St without the presence of the applicant. He stated a procedural question will be permitted. He also mentioned that the commission will not hear or opine on anything regarding the matter because it is not a case on tonight's agenda.

The speaker asked in what matter the petitioner was informed they were going to Plan Commission and asked for contact information for someone who may have more information.

Staff and Chairman Lynk told the applicant to contact the Planning Division.

The speaker mentioned the Elm Terrace block party is coming up and invited the commissioners to attend.



Village of Skokie APPEARANCE COMMISSION APPLICATION

Community Development Department - Building & Zoning Division 5127 Oakton St. Skokie, IL 60077 Phone 847/933-8223 Fax 847/933-8230

The Appearance Commission meets the 2nd Wednesday of each month at 7:30 p.m.

Until further notice, applications will only be accepted in a PDF format.

APPLICATION DATE: 8-23-2023	
APPLICATION TYPE (Please check all that apply):	loor Addition 🔄 Façade 🔄 Signage 🔄 Other
LAND USE: Single Family Residential Multifamily Residential	Mixed Use Commercial Industrial Other
SUBJECT ADDRESS: 9248 KARLOV A	VE.
OWNER INFORMATION:	Please print legibly.
NAME(S): ETHEL KOLOM SUTKER	
ADDRESS: 9248 KARLOV AVE	CITY, STATE ZIP: <u>SKOKIE, IL 60076</u>
PHONE#:	EMAIL:
AGENT/PETITIONER INFORMATION (if other than owne NAME(S): <u>NATHAN KRISKA</u> ADDRESS: <u>P.o. Box 8421</u>	
EMAIL: NKARCHITECT QUSA. COM	
Please submit the following PDFs to <u>appearance@skokie.or</u>	rd to complete your digital only application:
1. Elevations, floor plans, and site plans. Scale $\chi^{*} = 1$	'-0" is preferred, but not required. If the file size is greater pearance Commission PDF" and the project's property
2. Completed Zoning Information Worksheet (resident	al projects only)
3. Photographs (all sides of the subject building and th	e fronts of neighboring buildings)
 Excerpts of brochures and/or cut sheets of new mat existing materials and colors can be confirmed with 	erials and colors proposed for the project. Matching the submitted photographs.
5. Plat of Survey	
*** The Building, Zoning, will not take in or hold material o *** Visit <u>https://www.skokie.org/357/Appearance-Commise</u>	r color samples. <u>sion</u> to access the staff report prior to the meeting.
Fee Schedule	
Residential Site (new) \$100 plus \$50.00 p	per unit
Non-Residential Site* (new) \$100 plus \$50.00 p	per 1,000 square feet (based on square footage of building)
* Any non-residentially zoned site (Business, Industrial, Mixed-Use distric	
Any Other Appearance Review (Additions, Façade, Sign Package If you have already paid for a preliminary plan review there is no o	
For Office Use Only: Case Number Meeting Date	
	Card/ Check #

Any required fees or monies owed by the applicant to the Village must be paid as a condition of approval.



ZONING INFORMATION WORKSHEET

Please provide the following information for all permits involving new single-family dwellings, single-family additions or accessory structures in the R1 or R2 Single-Family districts. FORM MUST BE COMPLETED IN FULL.

ADDRESS	<u>9248</u>	Karlov A	ve.		_ ZONING DIS	TRICT	R-1	
LOT INFO	70 (LOT W	X _	101.74 (LOT DEPTI		121 (TOTAL LOT AREA)	(This ;	# goes on lines 1, 2	l, and 3)
		total lot area 7121 7121	(1) x .40 =		2254	<u>(4)</u>	DIFFERENCE ALLOWED & F + / - $+ 54$ + / - $+ 3$	PROPOSI 9
IMPERMEAB		7121	(2) x .50 = (3) x .60 =	· · ·	<u>3177</u> 2254	<u>(5)</u> (6)	+/- <u>+/-</u> +20	
			_ <u>()</u> X .00 – _		<u></u>	(6)	+/	
<u>AREA</u> BASEMENT	(50% above g	rade)	EXISTING A	<u>REA</u> + .	NEW AREA O	_ = _	PROPOSED	<u>(A)</u>
1 st FLOOR (I carport, covere			2142	+ .	112	_ = _	2254	<u>(B)</u>
2 ND FLOOR *			0	+	0	_ = _	0	<u>(C)</u>
ATTIC (6'-9" (2 nd Floor top p			0	+	0	_ = _	0	(D)
ACCESSORY (Detached gara			0	+	0	=	0	(E)
DRIVEWAY/A	PRON		300	+	470		770	<u>(F)</u>
SIDEWALK 8			75	+ _	78	_ = _	153	<u>(G)</u>
* Any ceiling heig	ght 16 feet in he	ight or greater wi	Il count twice.					
PROPOSED	BUILDING A	REA (Add line	s B & E) =	-	2254	_ (This #	goes on line 4)	
PROPOSED	IMPERMEA	BLE AREA (A	dd lines B, E, F,	& G) =	3177	_ (This #	goes on line 5)	
			, B, C, D, & E) =	-	2254	_ (This #	goes on line 6)	
70	x 25.4	45 _	SSORY BUILD	INGS: 40% _ × ::: = _	712		658	3
	easured from t ed hereby ag	the rear wall of t knowledges th	he principal build		(allowed) ear lot line and from formation and act	side lot		e.



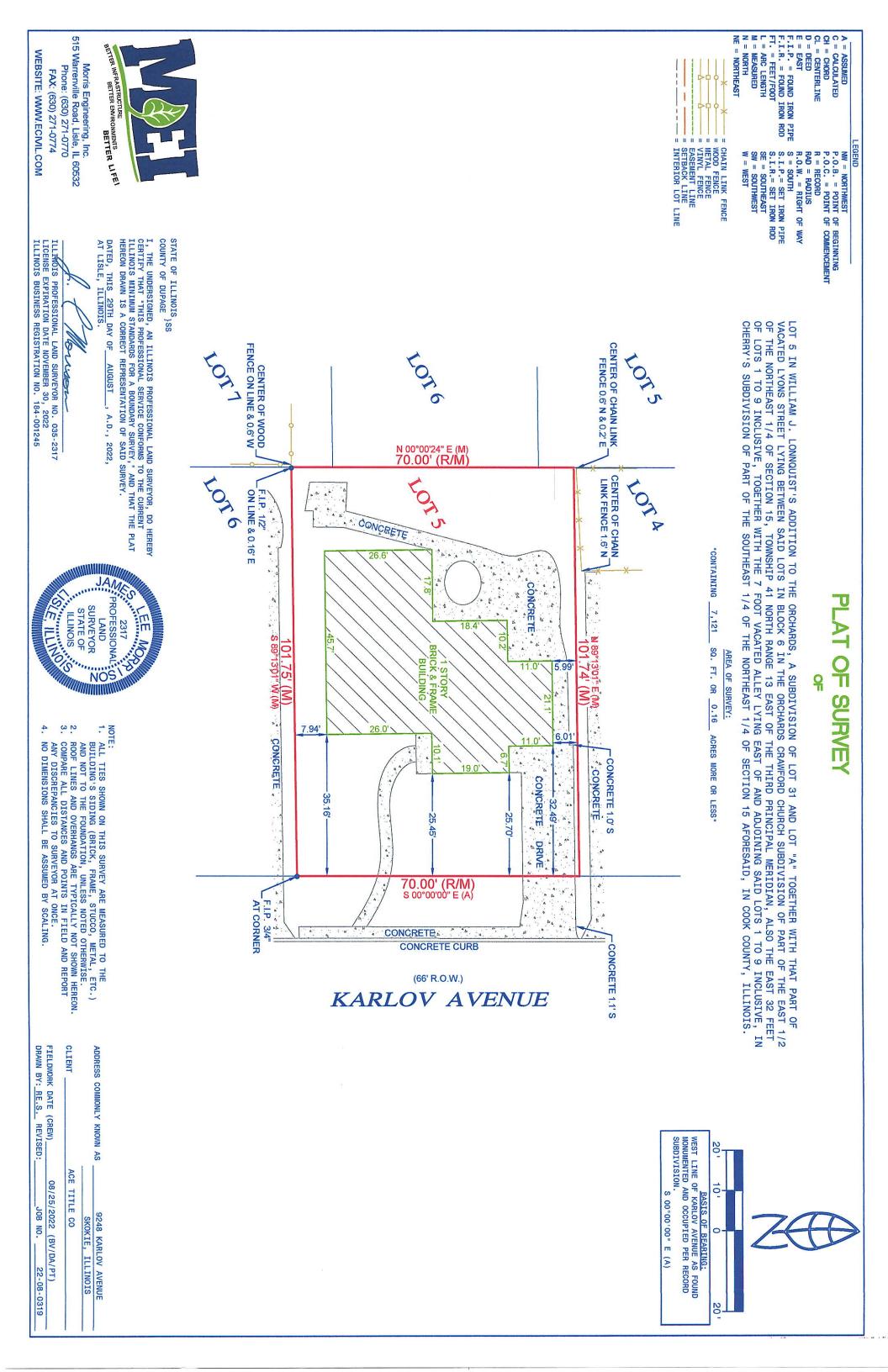


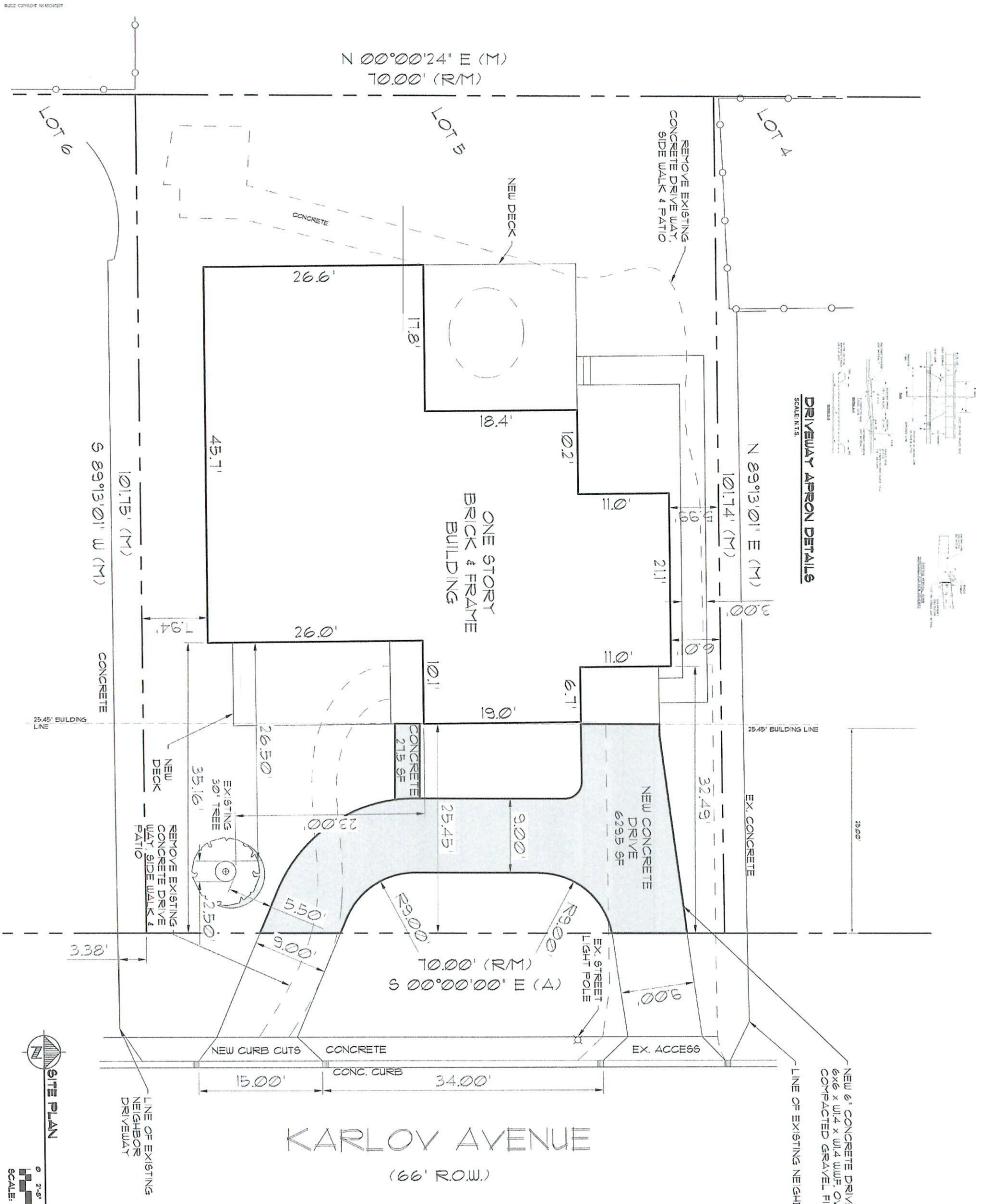














0 2'-8' 5'-4' 10'-8' 6CALE: 3/16' = 1'-0'

0

6-8

Cherry		
CD	PERMIT ISSUE	08.10.2023
44	PERMIT ISSUE	08.03.2023
ω	PERMIT ISSUE	07 19 2023
N	PERMIT ISSUE	06.27.2023
-	PROGRESS	08.24.2022
S	DESCRIPTION	142

AVENUE 2

(66' R.O.W.)

CONCRETE DRIVEWAY & WOOD DECK ADDITION TO EXISTING RESIDENCE 9248 KARLOV AVE SKOKIE, IL

NK ARCHITECT

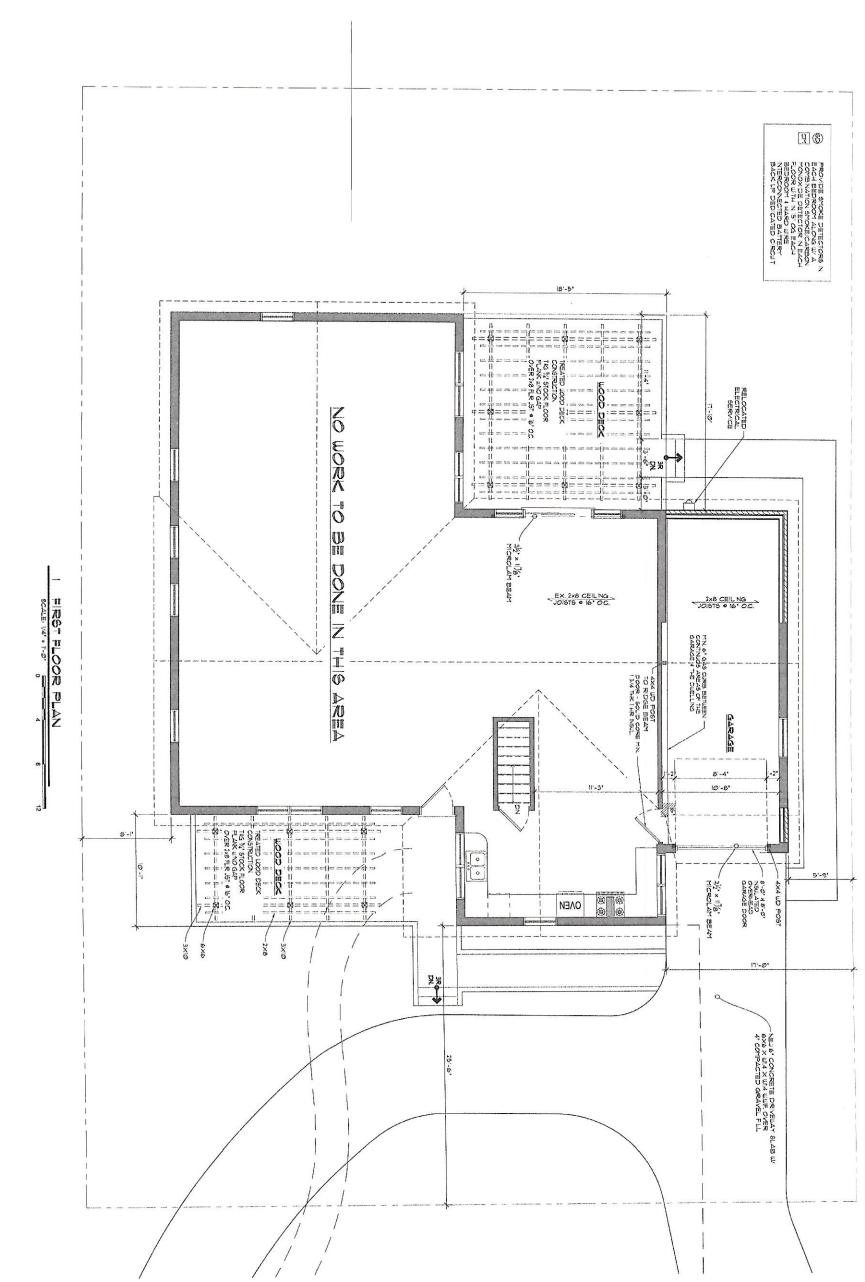
NATHAN KRISKA P.O.BOX 8421 NORTHFIELD, IL 60093 TEL. 847-983-8383

HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED UNDER MY DIRECT SUPERVISION AND THAT TO THE LESS OF IMM WOMEDOE AND BELLEF, THEY COMEY WITH THE PROVISIONS OF THE BULLING CODE OF THE SUMMED AND THE LWISS OF THE MID THE LWISS OF THE LUNGS DATE



NEW 6" CONCRETE DRIVEWAY SLAD W/ 6x6 x W1.4 x W1.4 W.W.F. OVER 4" COMPACTED GRAVEL FILL

LINE OF EXISTING NEIGHBOR DRIVEWAY



D 2022 COPYRIGHT - NK ARCHITECT



SPEELINVIKKZ

N. KRISKA	DECKEDEN
K. KRETOWICZ	DRAWLEY
	PROJECT MICHINE VENCIMEN
N. KRUSKA	PRINCIPAL IN CHARGE
120 2022	PROJECT MANDR

FIRST FLOOR PLAN

ă	-	2					NTINUTA B
other Price	PROGRESS	PERMIT ISSUE					w.
943	08.24.2022	05.23.2023	 		-		

REMODELING & GARAGE ADDITION SINGLE FAMILY RESIDENCE 9248 KARLOV AVE SKOKIE, IL

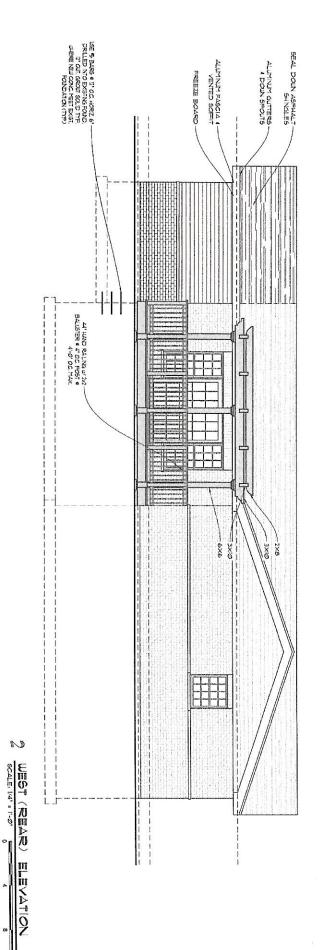
NK ARCHITECT

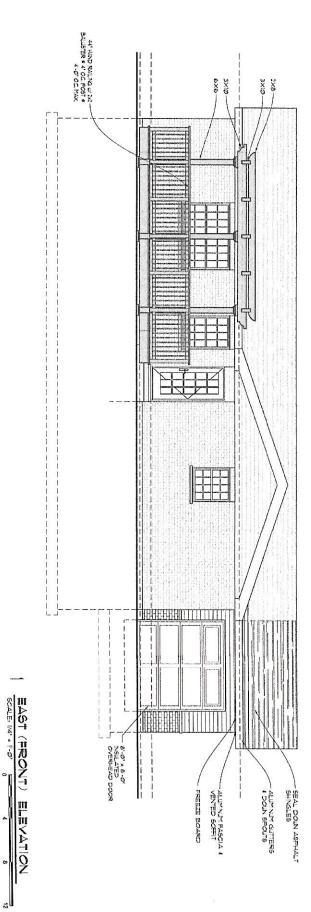
NATHAN KRISKA P.O.BOX 8421 NORTHFIELD, IL 60093 TEL 847-983-8383

INFERENCERTIN' THAT TRESE DOCUMENTS WERE REPARED UNDER WID DIECT SUPERVISION AND THAT TO THE END OF MY MONTEDIG AND BELIEF, THEY COLLECT WITH THE PROVISIONS OF THE BULDING CODE OF THE <u>REVISIONS</u> S.

SED ARC DATE

NATHAN KRISKA 001-013484 EXP. 11.30.24







K KRETOMICZ	DOWNEY
	PROJECT ARCHITECTING MOUR
IL NUSA	PROPERTY OF COMPANY
N VDISKA	and the second second
7772.071	PROJECT NOVER

12

ELEVATIONS

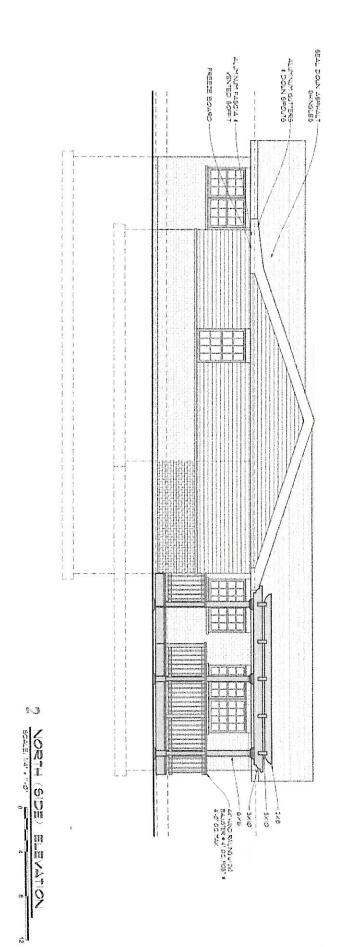
06232023

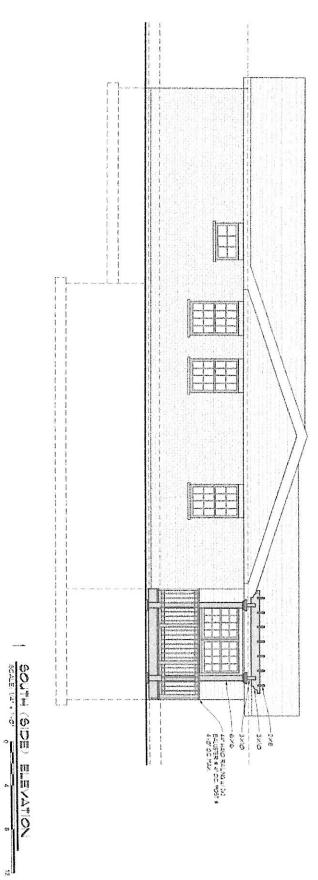
HEREBY CERTIFY THAT THESE DOCUMENTS WEE PREPARED WORKS WORKED AND ENDER AND BELEF. THEY COMPLY WITH THE PROVISIONS OF THE BULLING CODE OF THE <u>ULIFOR</u> AND THE LAWS OF THE <u>ULIFOR</u> CED ARQ 001-013494 001-013494 001-013494 001-013494 001-013494 001-013494



NK ARCHITECT NATHAN KRISKA P.O.BOX 8421 NORTHFIELD, IL 60093 TEL 847-983-8383

REMODELING & GARAGE ADDITION SINGLE FAMILY RESIDENCE 9248 KARLOV AVE SKOKIE, IL







A SPINA	C-951002 (2)
K KRETOWICZ	CHINEN - DV
	INSURCE ARCHITECT EVERENT.
N. KRUSKA	MANCORE IS DIMAGE
202 021	ENTRY LINES

ELEVATIONS

1	••	N	and section of					REPARTORNAL
ACUMENTON NO.	PROGRESS	PERMITISSUE						AN .
문요 ·	08.24.2022	06/23/223		*****	And a second	 		

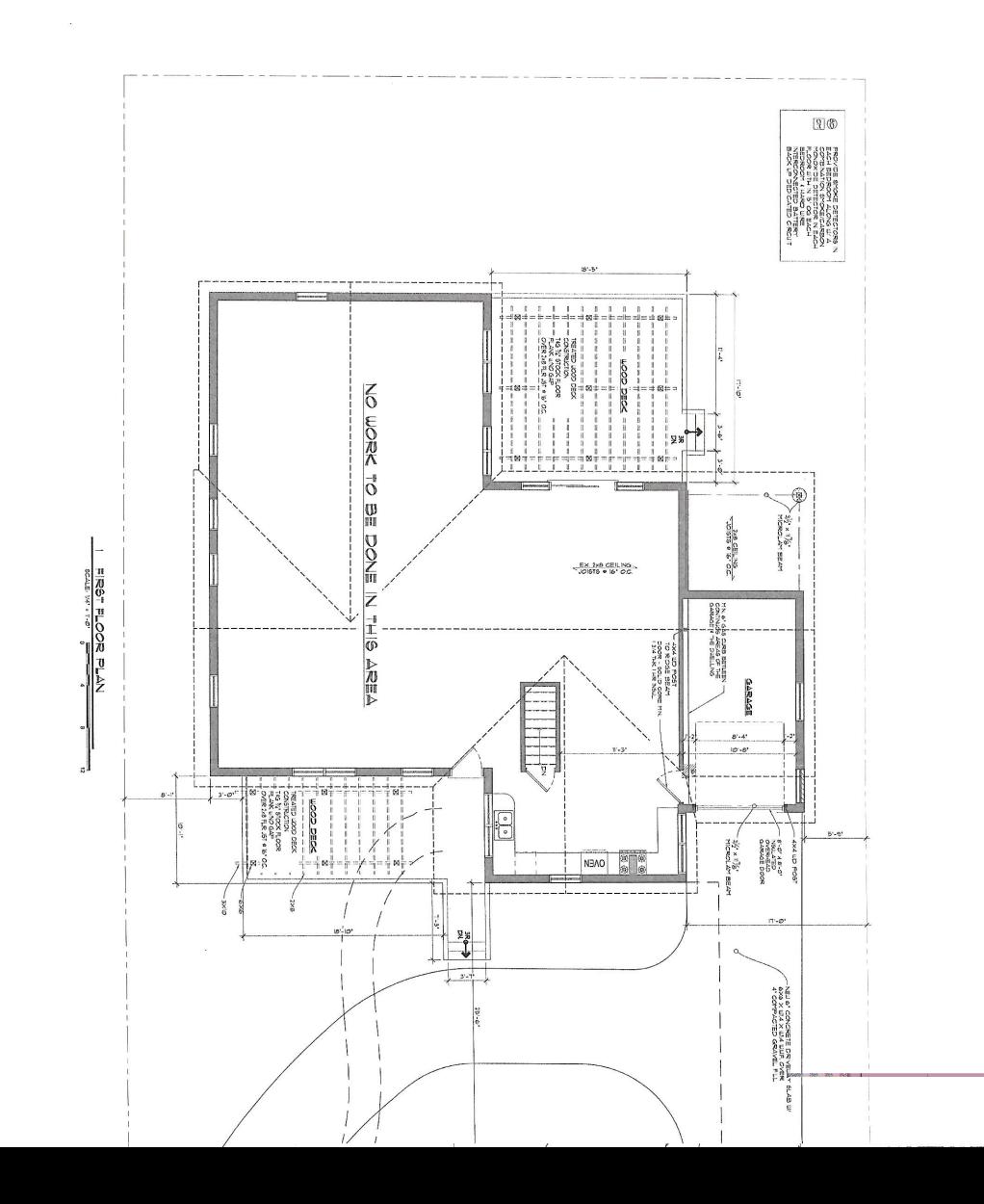
HERE CLEAR A LARGE CONTRACT NOT THE CONTRACT OF A CONTRACT OF A CONTRACT NOT THE CONTRACT OF A CONTRACT OF A CONTRACT NOT THE CONTRACT OF A CONTRACT OF A CONTRACT NOT THE CONTRACT OF A CONTRACT OF A CONTRACT NOT THE CONTRACT OF A CONTRACT OF A CONTRACT OF A CONTRACT NOT THE CONTRACT OF A CONTRACT OF La contraction de la contracti



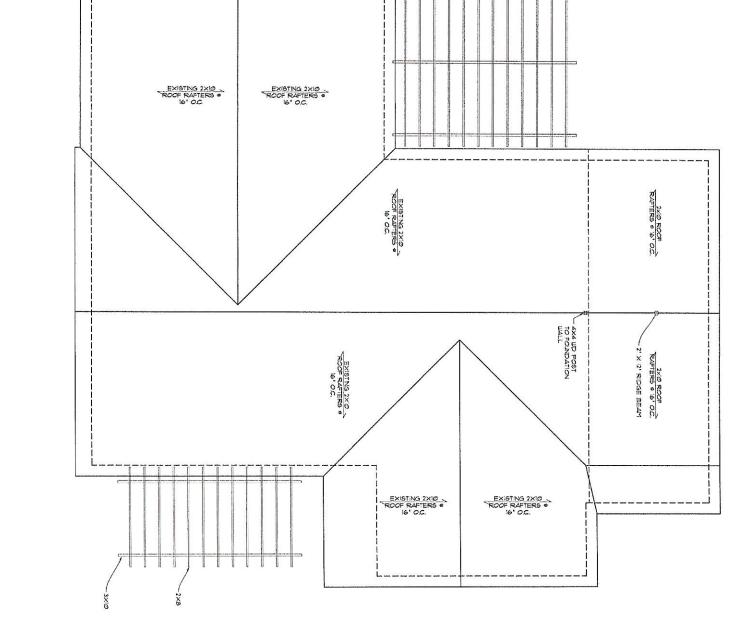
REMODELING & GARAGE ADDITION SINGLE FAMILY RESIDENCE 9248 KARLOV AVE SKOKIE, IL

NK ARCHITECT NATHAN KRISKA PO BOX 3421 NORTHFIELD. LL 60093 TEL. 847-963-9533





© 2022, COPYRIGHT - NKARCHITEOT



Ī



-

SCALE: V4" = I'-0'

12

O 2022 COPYRIGHT - NK ARCHITECT



PROXITING WANTE	120 2022
PROCPA N DWOOL	N. KRISKA
MOLET MONTLEWIGNER	
DUMP. EV	K. KRETOWICZ
ALCOCION	N. KRISKA
SAELWANG	

ROOF PLAN

1		
cn	PERMIT ISSUE	06 10 2023
4	PERMIT ISSUE	06.03.2023
ω	PERMIT ISSUE	07.19.2023
N	PERMIT ISSUE	05.27.2023
-	PROGRESS	08.24.2022
1	NUMBER	DAT







CONCRETE DRIVEWAY & WOOD DECK ADDITION TO EXISTING RESIDENCE 9248 KARLOV AVE SKOKIE, IL

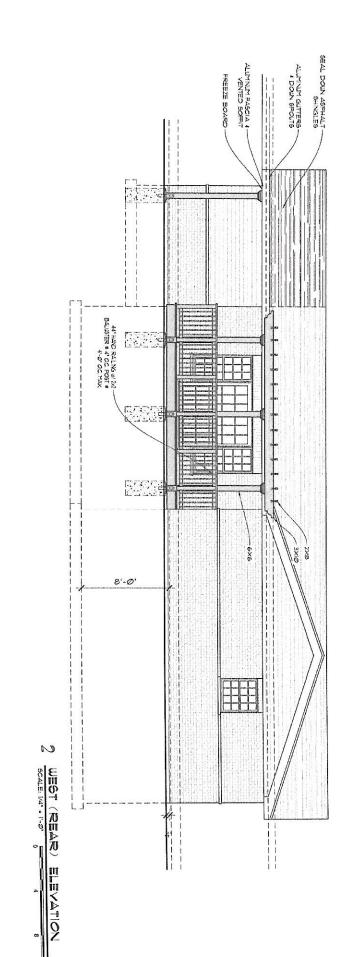
NATHAN KRISKA POISOX 6421 NORTHELD IL 6003 TEL 847-983-8383

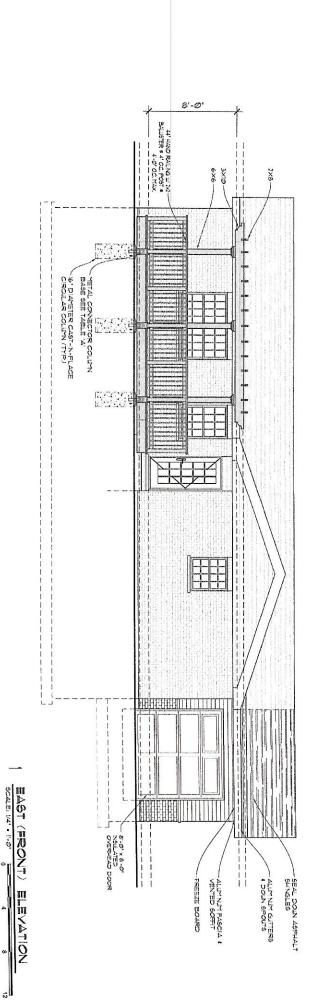














K, KRETOWICZ N, KRISKA 120 2022 N. KRISKA

12

PRIME IN CHARGE	PROJECT MUSICA		

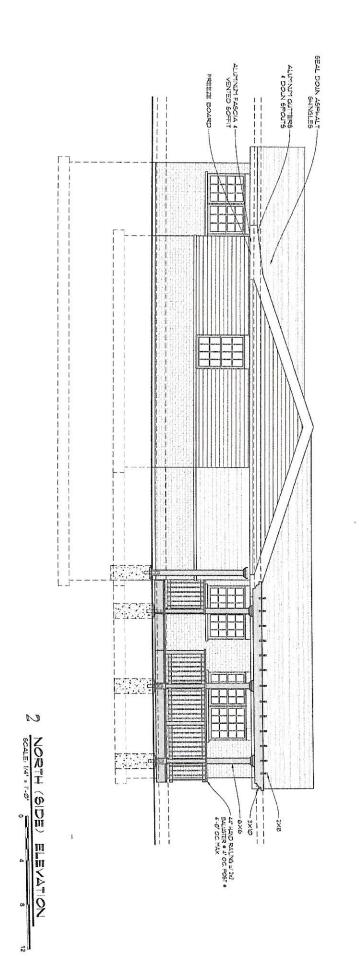
ELEVATIONS

2 PERMIT ISS 1 PROGRESS	2 PERM		3 PERM	4 PERM	5 PERM	-	 		enoun
RESS		PERMIT ISSUE	PERMIT ISSUE	PERMIT ISSUE	PERMIT ISSUE				
	08.24.2022	05.27.2023	07.19.2023	06.03.2023	08 10 2023		 	-	

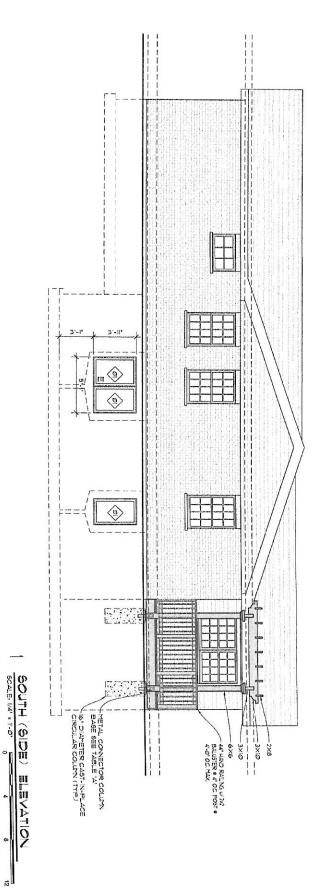
HEREBY CERTIFY THAT THESE DOCUMENTS WERE FREAKED WORKER SUPPORT AND THAT TO THE EAST OF WY NOTICE SUPPORT BELEF, THEY COURY WITH THE FROM JSON GO THE BULTWIS COF THE NOT THE WAYS OF THE HUNDS Charles Constrained

NK ARCHITECT NATHAN KRISKA P.O.BOX 6421 NORTHFIELD. I. 60033 TEL. 847-983-4383

CONCRETE DRIVEWAY & WOOD DECK ADDITION TO EXISTING RESIDENCE 9248 KARLOV AVE SKOKIE, IL



l





SHOW LODGS

OPYRIGHT - MK ARCHITEC

N. KRISKA	050030
K. KRETOWICZ	DOWN BY
	PROJECT WROMPLICTERIC MEER
N. KRISKA	PRINCIPAL IN CHARGE
120 2022	PROXITI MANNER

	-
	_
5 PERMIT ISSUE	08 10 2023
4 PERMIT ISSUE	06.03.2023
3 PERMIT ISSUE	07.19.2023
2 PERMIT ISSUE	05.27.2023
1 PROGRESS	08.24.2022
ND DECRIPTION	DATE

HEREBY CERTIFY THAIT THESE DOCUMENTS WERE-FRENCED AND EMECT SUFFEXIONS AND THAIT TO THESE TO FUT WONG TO SUFFEX BELLEF, THEY COURTY WITH THE PROVISIONS OF THE ELILIPHIC ODD FT THE SUFFEXION OF THE AND THE LIVING OF THE LIVING -MATHAN KRISKA DOI-01344 DOI-01344 EXPL 113024

NK ARCHITECT NATHAN KRISKA P.O.EOX 9421 NORTHFIELD I. 6003 TEL 847-983-8383

CONCRETE DRIVEWAY & WOOD DECK ADDITION TO EXISTING RESIDENCE 9248 KARLOV AVE SKOKIE, IL

AGE OF SK	2
A Start	K.
	ı S
Village of Vision	Į į
COUNTY II	\checkmark

Village of Skokie APPEARANCE COMMISSION APPLICATION

Community Development Department - Building & Zoning Division 5127 Oakton St. Skokie, IL 60077 Phone 847/933-8223 Fax 847/933-8230

The Appearance Commission meets the 2nd Wednesday of each month at 7:30 p.m.

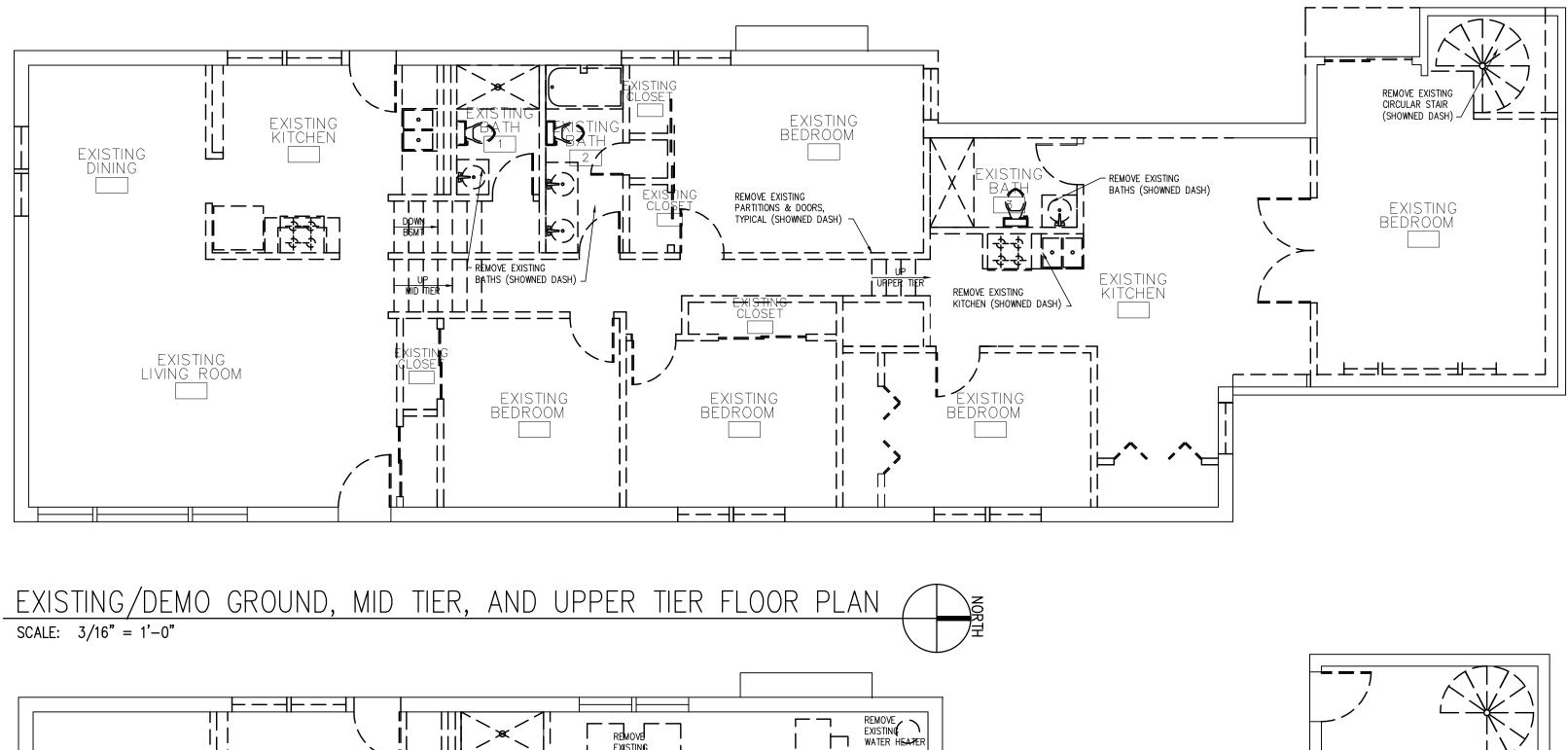
Until further notice, applications will only be accepted in a PDF format.

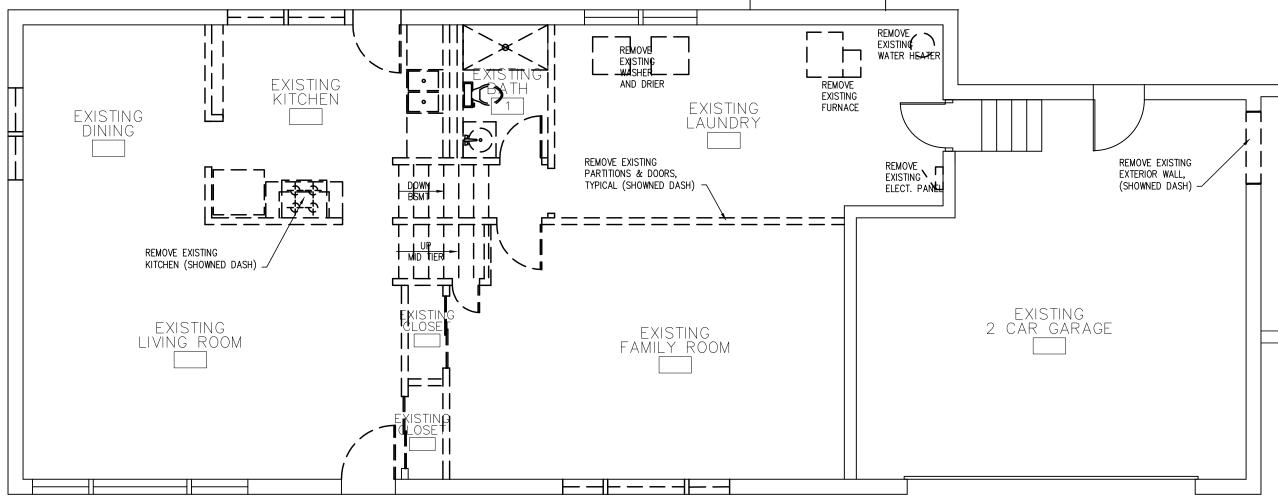
APPLI	CATION DATE: 08.30.2023	
APPLI Ne	CATION TYPE (Please check all that apply): w Construction 1 st Floor Addition 2 nd	^a Floor Addition 🗹 Façade 🗌 Signage 🗌 Other
LAND		I Mixed Use Commercial Industrial Other
SUBJE	ECT ADDRESS:	
OWNE	R INFORMATION:	Please print legibly.
NAME	(s): Nash Querishi	
ADDRI	ESS: 9100 Kenton Ave	CITY, STATE ZIP: Skokie, IL 60076
PHON	E#: 402-312-0451	EMAIL: <u>nashqureishi@gmail.com</u>
NAME	T/PETITIONER INFORMATION (if other than ow (S):	DAYTIME PHONE #:
	ESS:	
	:	
	Elevations, floor plans, and site plans. Scale ¹ / ₄ "	= 1'-0" is preferred, but not required. If the file size is greater Appearance Commission PDF" and the project's property
2.	Completed Zoning Information Worksheet (reside	ential projects only)
3.	Photographs (all sides of the subject building and	the fronts of neighboring buildings)
4.	Excerpts of brochures and/or cut sheets of new nexisting materials and colors can be confirmed w	naterials and colors proposed for the project. Matching ith the submitted photographs.
5.	Plat of Survey	
	*** The Building, Zoning, will not take in or hold materi *** Visit <u>https://www.skokie.org/357/Appearance-Comr</u>	al or color samples. <u>nission</u> to access the staff report prior to the meeting.
Fee S	Schedule	
Reside	ential Site (new) \$100 plus \$50.0)0 per unit
	. ,	00 per 1,000 square feet (based on square footage of building)
	on-residentially zoned site (Business, Industrial, Mixed-Use dis ther Appearance Review (Additions, Façade, Sign Pack	
-	have already paid for a preliminary plan review there is	- ,
	ffice Use Only:	
		ate
		dit Card/ Check #

Any required fees or monies owed by the applicant to the Village must be paid as a condition of approval.

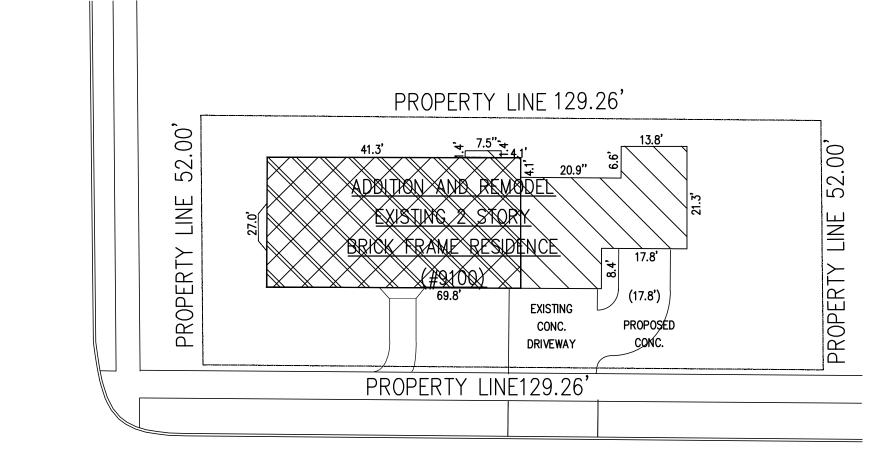
2023 Appearance Commission Schedule

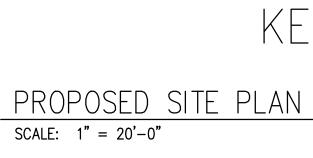
Meeting Date	Submittal Deadline
January 11, 2023	December 28, 2022
February 8, 2023	January 25, 2023
March 8, 2023	February 22, 2023
April 26, 2023	April 12, 2023
May 10, 2023	April 26, 2023
June 14, 2023	May 31, 2023
July 12, 2023	June 28, 2023
August 9, 2023	July 26, 2023
September 13, 2023	August 30, 2023
October 11, 2023	September 27, 2023
November 8, 2023	October 25, 2023
December 20, 2023	December 6, 2023

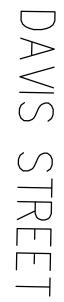


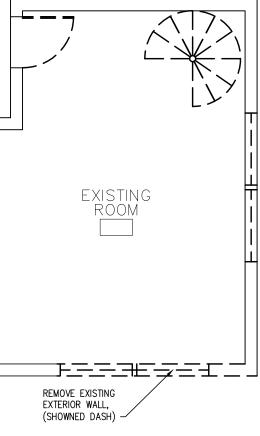


EXISTING/DEMO GROUND AND BASEMENT FLOOR PLAN SCALE: 3/16" = 1'-0"

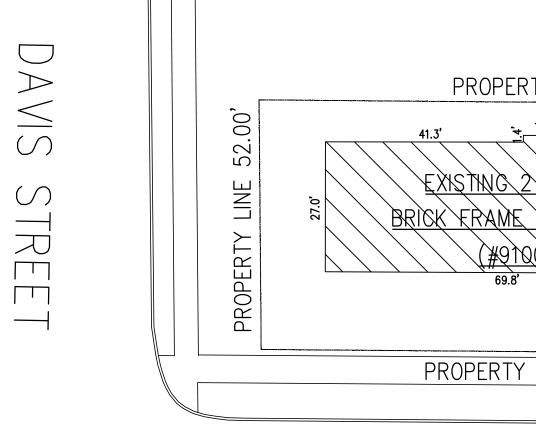








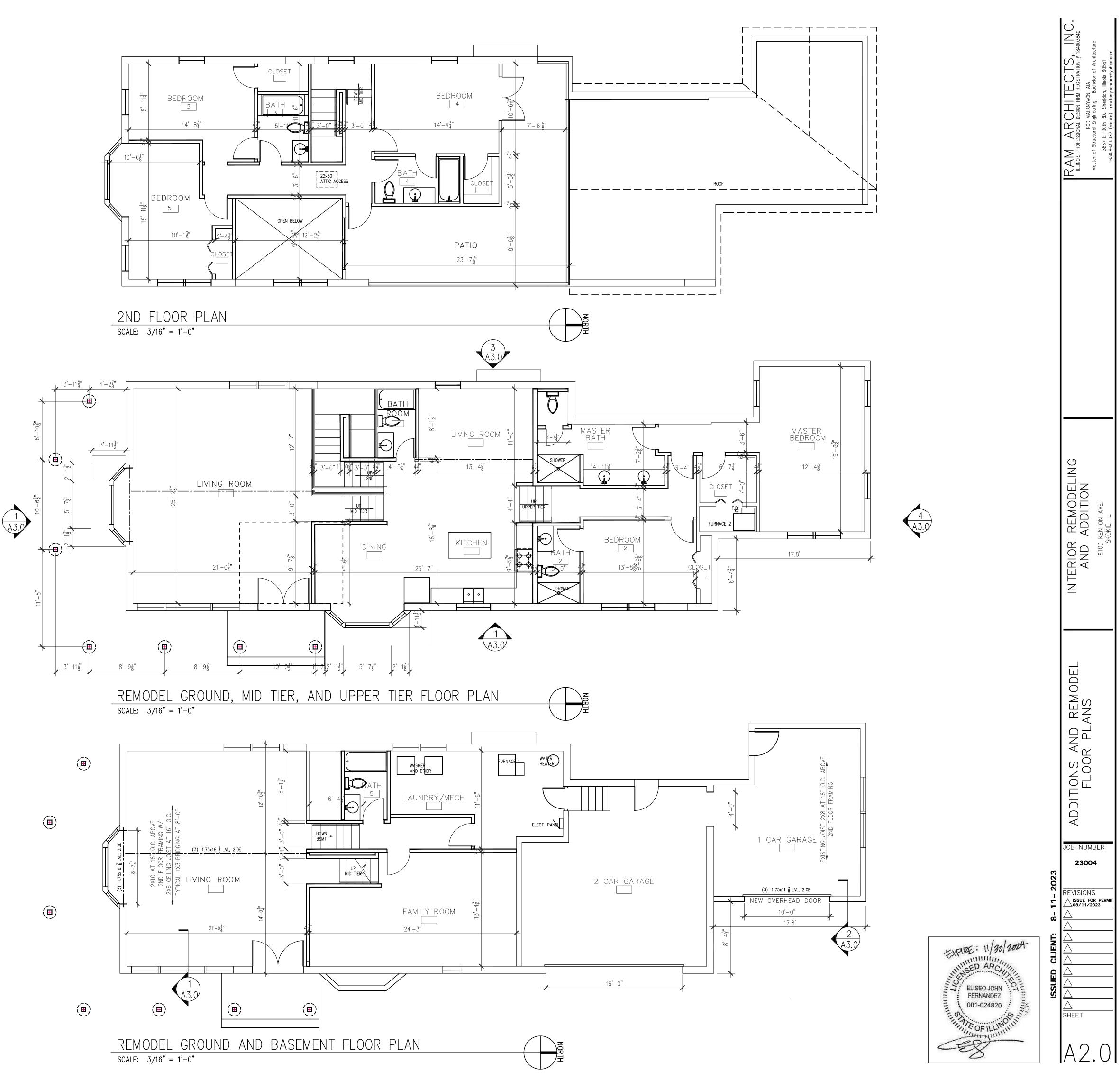
KENTON AVENUE

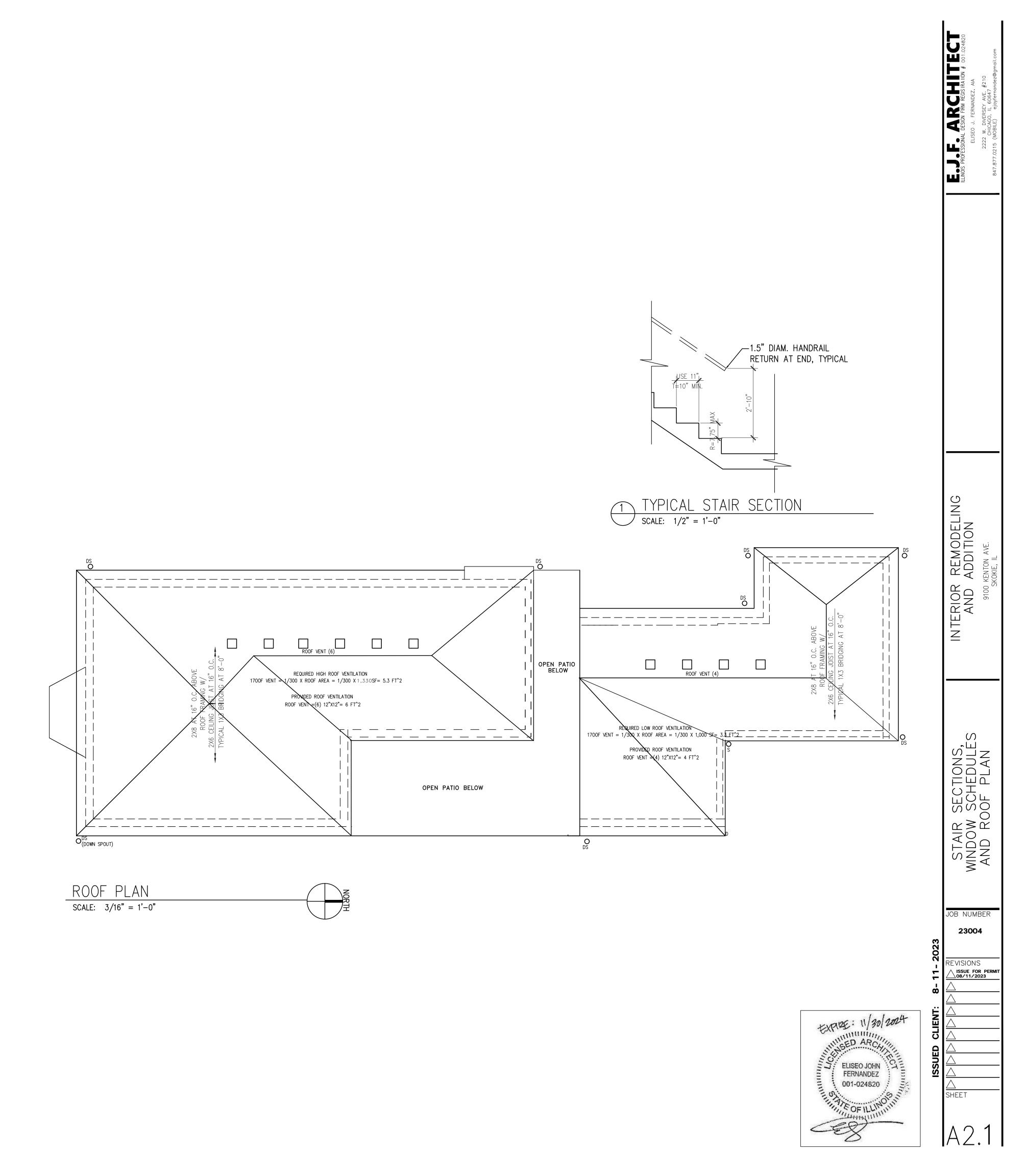


KENTON

EXISTING SITE PLAN SCALE: 1" = 20' - 0"

A2.0 REMODEL AND A2.1 ROOF PLAN AN A3.0 EXTERIOR ELEV A4.0 WALL SECTIONS M1.0 MECHANICAL P E1.0 ELECTRICAL PL P1.0 PLUMBING DIAG PROJECT ADDRESS : BUILDING CODE REQUI RESIDENTIAL - 1&2 FA 2021 INTERNATIONAL R VILLAGE CODE) COMMERCIAL- INDUSTRI/ 2021 INTERNATIONAL B VILLAGE CODE) PLUMBING- SEWER 2014 STATE OF ILLINOI ELECTRIC 2020 NATIONAL ELECTR VILLAGE CODE) MECHANICAL 2021 INTERNATIONAL M SKOKIE VILLAGE CODE)	FLOOR PLAN AND PROJECT INFORMATION PROPOSED FLOOR PLAN D STAIR SECTION ATIONS AN AN RAM INFORMATION: 9100 KENTON AVE. 9100 KENTON AVE. SKOKIE, IL REMENTS: MILY SIDENTIAL CODE/ AMENDMENTS (SECTION 22-3)	33 OF THE SKOKIE OF THE SKOKIE 2- 123 OF THE
ACCESSIBILITY CURRENT STATE OF ILL FIRE 2021 INTERNATIONAL FI VILLAGE CODE) 2021 LIFE SAFETY COE PROPERTY MAINTENANC 2021 INTERNATIONAL P OF THE SKOKIE VILLAG ZONING	<u>CODE</u> OPERTY MAINTENANCE CODE W/ AMENDMENTS	THE SKOKIE DDITION ION AVE.
FLOOR AREA: BASEMENT GARAGES GROUND FLOOR MID TIER & UPPER 2ND FLOOR TC SITE AREA LOT COVERAGE FAR TY LINE 129.26'	731 SF 839 SF 1,568 SF 1,022 SF AL 4,032 SF (NOT INCLUDING BASEMENT) 6,721 SF 2,612 SF 0.60 (4,032/6,721=0.60)	Standard Provide Arrowski standard Provide A



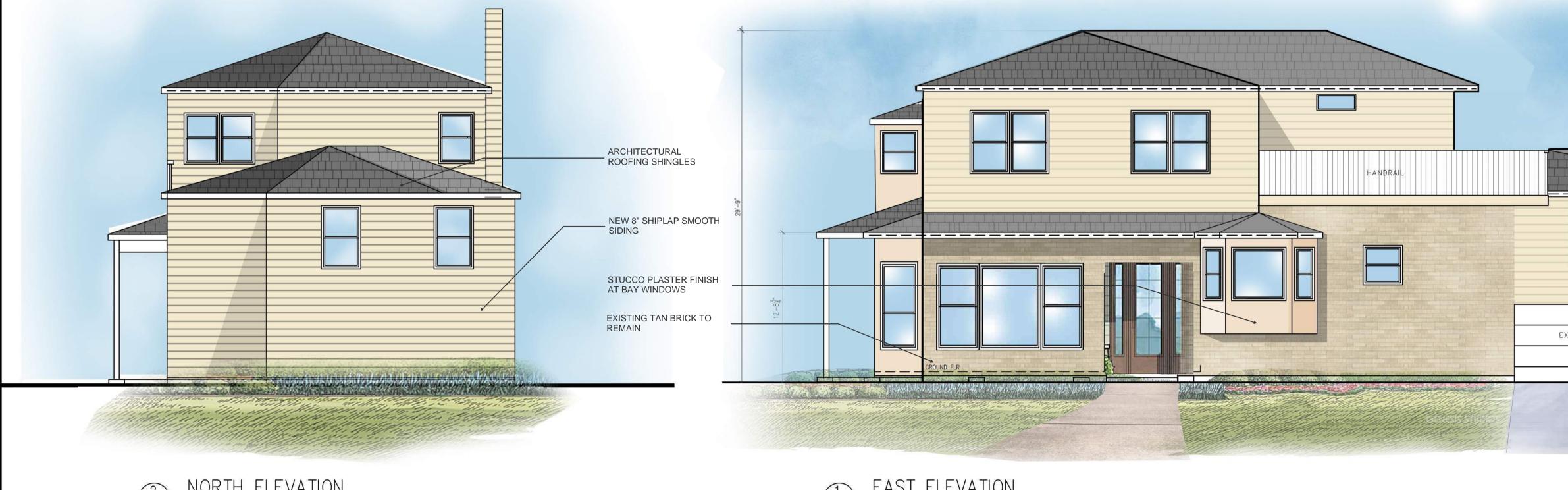


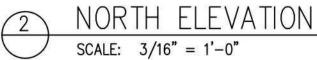














ZONING INFORMATION WORKSHEET

Please provide the following information for all permits involving new single-family dwellings, single-family additions or accessory structures in the R1 or R2 Single-Family districts. **FORM MUST BE COMPLETED IN FULL.**

ADDRESS				ZONING DIST	RICT		
	X		=	TAL LOT AREA)	(This	# goes on lines 1	, 2, and 3)
(2011)	TOTAL LOT AREA	(2019211)	ALLOWED			DIFFEREN	CE BETWEEN & PROPOSED
BUILDING AREA		<u>(1)</u> x .40 =			_(<u>4)</u>	+ /	
IMPERMEABLE AREA		<u>(2)</u> x .50 =			(5)	+ /	
FLOOR AREA		<u>(3)</u> x .60 =			<u>(6)</u>	+/	
AREA		EXISTING A	REA <u>N</u>	NEW AREA		<u>PROPOSEI</u>	<u>D</u>
BASEMENT (50% above gr	rade)		+		=	731	<u>(A)</u>
1 ST FLOOR (Include attache carport, covered porch, etc)*	• •		+		=		<u>(B)</u>
2 ND FLOOR *			+		=		<u>(C)</u>
ATTIC (6'-9" OR GREATE (2 nd Floor top plate to top of r			+		=		(D)
ACCESSORY BUILDING (Detached garage, shed, etc.			+		=		<u>(E)</u>
DRIVEWAY/APRON			+		=		<u>(F)</u>
SIDEWALK & PATIO			+		=		<u>(G)</u>
* Any ceiling height 16 feet in he	ight or greater wil	Il count twice.					
PROPOSED BUILDING A	REA (Add line	s B & E) =			(This	# goes on line 4)	
PROPOSED IMPERMEA	BLE AREA (A	dd lines B, E, F,	& G) =		(This i	# goes on line 5)	
PROPOSED FLOOR ARE	A (Add lines A	, B, C, D, & E) =	·		(This :	# goes on line 6)	
REAR YARD COVERAGE	E FOR ACCES	SSORY BUILD	INGS:				
X	rd depth) the rear wall of t	(rear yard) the principal buil	x .30 = (; ding to the rear	allowed) lot line and from s	(pro ide lo	posed buildings ir t line to side lot	n rear yard) line.
The undersigned hereby ac discrepancies or inaccurac		ne accuracy of f	he above info	rmation and acce	pts f	ull responsibili	ty for any
Signature			Date	<u>_</u>		_	

Signature

Date

Date



ZONING INFORMATION WORKSHEET

Please provide the following information for all permits involving new single-family dwellings, single-family additions or accessory structures in the R1 or R2 Single-Family districts. **FORM MUST BE COMPLETED IN FULL.**

ADDRESS				ZONING DIST	RICT		
	X		=	TAL LOT AREA)	(This	# goes on lines 1	, 2, and 3)
(2011)	TOTAL LOT AREA	(2019211)	ALLOWED			DIFFEREN	CE BETWEEN & PROPOSED
BUILDING AREA		<u>(1)</u> x .40 =			_(<u>4)</u>	+ /	
IMPERMEABLE AREA		<u>(2)</u> x .50 =			(5)	+ /	
FLOOR AREA		<u>(3)</u> x .60 =			<u>(6)</u>	+/	
AREA		EXISTING A	REA <u>N</u>	NEW AREA		<u>PROPOSEI</u>	<u>D</u>
BASEMENT (50% above gr	rade)		+		=	731	<u>(A)</u>
1 ST FLOOR (Include attache carport, covered porch, etc)*	• •		+		=		<u>(B)</u>
2 ND FLOOR *			+		=		<u>(C)</u>
ATTIC (6'-9" OR GREATE (2 nd Floor top plate to top of r			+		=		(D)
ACCESSORY BUILDING (Detached garage, shed, etc.			+		=		<u>(E)</u>
DRIVEWAY/APRON			+		=		<u>(F)</u>
SIDEWALK & PATIO			+		=		<u>(G)</u>
* Any ceiling height 16 feet in he	ight or greater wil	Il count twice.					
PROPOSED BUILDING A	REA (Add line	s B & E) =			(This	# goes on line 4)	
PROPOSED IMPERMEA	BLE AREA (A	dd lines B, E, F,	& G) =		(This i	# goes on line 5)	
PROPOSED FLOOR ARE	A (Add lines A	, B, C, D, & E) =	·		(This :	# goes on line 6)	
REAR YARD COVERAGE	E FOR ACCES	SSORY BUILD	INGS:				
(rear yard width) (rear yard Rear yard is measured from t	rd depth) the rear wall of t	(rear yard) the principal buil	x .30 = (; ding to the rear	allowed) lot line and from s	(pro ide lo	posed buildings ir t line to side lot	n rear yard) line.
The undersigned hereby ac discrepancies or inaccurac		ne accuracy of f	he above info	rmation and acce	pts f	ull responsibili	ty for any
Signature			Date	<u>_</u>		_	

Signature

Date

Date



EXISTING EAST ELEVATION



EXISTING SOUTHWEST VIEW



EXISTING SOUTHEAST VIEW



EXISTING NORTHEAST VIEW

9100 KENTON AVE, SKOKIE IL 60076



9118 Kenton Ave. North Neighbor



East Neighbor across Kenton St



4608 Davis St. - West Neighbor





The Trusted Solution for a Beautiful Roof.

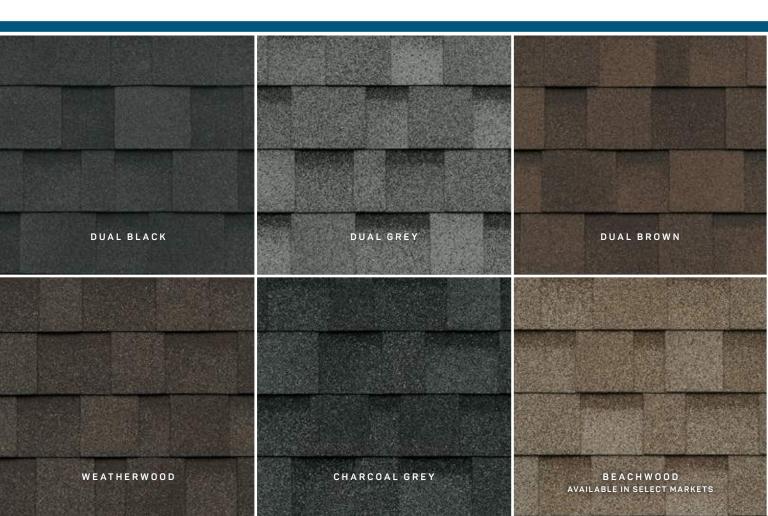
BEAUTY You Can See. **QUALITY** You Can Feel.

NOW THAT IT'S TIME TO REPLACE YOUR ROOF, WHY TAKE ANYTHING FOR GRANTED? We never do. Since 1951, IKO has been protecting American homes and families just like yours against the elements.

Whether it's elegant and sophisticated or laid-back and casual, or somewhere in-between, **IKO Cambridge® Architectural shingles** come in a wide range of stunning color blends to express your personality, reflect your taste and potentially boost your home's resale value too.

Their modern, laminated two-piece design provides the depth, dimension and texture of genuine wood shakes for an upscale appearance without the upscale price tag. Now unleash your exterior designer and dress up your home with an exciting new look, for less than you might expect.





PERFORMANCE You Can Trust.



LAMINATE ADHESIVE. Five strips of our tough, construction-grade adhesive are used to laminate the shim to the tooth.

BUILT-IN ALGAE RESISTANCE. Special colorfast granules embedded in the shingles' surface help inhibit the growth of blue-green algae that can cause unattractive black stains, streaks and discoloration.

CORE STRENGTH. Our resilient fiberglass mat is coated top and bottom with weathering asphalt, then surfaced with colored granules. It's heavy-duty for exceptional durability and structural integrity.

EXCEPTIONAL BONDING. IKO's FastLock® sealant on the shingles' bottom edge gets extra-tacky when activated by the sun's heat. This creates a strong bond to help ensure maximum protection against wind uplift, blow-off and water penetration.

THE IKO ADVANTAGE

Limited Warranty ¹	Limited Lifetime ³
Iron Clad Protection ¹	10 Years (U.S. only)
Limited Wind Warranty ¹	110 mph (177 km/h)
Limited High-Wind Warranty Upgrade ^{1,2}	130 mph (210 km/h)
Blue-Green Algae Resistant ¹	Yes

PRODUCT SPECIFICATIONS⁴

Length	40 7/8 in (1038 mm)
Width	13 3/4 in (349 mm)
Exposure	5 7/8 in (149 mm)
Exposure Coverage per Bundle	5 7/8 in (149 mm) 33 1/3 ft ² (3.1 m ²)

STANDARDS⁵

ASTM D3462, ASTM D3018, ASTM D3161 – Class F, ASTM D7158 – Class H, ASTM E108/UL 790 – Class A.



Shingles are your home's first line of defense, but they protect, perform and look their best installed with the **IKO Proformax Integrated Roofing Accessories** shown below.



DECK PROTECTION

SYNTHETIC UNDERLAYMENT

ROOF STARTERS

CAPPING SHINGLES

IKO GoldSeam[™] Roof Sealing Tape

1a. Apply where the fascia and eaves meet.**1b.** Apply over seams when sealing the deck using synthetic underlayment.

StormShield[®]

1c. Apply under shingled roofs to help prevent water infiltration due to ice dams and wind-driven rain.

2.Stormtite[™]

It's IKO's economical synthetic underlayment choice. Stronger than conventional felts, Stormtite installs easily, even in cool weather, due to its light weight. Stormtite is the perfect combination of strength and flexibility.

3. Leading Edge Plus[™] or EdgeSeal[™]

Apply starter shingles with IKO's own highstrength thermally activated sealant or use the double-sided starter roll at eaves and rakes to help ensure wind resistance at that critical first course of shingles.

4. Hip & Ridge 12™

These capping shingles are available in colors that pair with every Cambridge color. Installation is easy, just separate the tapered pieces along the perforation, bend and nail in place. No waste.



To find out more about Cambridge® Architectural shingles or additional IKO products, please talk to an IKO sales representative or a professional roofing contractor, or contact IKO directly.

United States 1-888-IKO-ROOF (1-888-456-7663) Canada 1-855-IKO-ROOF (1-855-456-7663)



Visit us online at: **IKO.COM**

The information in this literature is subject to change without notice. We assume no responsibility for errors that may appear in this literature.

© Copyright 01/23 · MR9L100

HardiePlank[®]

HardiePlank[®] Lap Siding Product Description

HardiePlank lap siding is factory-primed fiber-cement lap siding available in a variety of styles and textures. Please see your local James Hardie[®] product dealer for product availability. HardiePlank[®] lap siding comes in 12 ft. lengths. Nominal widths from 5¼ in. to 12 in. create a range of exposures from 4 in. to 10¾ in.

HardiePlank lap siding is also available with ColorPlus[®] Technology as one of James Hardie's prefinished products. ColorPlus Technology is a factory applied, oven-baked finish available on a variety of James Hardie siding and trim products. See your local dealer for details and availability of products, colors and accessories.



Select Cedarmill[®]



Beaded Smooth



Smooth



Custom Colonial Roughsawn®

Beaded Cedarmill[®]



Custom Colonial Smooth®



Working Safely

Tools for Cutting and Fastening

General Installation Requirements

General Fastener Requirements

Finishing and Maintenance

HardieTrim[®] HardieWrap[®] Boards/Battens Weather Barrier

HardieSoffit[®] Panels

HardieShingle[®] HardiePlank[®] Siding Lap Siding

HardiePanel[®] Vertical Siding

Appendix/ Glossary

-1844 & Report

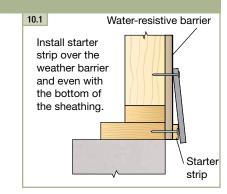
ESR-1

Installation of HardiePlank® Lap Siding

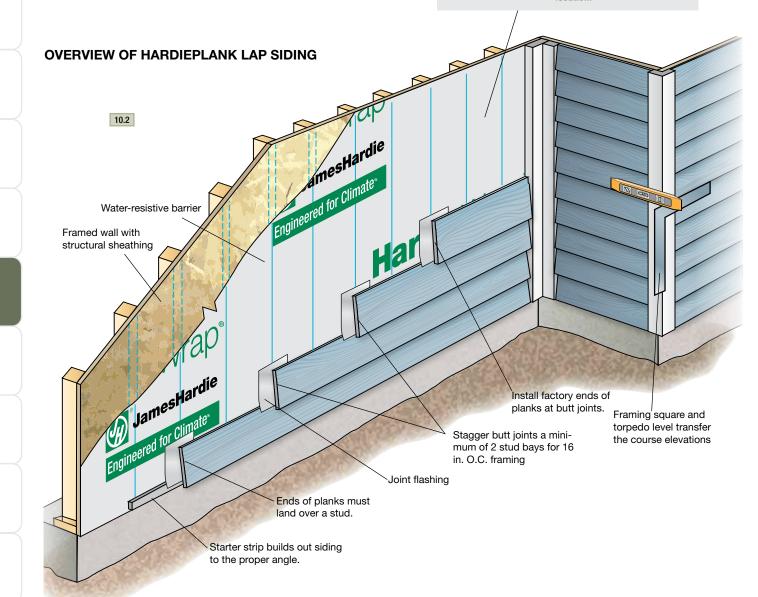
INSTALL A STARTER STRIP

HardiePlank[®] lap siding requires a starter strip beneath the first course to set it on the proper angle and to create a proper drip edge at the bottom of the siding. Starter strips are easily made by ripping 1¼ in. pieces of HardiePlank siding from full or partial planks.

The bottom of the starter strip should be installed even with the bottom of the mudsill or the bottom edge of the sheathing. The strip must be installed over the water-resistive barrier, but occasional gaps should be left in the starter strip to allow any accumulated moisture behind the siding to drain away safely.



TIP: For accurate fastening, snap vertical chalk lines on the water-resistive barrier at the center of every stud location.



INSTALLING THE PLANKS

The first course of HardiePlank[®] siding is critical to the proper installation of the plank on the rest of the building. The first course should start at the lowest point of the house and within required clearances. Special attention should be made to ensure that it's straight and level. Attention should also be paid to staggering any butt joints in the planks so that the installation is attractive while making efficient use of material.

 Use a level (4 ft. or longer) or chalked level line to be sure that the first course is level. As installation proceeds up the wall, peri-

odically check the level and straightness of the courses. When correcting for flatness over products such as exterior insulation, use drywall shims. It is good practice to snap a chalk line every 3 to 5 courses to keep the planks straight and level.

Hart

- 2. Position the bottom edge of the first course of siding a minimum ¹/₄ in below the edge of the starter strip (maintain required clearances) and secure.
- 3. Run the siding to the HardieTrim[®] board leaving a 1/8 in. gap between the siding and trim.

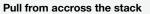
10.3

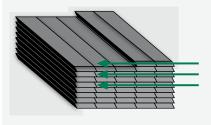
The bottom of the siding should be kept even with the bottom of the trim, or if desired, the trim may extend below the bottom of the siding. But the siding should never hang below the trim. ***When installing the first course make sure ground clearances are in accordance with James Hardie requirements and those of local codes.**

PLANK ALIGNMENT AT CORNERS

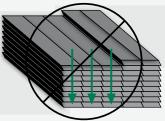
For the best looking installation, make sure that the heights of the plank courses match on both sides of a corner. Use a framing square, speed square or a level to match up the plank heights. Check every few courses to make sure proper heights are being maintained.

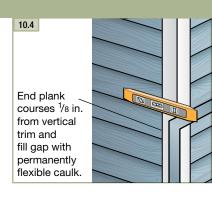
TIP: When taking planks from the pallet installation, avoid repeating the texture pattern by working across the pallet. Two to four planks can be removed from a stack at one time. But then material should be taken from adjacent stacks, again working across the pallet. Texture repeat is typically a concern on large walls with few breaks such as windows or doors.





Do not go down the stack





DieWa

Use a level 4 ft. or

the first course.

Snapped chalk line guides the first course.

longer level to check

Keep bottom edge of the first

the bottom of

the corner trim.

course even with

Ø

Ø

6 in min

General Product nformatio

HardieShingle® Siding

HardiePanel® Vertical Siding **Norking** Safely

Tools for Cutting and Fastening

General Installation Requirements

Requirements

General Fastener

Finishing and Maintenance

HardieWrap[®] Weather Barrier

HardieTrim[®] Boards/Battens

HardieSoffit[®] Panels

HardieShingle[®] HardiePlank[®] Siding Lap Siding

HardiePanel[®] Vertical Siding

Appendix/ Glossary

-1844 & Report

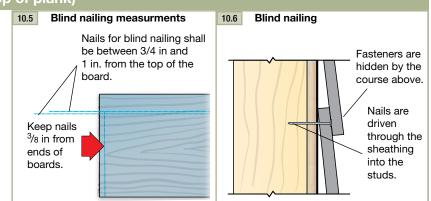
ESR-7

Installation of HardiePlank® Lap Siding (cont.)

BLIND NAILING (nailing through top of plank)

Blind nailing is recommended for installing any type of HardiePlank[®] lap siding including ColorPlus[®] siding. With blind nailing, each course covers the fasteners on the course below, which provides a better looking installation.

For blind nailing HardiePlank lap siding, James Hardie recommends driving fasteners 1 in. from the top edge of the

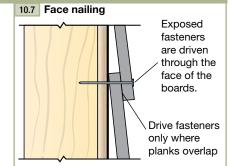


plank. Additionally fasteners should be placed no closer than 3/8 in. from the ends of the plank.

Avoid placing fasteners near the top edge of the plank. This practice, called "high nailing", may lead to loose planks, unwanted gaps or rattling. Pin-backed corners may be done for aesthetic purposes only. Finish nails are recommended for pin-backs. Headed siding nails are allowed. Place pin-backs no closer than 1 in. from plank ends and 3/4 in. from plank edge into min. 3/8 in. wood structural panel. Pin-backs are not a substitute for blind or face nailing

FACE NAILING (nailing through the overlap at the bottom of the plank)

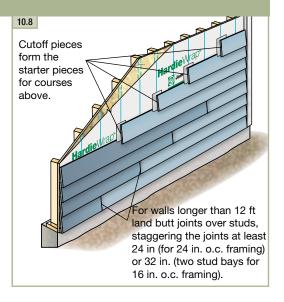
Although blind nailing is recommended by James Hardie, face nailing may be required for certain. installations including: installations in high wind areas, fastening into OSB or equivalent sheathing without penetrating a stud, or when dictated by specific building codes. Refer to Appendix D for related code matters.



STAGGERING THE BUTT JOINTS

For walls longer than 12 ft, it is necessary to butt joint additional lengths of HardiePlank siding. These butt joints should be staggered to avoid noticeable patterns, which is determined by the placement of the first course. Butt joints between consecutive courses should be spaced apart by at least two stud bays for 16 in., o.c. framing or one bay for 24 in. o.c. framing.

While random placement of the planks is usually the most aesthetically pleasing, a progressive stagger pattern can make the job easier and faster without the pattern becoming too noticeable. With this strategy, the cut off piece for one course becomes the starter piece for a course above, making efficient use of materials and ensuring that all butt joints land on studs. The pattern can be modified for different stud placement.



JOINT FLASHING

One or more of the following joint treatment options are required by code (as referenced 2009 IRC R703.10.2)

A. Joint Flashing (James Hardie recommended)

B. Caulking* (Caulking is not recommended for ColorPlus for aesthetic reasons as the Caulking and ColorPlus will weather differently. For the same reason, do not caulk nail heads on ColorPlus products.}

C. "H" jointer cover

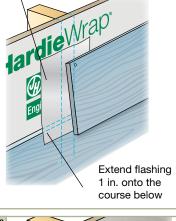
Flashing behind butt joints provides an extra level of protection against the entry of water at the joint. James Hardie recommends 6 in. wide flashing that overlaps the course below by 1 in. Some local building codes may require different size flashing.

Joint-flashing material must be durable, waterproof materials that do not react with cement products. Examples of suitable material include finished coil stock and code compliant water-resistive barriers. Other products may also be suitable.

TIP: Joint flashing can be quickly and easily made by cutting a 6 in. wide section off a roll of housewrap. Tape the roll tightly at the cut mark and cut the section off using a miter saw with a carbide blade. Individual sheets then can be cut to length with a utility knife.

TIP: Use light-colored joint flashing when using light-colored ColorPlus lap siding or other siding with a light-colored finish. Dark-color joint flashings should be used on siding with dark finishes.

10.9 Flashing behind to add an additional layer of protection from water infiltration



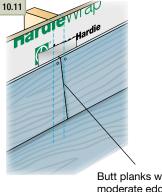


Caulking at HardiePlank lap siding butt ioints is not recommended for ColorPlus for aesthetic reasons as the caulking and ColorPlus will weather differently. For the same reason, do not caulk exposed nail heads. Refer to the ColorPlus touch-up section for details

JOINT PLACEMENT AND TREATMENT

Butt joints in HardiePlank lap siding should always land on a stud. Butt joints between studs are not recommended and should be avoided. Whenever possible, factoryfinished ends should be used at butt joints.

Place cut ends where the siding meets a corner, door, window trim, or other break in the wall where the joint is to be caulked. If cut ends are used in a butt joint between planks, James Hardie requires sealing cut ends for all products. For ColorPlus products, use the color-matched edge coater to seal the cut end.



Butt planks with moderate edge contact

COLORPLUS® TIP: When installing HardiePlank lap siding with ColorPlus Technology, position the plank in the immediate area where the plank is to be fastened. Do not place the plank on the course below and slide into position. Doing so may scuff or scratch the ColorPlus finish on the installed piece.

nformatio Product **Norking** Safely

Tools for Cutting and Fastening

General Installation Requirements

General Fastener Requirements

Finishing and Maintenance

HardieWrap[®] Weather Barrier

HardieTrim[®] Boards/Battens

HardieSoffit[®] Panels

HardieShingle[®] HardiePlank[®] Siding Lap Siding

Installation of HardiePlank® Lap Siding (cont.)

CONTINUING THE INSTALLATION

Once the initial course of HardiePlank[®] siding is fastened to the wall, continue installing successive courses with full 12 ft. pieces (follow the stagger pattern for longer walls), or until a window, door or other opening interrupts the course (fig 10.12). Notch planks as needed to fit around windows and doors. Again, be sure to seal all cut edges. Avoid placing butt joints directly above or below windows or above doors. Separate the joint from the opening by at least one course of siding.

Where butt joints land on a stud, make sure there is enough stud space for plank on both sides of the joint to land properly. Optimally both sides of a butt joint should land in the middle of a stud with $^{3}/_{4}$ in landing space for each side. The minimum stud space for a plank to land is $^{3}/_{8}$ in.

Pay special attention to window, doors, and corners that have been trimmed before the siding goes on. Vertical trim boards may cover the king studs beside windows or doors, or they may cover up corner studs leaving no room for nailing the siding. In these places add extra studs as needed.

 10.12
 Planking around windows

 Notch plank around window tim and flashing.
 Keep butt joints more than one course away from top of window.

 Add an extra stud if necessary for nailing the ends of the planks.
 Image: Comparison of the planks.

 Image: Comparison of the planks.
 Image: Comparison of the planks.

 Image: Comparison of the planks.
 Image: Comparison of the planks.

 Image: Comparison of the planks.
 Image: Comparison of the planks.

 Image: Comparison of the planks.
 Image: Comparison of the planks.

 Image: Comparison of the planks.
 Image: Comparison of the planks.

 Image: Comparison of the planks.
 Image: Comparison of the planks.

 Image: Comparison of the planks.
 Image: Comparison of the planks.

 Image: Comparison of the planks.
 Image: Comparison of the planks.

 Image: Comparison of the planks.
 Image: Comparison of the planks.

 Image: Comparison of the planks.
 Image: Comparison of the planks.

 Image: Comparison of the planks.
 Image: Comparison of the planks.

 Image: Comparison of the planks.
 Image: Comparison of the planks.

 Image: Comparison of the planks.
 Image: Comparison of the planks.

 Image: Comparison of the planks.
 Image: Comparison of the planks.

 Image: Comparison of

COLORPLUS TIP: HardiePlank lap siding with ColorPlus Technology is shipped with a protective laminate slip sheet, which should be left in place during cutting and fastening to reduce marring and scratching. The sheet should be removed immediately after each plank is installed.



If corners are trimmed with **HardieTrim® 5/4, 4/4 boards**, it may be necessary to measure and cut the first pieces of siding to make sure the butt joints land on studs.

INSTALLING HARDIEPLANK® SIDING ON GABLE WALLS

Siding gable walls can be challenging, and some of the keys to siding gable walls efficiently are determining the angle or pitch of the roof, properly staging materials, and ensuring that the plank lengths are measured accurately.

To estimate the amount of siding needed to complete a gable end, use the estimating tools located in Appendix C.

Stage enough material on the pump jacks or scaffolding to complete the gable end, but take care not to overload the staging. When possible, a cut table should be located on the pump jacks or scaffolding, which frees up crew members to work on other walls.

HardiePanel[®] Vertical Siding

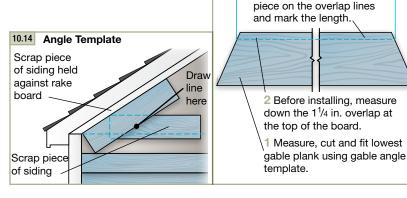
To cut planks for the gable:

- 1. Tack up a small scrap piece of siding where the first gable course is going.
- 2. Hold a second small piece of siding against the eave or rake board.
- 3. Trace the angle onto the scrap.
- 4. Cut that line and label the scrap as the template for the gable angle. The template can then be used to transfer the angle onto the larger pieces for cutting and installation.
- 5. Periodically check the angle as you progress up the wall.

The quickest way to measure and cut consecutive courses of siding for a gable is to work off the previous piece.

- 1. Cut and fit the lowest course of siding.
- 2. Before installing, lay it flat and measure down 1¼ in. from the top edge of the plank for the course overlap. Make a mark on both ends.
- Set a piece of uncut siding on top of the first piece, aligning the bottom edge with the overlap marks. Transfer the length directly to the uncut piece.
- 4. Draw the gable angle with the template, cut the angle and then repeat the process for the next course.

TIP: Stainless steel fasteners are recommended when installing James Hardie® products.



10.13

4 Draw the angle, cut and

repeat the process for the

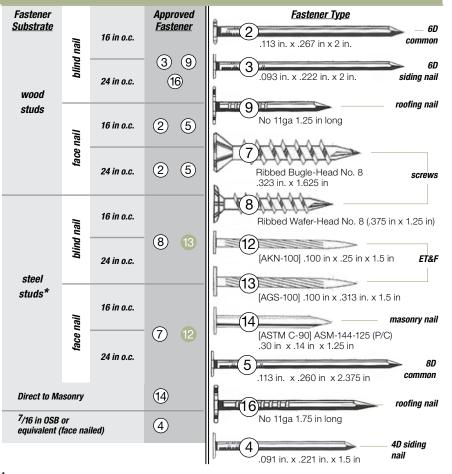
Tip for fast gable installation

3 Place a plank for the next

next course.

HARDIEPLANK[®] SIDING FASTENER SPECIFICATIONS

The Fastener Specifications table shows fastener options for a variety of different nailing substrates. Please refer to the applicable ESR report online (see back page) to determine which fastener meets your wind load design criteria.



indicates recommended fasteners

^{*} When blind fastening 9.5 in or wider product onto steel studs, use screws.

HardieWrap[®] HardieTrim[®] Weather Barrier Boards/Battens

HardieSoffit[®] Panels

for

Requirement

Requirements

Fastener

Finishing and Maintenance

nstallatior

General Product



HardiePlank® Lap Siding

EFFECTIVE DECEMBER 2019

IMPORTANT: FAILURE TO FOLLOW JAMES HARDIE WRITTEN INSTALLATION INSTRUCTIONS AND COMPLY WITH APPLICABLE BUILDING CODES MAY VIOLATE LOCAL LAWS, AFFECT BUILDING ENVELOPE PERFORMANCE AND MAY AFFECT WARRANTY COVERAGE. FAILURE TO COMPLY WITH ALL HEALTH AND SAFETY REGULATIONS WHEN CUTTING AND INSTALLING THIS PRODUCT MAY RESULT IN PERSONAL INJURY. BEFORE INSTALLATION, CONFIRM YOU ARE USING THE CORRECT HARDIEZONE® PRODUCT INSTRUCTIONS BY VISITING HARDIEZONE.COM OR CALL 1-866-942-7343 (866-9-HARDIE)

.....

STORAGE & HANDLING:

Store flat and keep dry and covered prior to installation. Installing siding wet or saturated may result in shrinkage at butt joints. Carry planks on edge. Protect edges and corners from breakage. James Hardie is not responsible for damage caused

by improper storage and handling of the product.



OUTDOORS	INDOORS
 Position cutting station so that airflow blows dust away from the user and others near the cutting area. Cut using one of the following methods: 	DO NOT grind or cut with a power saw indoors. Cut using shears (manual, pneumatic or electric) or the score and snap method, not recommended for products thicker than 7/16 in
 a. Best: Circular saw equipped with a HardieBlade® saw blade and attached vacuum dust collection system. Shears (manual, pneumatic or electric) may also be used, not recommended for products thicker than 7/16 in. b. Better: Circular saw equipped with a dust collection feature (e.g. Roan® saw) and a HardieBlade saw blade. c. Good: Circular saw equipped with a HardieBlade saw blade. 	 DO NOT dry sweep dust; use wet dust suppression or vacuum to collect dust. For maximum dust reduction, James Hardie recommends using the "Best" cutting practices. Always follow the equipment manufacturer's instructions for proper operation. For best performance when cutting with a circular saw, James Hardie recommends using HardieBlade® saw blades. Go to jameshardiepros.com for additional cutting and dust control recommendations.

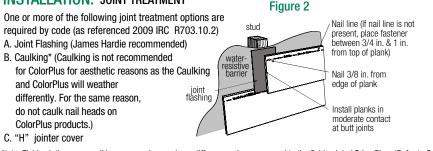
IMPORTANT: The Occupational Safety and Health Administration (OSHA) regulates workplace exposure to silica dust. For construction sites, OSHA has deemed that cutting fiber cement with a circular saw having a blade diameter less than 8 inches and connected to a commercially available dust collection system per manufacturer's instructions results in exposures below the OSHA Permissible Exposure Limit (PEL) for respirable crystalline silica, without the need for additional respiratory protection.

If you are unsure about how to comply with OSHA silica dust regulations, consult a qualified industrial hygienist or safety professional, or contact your James Hardie technical sales representative for assistance. James Hardie makes no representation or warranty that adopting a particular cutting practice will assure your compliance with OSHA rules or other applicable laws and safety requirements.

GENERAL REQUIREMENTS:

- HardiePlank[®] lap siding can be installed over braced wood or steel studs, 20 gauge (33 mils) minimum to 16 gauge (54 mils) maximum, spaced a maximum of 24 in o.c. or directly to
 minimum 7/16 in thick OSB sheathing. See General Fastening Requirements. Irregularities in framing and sheathing can mirror through the finished application. Correct irregularities
 before installing siding.
- Information on installing James Hardie products over non-nailable substrates (ex: gypsum, foam,etc.) can be located in JH Tech Bulletin 19 at www.jamehardie.com
- A water-resistive barrier is required in accordance with local building code requirements. The water-resistive barrier must be appropriately installed with penetration and junction flashing
 in accordance with local building code requirements. James Hardie will assume no responsibility for water infiltration. James Hardie does manufacture HardieWrap[®] Weather Barrier, a
 non-woven non-perforated housewrap¹, which complies with building code requirements.
- When installing James Hardie products all clearance details in figs. 3-14 must be followed.
- Adjacent finished grade must slope away from the building in accordance with local building codes typically a minimum
 of 6 in. in the first 10 ft..
- Do not use HardiePlank lap siding in Fascia or Trim applications.
- Do not install James Hardie products, such that they may remain in contact with standing water.
- HardiePlank lap siding may be installed on flat vertical wall applications only.
- For larger projects, including commercial and multi-family projects, where the span of the wall is
 significant in length, the designer and/or architect should take into consideration the coefficient of thermal expansion and
 moisture movement of the product in their design. These values can be found in the Technical Bulletin "Expansion
 Characteristics of James Hardie[®] Siding Products" at www.jameshardie.com.
- James Hardie Building Products provides installation/wind load information for buildings with a maximum mean roof height of 85 feet. For information on installations above 60 feet, please contact JH technical support.

INSTALLATION: JOINT TREATMENT



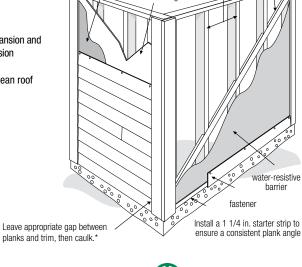


Figure 1

Single Wall Construction

24 in. o.c. max.

let-in bracing

Double Wall Construction

> plywood or OSB sheathing

water-resistive

barrier

Note: Field painting over caulking may produce a sheen difference when compared to the field painted PrimePlus. *Refer to Caulking section in these instructions. ¹For additional information on HardieWrap® Weather Barrier, consult James Hardie at 1-866-4Hardie or www.hardiewrap.com

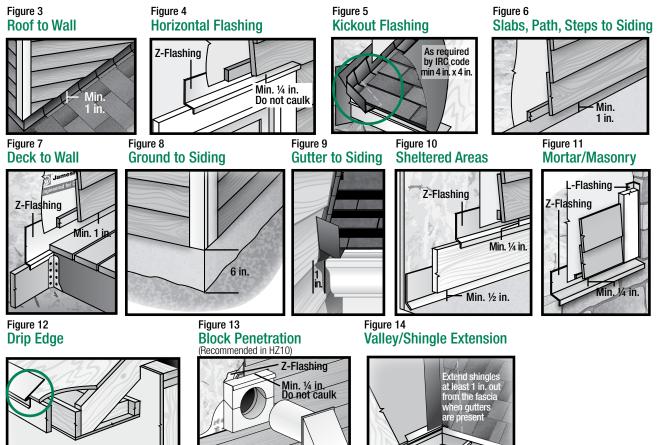
SELECT CEDARMILL® I SMOOTH I BEADED CEDARMILL® I BEADED SMOOTH I CUSTOM COLONIAL™ SMOOTH I CUSTOM COLONIAL™ ROUGHSAWN

Visit jameshardiepros.com for the most recent version.

HS11119 P1/4 12/19

JamesHardie

CLEARANCE AND FLASHING REQUIREMENTS



FASTENER REQUIREMENTS*

Refer to the applicable ESR report online to determine which fastener meets your wind load design criteria.

Blind Nailing is the preferred method of installation for HardiePlank[®] lap siding products. Face nailing should only be used where required by code for high wind areas and must not be used in conjunction with Blind nailing (Please see JH Tech bulletin 17 for exemption when doing a repair).

BLIND NAILING

Nails - Wood Framing

- Siding nail (0.09 in. shank x 0.221 in. HD x 2 in. long)
- 11ga. roofing nail (0.121 in. shank x 0.371 in. HD x 1.25 in. long)

Screws - Steel Framing

- Ribbed Wafer-head or equivalent (No. 8 x 1 1/4 in. long
- x 0.375 in. HD) Screws must penetrate 3 threads into metal framing.

Nails - Steel Framing

• ET & F Panelfast® nails or equivalent (0.10 in. shank x 0.313 in. HD x 1-1/2 in. long) Nails must penetrate minimum 1/4 in. into metal framing.

OSB minimum 7/16 in.

- Siding nail (0.09 in. shank x 0.215 in. HD x 1-1/2 in. long
- Ribbed Wafer-head or equivalent (No. 8 x 1 5/8 in. long x 0.375 in. HD).

FACE NAILING

Nails - Wood Framing

- 6d (0.113 in. shank x 0.267 in. HD x 2 in. long)
- Siding nail (0.09" shank x 0.221" HD x 2" long)

Screws - Steel Framing

 Ribbed Bugle-head or equivalent (No. 8-18 x 1-5/8 in. long x 0.323 in. HD) Screws must penetrate 3 threads into metal framing.

Nails - Steel Framing

• ET & F pin or equivalent (0.10 in. shank x 0.25 in. HD x 1-1/2 in. long) Nails must penetrate minimum 1/4 in. into metal framing.

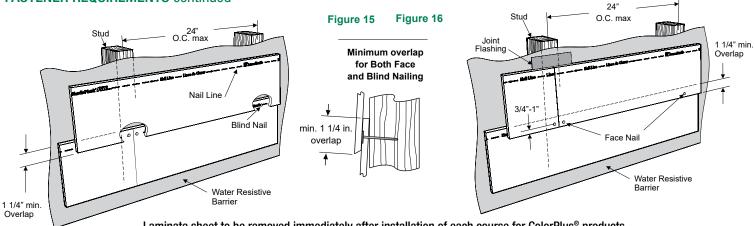
OSB minimum 7/16 in.

• Siding nail (0.09 in. shank x 0.221 in. HD x 1-1/2 in. long)

*Also see General Fastening Requirements; and when considering alternative fastening options refer to James Hardie's Technical Bulletin USTB 5 - Fastening Tips for HardiePlank Lap Siding.



FASTENER REQUIREMENTS continued



Laminate sheet to be removed immediately after installation of each course for ColorPlus® products.

Pin-backed corners may be done for aesthetic purposes only. Finish nails are recommended for pin-backs. Headed siding nails are allowed. Place pin-backs no closer than 1 in. from plank ends and 3/4 in. from plank edge into min. 3/8 in. wood structural panel. Pin-backs are not a substitute for blind or face nailing.

GENERAL FASTENING REQUIREMENTS

Fasteners must be corrosion resistant, galvanized, or stainless steel. Electro-galvanized are acceptable but may exhibit premature corrosion. James Hardie recommends the use of quality, hot-dipped galvanized nails. James Hardie is not responsible for the corrosion resistance of fasteners. Stainless steel fasteners are recommended when installing James Hardie[®] products near the ocean, large bodies of water, or in very humid climates.

Manufacturers of ACQ and CA preservative-treated wood recommend spacer materials or other physical barriers to prevent direct contact of ACQ or CA preservative-treated wood and aluminum products. Fasteners used to attach HardieTrim Tabs to preservative-treated wood shall be of hot dipped zinc-coated galvanized steel or stainless steel and in accordance to 2009 IRC R317.3 or 2009 IBC 2304.9.5

- Consult applicable product evaluation or listing for correct fasteners type and placement to achieve specified design wind loads.
- NOTE: Published wind loads may not be applicable to all areas where Local Building Codes have specific jurisdiction. Consult James Hardie Technical Services if you are unsure of applicable compliance documentation.
- Drive fasteners perpendicular to siding and framing.
- Fastener heads should fit snug against siding (no air space).
- NOTE: Whenever a structural member is present, HardiePlank should be fastened with even spacing to the structural member. The tables allowing direct to OSB or plywood should only be used when traditional framing is not available.

CUT EDGE TREATMENT

Caulk, paint or prime all field cut edges. James Hardie touch-up kits are required to touch-up ColorPlus products.

CAULKING

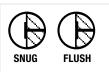
For best results use an Elastomeric Joint Sealant complying with ASTM C920 Grade NS, Class 25 or higher or a Latex Joint Sealant complying with ASTM C834. Caulking/Sealant must be applied in accordance with the caulking/sealant manufacturer's written instructions. **Note: some caulking manufacturers do not allow "tooling"**.

PAINTING

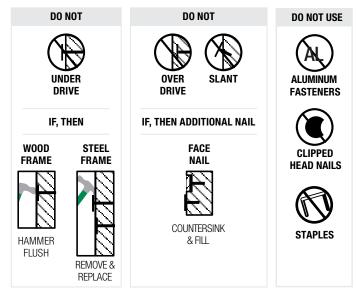
DO NOT use stain, oil/alkyd base paint, or powder coating on James Hardie[®] Products. Factory-primed James Hardie products must be painted within 180 days of installation. 100% acrylic topcoats are recommended. Do not paint when wet. For application rates refer to paint manufacturers specifications. Back-rolling is recommended if the siding is sprayed.

PNEUMATIC FASTENING

James Hardie products can be hand nailed or fastened with a pneumatic tool. Pneumatic fastening is highly recommended. Set air pressure so that the fastener is driven snug with the surface of the siding. A flush mount attachment on the pneumatic tool is recommended. This will help control the



depth the nail is driven. If setting the nail depth proves difficult, choose a setting that under drives the nail. (Drive under driven nails snug with a smooth faced hammer - Does not apply for installation to steel framing).





COLORPLUS® TECHNOLOGY CAULKING, TOUCH-UP & LAMINATE

- Care should be taken when handling and cutting James Hardie[®] ColorPlus[®] products. During installation use a wet soft cloth or soft brush to gently wipe off any residue or construction dust left on the product, then rinse with a garden hose.
- Touch up nicks, scrapes and nail heads using the ColorPlus® Technology touch-up applicator. Touch-up should be used sparingly.
- If large areas require touch-up, replace the damaged area with new HardiePlank® lap siding with ColorPlus® Technology.
- Laminate sheet must be removed immediately after installation of each course.
- Terminate non-factory cut edges into trim where possible, and caulk. Color matched caulks are available from your ColorPlus® product dealer.
- Treat all other non-factory cut edges using the ColorPlus Technology edge coaters, available from your ColorPlus product dealer.

Note: James Hardie does not warrant the usage of third party touch-up or paints used as touch-up on James Hardie ColorPlus products.

Problems with appearance or performance arising from use of third party touch-up paints or paints used as touch-up that are not James Hardie touch-up will not be covered under the James Hardie ColorPlus Limited Finish Warranty.

PAINTING JAMES HARDIE® SIDING AND TRIM PRODUCTS WITH COLORPLUS® TECHNOLOGY

When repainting ColorPlus products, James Hardie recommends the following regarding surface preparation and topcoat application:

• Ensure the surface is clean, dry, and free of any dust, dirt, or mildew

- · Repriming is normally not necessary
- 100% acrylic topcoats are recommended
- DO NOT use stain, oil/alkyd base paint, or powder coating on James Hardie® Products.
- Apply finish coat in accordance with paint manufacturers written instructions regarding coverage, application methods, and application temperature
- DO NOT caulk nail heads when using ColorPlus products, refer to the ColorPlus touch-up section

COVERAGE CHART/ESTIMATING GUIDE

Number of 12 ft. planks, does not include waste

COVERAGE AR	EA LESS OFFENINGS			, HARI	DIEPLANK	° LAP, SI	DING WID	ГН			
	EX ELOO OSCHIMAO		5 1/4		7 1/4			8 1/4	9 1/4	9 1/2	12
_	(1 SQ = 100 sq.ft.)	(exposure)	4	5	6	6 1/4	6 3/4	7	8	8 1/4	10 3/4
	1		25	20	17	16	15	14	13	13	9
	2		50	40	33	32	30	29	25	25	19
	3		75	60	50	48	44	43	38	38	28
	Ă		100	80	67	64	59	57	50	50	37
	5		125	100	83	80	74	71	63	63	47
	6		150	120	100	96	89	86	75	75	56
	7		175	140	117	112	104	100	88	88	65
	8		200	160	133	128	119	114	100	100	74
	9		200	180	150	144	133	129	113	113	84
	-		225	200	167	160	148				
	10 11							143	125	125	93
			275	220	183	176	163	157	138	138	102
	12		300	240	200	192	178	171	150	150	112
	13		325	260	217	208	193	186	163	163	121
	14		350	280	233	224	207	200	175	175	130
	15		375	300	250	240	222	214	188	188	140
	16		400	320	267	256	237	229	200	200	149
	17		425	340	283	272	252	243	213	213	158
	18		450	360	300	288	267	257	225	225	167
	19		475	380	317	304	281	271	238	238	177
	20		500	400	333	320	296	286	250	250	186

This coverage chart is meant as a guide. Actual usage is subject to variables such as building design. James Hardie does not assume responsibility for over or under ordering of product.

HS11119 P4/4 12/19

DANGER: May cause cancer if dust from product is inhaled. Causes damage to lungs and respiratory system through prolonged or repeated inhalation of dust from product. Refer to the current product Safety Data Sheet before use. The hazard associated with fiber cement arises from crystalline silica present in the dust generated by activities such as cutting, machining, drilling, routing, sawing, crushing, or otherwise abrading fiber cement, and when cleaning up, disposing of or moving the dust. When doing any of these activities in a manner that generates dust you must (1) comply with the OSHA standard for silica dust and/or other applicable law, (2) follow James Hardie cutting instructions to reduce or limit the release of dust; (3) warn others in the area to avoid breathing the dust; (4) when using mechanical saw or high speed cutting tools, work outdoors and use dust collection equipment; and (5) if no other dust controls are available, wear a dust mask or respirator that meets NIOSH requirements (e.g. N-95 dust mask). During clean-up, use a well maintained vacuum and filter appropriate for capturing fine (respirable) dust or use wet clean-up methods - never dry sweep.

A WARNING: This product can expose you to chemicals including respirable crystalline silica, which is known to the State of California to cause cancer. For more information go to <u>P65Warnings.ca.gov</u>.

RECOGNITION: I In accordance with ICC-ES Evaluation Report ESR-2290, HardiePlank® lap siding is recognized as a suitable alternate to that specified in the 2006, 2009, 2012 & 2015 International Residential Code for One and Two-Family Dwellings, and the 2006, 2009, 2012 & 2015 International Residential Code for One and Two-Family Dwellings, and the 2006, 2009, 2012 & 2015 International Residential Code for One and Two-Family Dwellings, and the 2006, 2009, 2012 & 2015 International Residential Code for One and Two-Family Dwellings, and the 2006, 2009, 2012 & 2015 International Residential Code for One and Two-Family Dwellings, and the 2006, 2009, 2012 & 2015 International Residential Code for One and Two-Family Dwellings, and the 2006, 2009, 2012 & 2015 International Residential Code for One and Two-Family Dwellings, and the 2006, 2009, 2012 & 2015 International Residential Code for One and Two-Family Dwellings, and the 2006, 2009, 2012 & 2015 International Residential Code for One and Two-Family Dwellings, and the 2006, 2009, 2012 & 2015 International Residential Code for One and Two-Family Dwellings, and the 2006, 2009, 2012 & 2015 International Residential Code for One and Two-Family Dwellings, and the 2006, 2009, 2012 & 2015 International Residential Code for One and Two-Family Dwellings, and the 2006, 2009, 2012 & 2015 International Residential Code for One and Two-Family Dwellings, and the 2006, 2009, 2012 & 2015 International Residential Release 1263f, Texas Department of Insurance Product Evaluation EC-23, City of New York MEA 223-93-M, and California DSA PA-019. These documents should also be consulted for additional information concerning the suitability of this product for specific applications.



HOLCIM

1. Product Name

Custom Stucco Cement

2. Manufacturer

Holcim (US) Inc. 6211 North Ann Arbor Road P.O. Box 122 Dundee, Ml 48131 Phone: 888-646-5246 734-529-2411 Fax: 734-529-4110 E-mail: ask@holcim.com www.holcim.us Web:

3. Product Description

Basic Use

Custom Stucco Cement is a formulated cementitious material manufactured to be used in producing masonry mortars for scratch, brown and finish coat applications as defined in ASTM C926. It can be used in a variety of interior and exterior architectural applications.



Composition and Materials

Custom Stucco Cement is composed of portland cement, plasticizers, ground limestone and air entraining additives. The above ingredients are combined and processed at LafargeHolcim US manufacturing facilities under controlled conditions to ensure uniform performance.

Sizes

Custom Stucco Cement, Type S is packaged in 36 kilogram (79.4 pound) bags.

Benefits

- Excellent workability for easy application
- Provides excellent board life, water retention, compressive strength, durability and finished appearance

4. Technical Data

Applicable Standards

ASTM International

- ASTM C897 Standard Specification for Aggregate for Job- Mixed Portland Cement-Based Plasters
- ASTM C926 Standard Specification for Application of Portland Cement-Based Plaster
- ASTM C1328 Standard Specification for Plastic (Stucco) Cement

Physical/Chemical Properties

- Custom Stucco Cement is manufactured to meet ASTM C1328 requirements for a Type S cement
- Custom Stucco Cement, when mixed with the ASTM C926 recommended volume of sand meeting ASTM C897, will comply with the applicable plaster mixes listed in Table 1 of ASTM C926
- Custom Stucco Cement is manufactured to facilitate easy application, ability to be rodded (straight edged) to true planes and texturing for a variety of architectural finishes
- Custom Stucco Cement provides excellent strength and durability





5. Installation

Preparatory Work

Custom Stucco Cement should be mixed according to ASTM C926. Machine mixing is highly recommended. Mixing instructions are printed on each bag and shown below:

- Use 1 bag Custom Stucco to the appropriate aggregate volume listed in Table 2 or 3 in ASTM C926; use sand conforming to ASTM C897
- First add approximately 3/4 of the desired volume of mix water, then add 1/2 the sand and then 1 bag of Custom Stucco to the mixer
- Finally, add the rest of the sand and remaining mix water sufficient to achieve the desired field workablity and uniform color
- The combined materials should mixed for 3–5 minutes after all materials are in the mixer

Precautions

Performance

- Inadequate mixing will reduce the quality of stucco
- Re-tempering should be done only once
- Stucco should be discarded after 1-1/2 hours from initial mixing if it has not been used

Safety

Avoid direct contact with the skin. If contact occurs, wash skin with water as soon as possible. Exposure of sufficient duration to wet Custom Stucco Cement can cause serious and potentially irreversible tissue destruction in the form of chemical burns. If Custom Stucco gets into the eyes, immediately flush eyes thoroughly with water and seek medical attention.

For more complete information, reference is made to the applicable Safety Data Sheets (SDS), which should be consulted prior to use of this product. These SDS are available at www.holcim.us

6. Availability and Cost

Availability: Custom Stucco Cement is available throughout most of the United States. Contact manufacturer for information about local availability.

Cost Pricing information can be obtained from the nearest Holcim Sales Office.

7. Warranty

Upon request, Holcim US can provide Material Certification Reports demonstrating that Custom Stucco Cement meets applicable ASTM standards. Holcim will not guarantee finish work, having no control over use of this product. Holcim shall not be responsible for condition of cement after delivery to a dealer or distributor.

8. Maintenance

In areas where cleaners and sealers are used, proper instructions should be followed. Contact the appropriate product manufacturer before application.

9. Technical Services

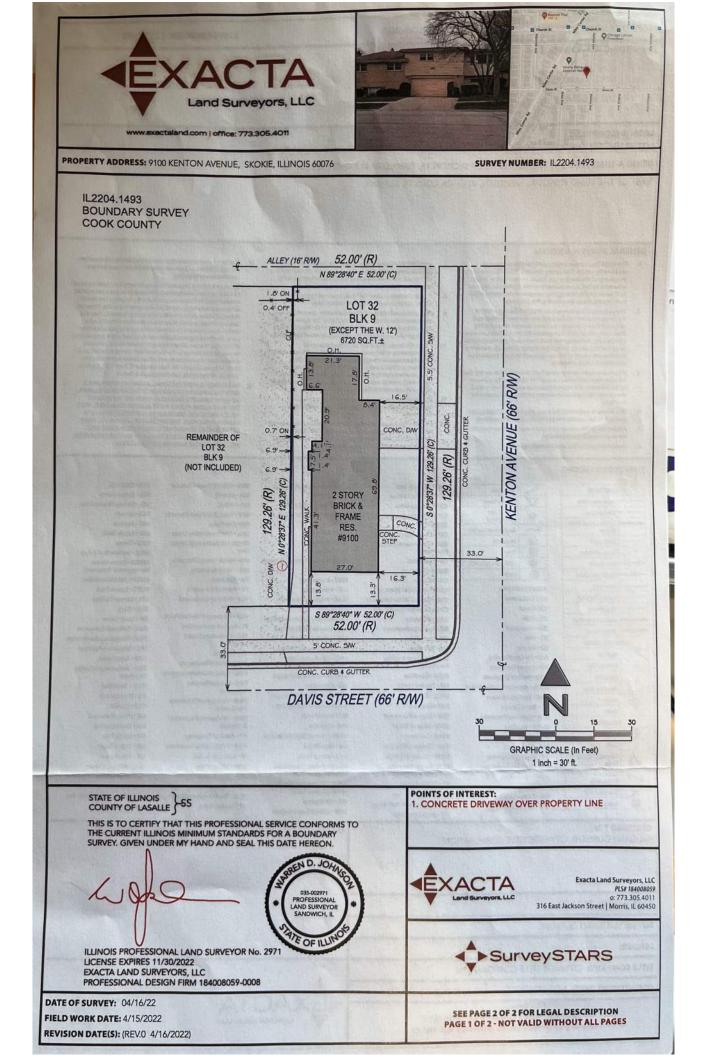
Technical service is available by contacting the nearest Holcim Sales Office at (888) 646-5246. With advance notice, technical service can be provided at jobsite locations.

For questions on any technical information contained in this document, contact a Holcim Technical Service Engineer for further detail.

10. Filing Systems

Additional product information is available from the manufacturer.

Corporate HeadquartersCorporate OfficeHolcim US6211 Ann Arbor Road8700 Bryn Mawr AvenueP.O. Box 122Chicago, IL 60631Dundee, MI 48131(888) 646-5246(888) 646-5246



PROPERTY ADDRESS: 9100 KENTON AVENUE, SKOKIE, ILLINOIS 60076

JOB SPECIFIC SURVEYOR NOTES:

SURVEY NUMBER: 11,2204,1493

LEGAL DESCRIPTION:

LOT 32 (EXCEPT THE WEST 12 FEET) IN BLOCK 9 IN KRENN AND DATO'S DEVONSHIRE MANOR, BEING A SUBDIVISION IN THE SOUTH 1/2 OF SECTION 15, TOWNSHIP 41 NORTH, RANGE 13, EAST OF THE THIRD PRINCIPAL MERIDIAN, IN COOK COUNTY, ILLINOIS.

GENERAL SURVEYOR NOTES:

- NERAL SURVEYOR NOTES: The Legal Description used to perform this survey was supplied by others. This survey does not determine ner imply ownership of the lands or any fences shown hereon. Unless otherwise noted, an examination of the abstract of title was NOT performed by the signing surveyor to determine which instruments, if any, are affecting this property. The purpose of this survey is to establish the boundary of the lands described by the legal description provided and to depict the visible improvements thereon for a pending financial transaction. Underground footings, utilities, or other eavice lines, including roof eave overhangs were not located as part of this survey. Unless specifically stated otherwise the purpose and intent of this survey is not for any construction activities of roture planning. If there is a septic tank or drain field shown on this survey, the location depicted hereon was either shown to the surveyor by a third party or it was estimated by visual above ground inspection. No excavation was performed to determine its location. 2

This survey is exclusively for a pending financial transaction and only to be used by the parties to whom it is certified.

Alterations to this survey map and report by other than the signing surveyor are prohibited.

ensions are in feet and decimals thereof.

- Any FEMA flood zone data contained on this survey is for informational purposes only. Research to obtain said data was performed at www.fema.gov and may not reflect the most recent information.
- 8
- Unless otherwise noted "SIR" indicates a set iron rebar, 5/8 inch in diameter and twenty-four inches long. The symbols reflected in the legend and on this survey may have been enlarged or reduced for clarity. The symbols have been plotted at the approximate center of the field location and may not represent the actual shape or size of the feature. 9.
- and may not represent the actual shape of last of weakers. Points of interest (POI') are select above-ground improvements, which may appear in conflict with boundary, building setback or easement lines, as defined by the parameters of this survey. These POI's may not represent all items of interest to the viewer. There may be additional POI's which are not shown or called-out as POI's, or which are otherwise unknown to the surveyor. 10.
- Utilities shown on the subject property may or may not Indicate the existence of recorded or unrecorded utility 11.
- The information contained on this survey has been performs exclusively by and is the sole responsibility of Exacts Land Surveyor, LLC: Additional logos or references to third party firms are for informational purposes only.

- Due to varying construction standards, building dimension are approximate and are not intended to be used for new construction or planning.
 - are approximate and article instructions to be a construction or planning. Surveyor bearings are used for angular reference and are used to show angular relationships of lines only and are not related er orientated to true or magnetic north. Bearings are shown as surveyor bearings, and when shown as matching those on the subdivision plats on which this survey is based, they are to be deemed no more accurate as the determination of a north orientation made on and for those original subdivision plats. North 80 degrees East is assumed and upon preparation of this plat. North 80 degrees East is assumed and upon preparation of this plat. North 80 degrees East is assumed and upon preparation of this glat. He resulting bearing between found points as shown on this survey is the basis of said surveyor bearings as defined and required to be noted by Illinois Administrative Code Title 68, Chapter VII, Sub-Chapter R, Part 1270, Section 1270-56, Paragraph 6, Sub-Paragraph 6, Imm k. THIS SURVEY IS A PROFESSIONAL SERVICE IN COMPLIANCE WTH THE MINIMUM STANDARDS OF THE STATE OF LLINOIS. NO IMPROVEMENTS SINCILD BE MADE ON THE BASIS OF THIS PLAT ALONE. PLASE REFER ALSO TO YOUR DEED, TITLE POLICY AND LOCAL ORDINANCES. COPRIGHT BY EAACTA.
- 15 THIS PLAT ALURE, PLOSE REPORTS TO TO TOP TO THE PLAT ALURE, PLOSE REPORTS TO THE PLOY AND THE PLOY AND THE PLOY AND THE PLOY AND THE PLATTERS TO WHICH IT IS CERTIFIED, PLEASE DIRECT QUESTIONS OR COMMENTS TO EXACTA ILLINOIS SURVEYORS, INC. AT THE PHONE NUMBER SHOWN HEREON.

SURVEYOR'S LEGEND

3.

4.

5.

6. Dim

3

4

1

V

29	LINETYPES	440	Elevation	
		8	Fire Hydrant	
	Center Line	•	Find or Set Monument	
		-	Guywire or A	
	- Easement	0	Manhole	
-	Edge of Water	8	Tree	
<u> </u>	O- Iron Fence	\$	Utility or Ligh	
-OHL	- Overhead Lines	0	Well	
	- Structure	ABBREV	ATIONS	
-	Survey Tie Line	(C) - Calc	ulated	
	Vinyl Fence	(D) - Dee	d	
_	Wall or Party Wall	(F) - Field		
-	Wood Fence	(M) - Measured		
	SURFACE TYPES	(P) - Plat		
7//	Asphalt	(S) - Surve	Conditioning	
27	Brick or Tile	AE - Access Easement		
17.	Concrete	ANE - Anchor Easement		
:	Covered Area	ASBL - AC	cessory Setba	
~	Water	B/W - Bay	/Box Window	
TUTT	Wood	BC - Block Corner		
11115	al	BFP - Backflow Prevente		
•	SYMBOLS	BLDG - Bu	107703. No. 1	
•	Benchmark	BLK - Bloc		
q	Center Line	BM - Bend		
1	Central Angle or Delta	BR - Bearing Reference		
	Common	BRL - Build BSMT - Ba	ling Restriction	
1	Ownership	C-Curve	Jement	
4	Control Point	C/L-Cent	erLine	
	Catch Basin	C/P - Cove	a the second	

•	Find or Set Monument
_	Guywire or Anchor
0	Manhole
	Tree
à	Utility or Light Pole
õ	Well
-	ATIONS
- Deen Field - Mea Plat Surve - Arc Acces - Anc L - Ac - Bay Block - Back Block SG - Bu Block SG - Bu Block Searin Build T - Bas surve Cents	sured py Conditioning ss Easement thor Easement cessory Setback Line (Box Window Corner flow Preventer Ilding k homark ng Reference ling Restriction Line sement er Line
Cove	red Porch

C/S - Concrete Slab CATV - Cable TV Riser CB - Concrete Block CH - Chord Bearing CHIM - Chimney CLF - Chain Link Fence CME - Canal Maintenance CO - Clean Out CONC - Concrete COR - Corner CS/W - Concrete Sidewalk CUE - Control Utility Easement CVG - Concrete Valley Gutter D/W - Driveway DE - Drainage Easement **DF** - Drain Field DH - Drill Hole DUE - Drainage & Utility ELEV - Elevation EM - Electric Meter ENCL - Enclosure ENT - Entrance EOP - Edge of Pavement EOW - Edge of Water ESMT - Easement EUB - Electric Utility Box F/DH - Found Drill Hole FCM - Found Concrete hent FF - Finished Floor FIP - Found Iron Pipe FIPC - Found Iron Pipe & Cap FIR - Found Iron Rod

FN - Found Nail FN&D - Found Nall & Disc FRRSPK - Found Rall Road Spike GAR-Garage GM - Gas Meter ID - Identification IE/EE - Ingress/Egress Easement ILL - Illegible INST - Instrument INT - Intersection IRRE - Irrigation Easement L-Length LAE - Limited Access Easement LB# - License No. (Business) LBE - Limited Buffer Easement LE - Landscape Easement LME - Lake/Landscape Maintenance Easement LS# - License No. (Surveyor) MB - Map Book **ME** - Maintenance Easement MES - Mitered End Section MF - Metal Fence MH - Manhole MHWL - Mean High Water Line NR - Non-Radial NTS - Not to Scale NAVD88 - North American Vertical Datum 1988 NGVD29 - National Geodetic Vertical Datum 1929 OG - On Ground

ORB - Official Records Book

FLOOD ZONE INFORMATION:

FIRC - Found Iron Rod & Cap

ORV - Official Record Volume O/A - Overall 0/5 - Offset OFF - Outside Subject Property OH - Overhang OHL - Overhead Utility Lines OHWL - Ordinary High Water **ON - Inside Subject Property** P/E - Pool Equipment PB - Plat Book PC - Point of Curvature PCC - Point of Compound Curvature PCP - Permanent Control Point PI - Point of Intersection PLS - Professional Land Surveyor PLT - Planter POB - Point of Beginning POC - Point of Commencement PRC - Point of Reverse Curvature PRM - Permanent Reference PSM - Professional Surveyor & Mapper PT - Point of Tangency PUE - Public Utility Easement R - Radius or Radial R/W - Right of Way **RES** - Residential RGE-Range ROE - Roof Overhang Easement RP - Radius Point

S/W - Sidewalk SBL - Setback Line SCL - Survey Closure Line SCR - Screen SEC - Section SEP - Septic Tank SEW - Sev SIRC - Set Iron Rod & Cap SMWE - Storm Water Management Easement SN&D - Set Nall and Disc SQFT - Square Feet STL - Survey Tie Line STY - Story SV - Sewer Valve SWE - Sidewalk Easer TBM - Temporary Bench Mark TEL - Telephone Facilities TOB - Top of Bank TUE - Technological Utility Ease ent TWP - Township TX - Transformer TYP - Typical UE - Utility Easem UG - Underground UP - Utility Pole UR - Utility Riser VF - Vinyl Fence W/C - Witness Corner W/F - Water Filter WF - Wood Fence WM - Water Meter/Valve Box WV - Water valve

CERTIFIED TO:

HAUSHAD QUREISHI; CITTWIDE TITLE CC		10-R	
DATE SIGNED: 04/16/22			
BUYER: HAUSHAD QUREISHI			
LENDER:	C.B. C. D. D. P. C.	and the state of the second	a united and as
TITLE COMPANY: CITYWIDE TITLE CORP	ORATION		
COMMITMENT DATE: NOT REVIEWED	CLIENT FILE NO: 764799	EXACTA	Exacta Land Surveyors, LL PLS# 1840080
SEE PAGE 1 OF 2 FOR M PAGE 2 OF 2 - NOT VALID			0: 773.305.401 316 East Jackson Street Morris, IL 6045

	AGE OF ST	
N.	5 M R	(a)
	1888	ر در
(S)	Village of Village	
Ĭ,	OUNTY I	\checkmark

Village of Skokie APPEARANCE COMMISSION APPLICATION

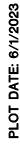
Community Development Department - Building & Zoning Division 5127 Oakton St. \$kokie, IL 60077 Phone 847/933-8223 Fax 847/933-8230

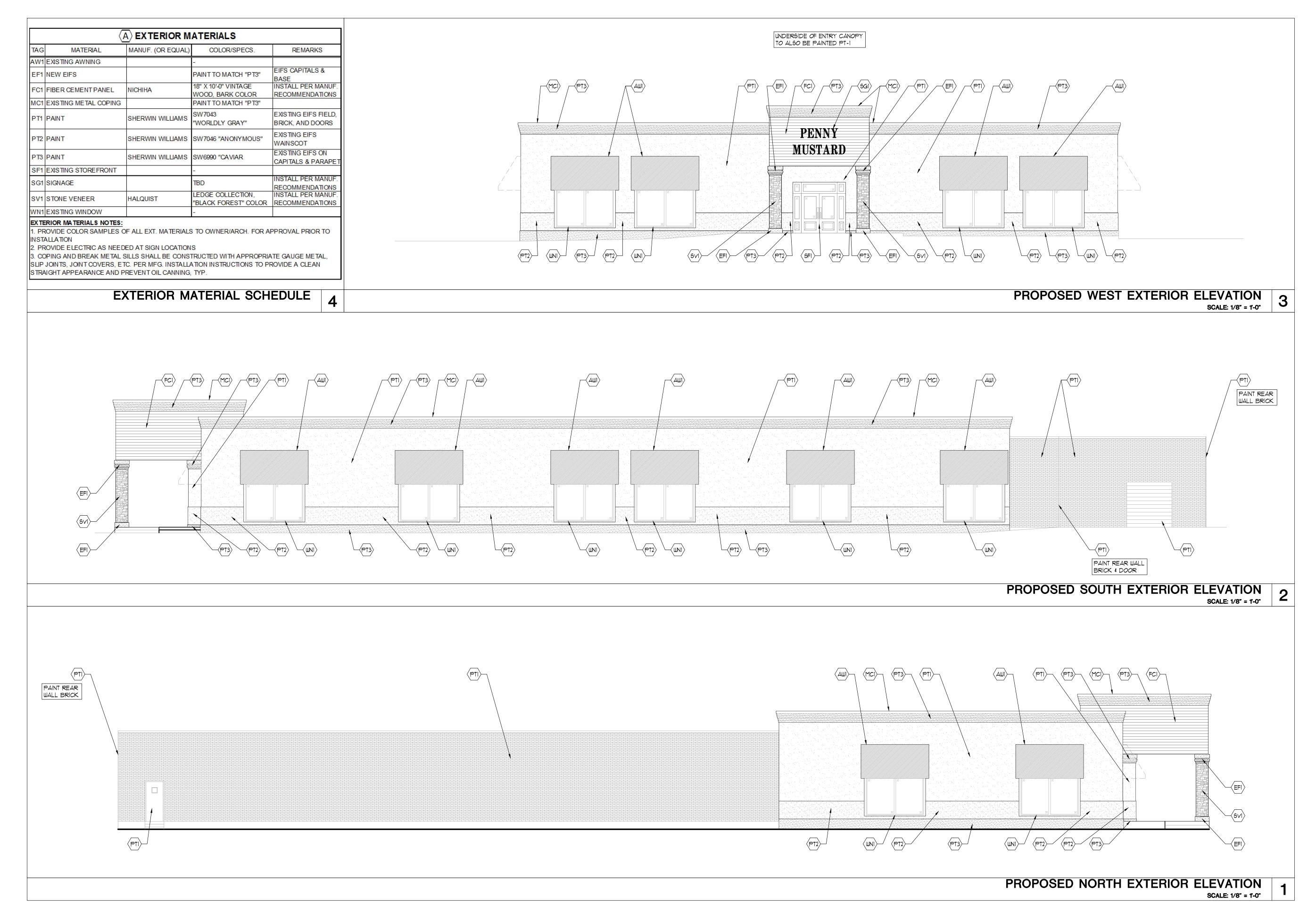
The Appearance Commission meets the 2nd Wednesday of each month at 7:30 p.m.

Until further notice, applications will only be accepted in a PDF format.

APPLICATION DATE: 8-23-2023	-
APPLICATION TYPE (Please check all that apply):	ion 📈 Façade 🗌 Signage 🔲 Other
LAND USE:	Use X Commercial Industrial I Other
SUBJECT ADDRESS: 10001 SKOKIE BLVT	2
OWNER INFORMATION: NAME(S): <u>PENNY MUSTARP FURNISHING</u> ADDRESS: <u>6800 INPUSTRIAL LOOP</u> CITY, S PHONE#: <u>414 659 0439 (CODY RUD)</u> EMAIL	
	IE PHONE #: 847 983 8383
EMAIL: NKARCHITECT @USA.COM SIGNAT	11 - the state of
Please submit the following PDFs to appearance@skokie.org to comp	plete your digital-only application:
 Elevations, floor plans, and site plans. Scale 1/2" = 1'-0" is pre than 5MB, multiple emails are allowed. Ensure "Appearance address are in the subject line of the email. Color elevations of 	Commission PDF" and the project's property
2. Completed Zoning Information Worksheet (residential projects	s only)
3. Photographs (all sides of the subject building and the fronts o	f neighboring buildings)
 Excerpts of brochures and/or cut sheets of new materials and existing materials and colors can be confirmed with the submit 	colors proposed for the project. Matching itted photographs.
5. Plat of Survey	
*** The Building, Zoning, will not take in or hold material or color sam *** Visit <u>https://www.skokie.org/357/Appearance-Commission</u> to acc	nples. ess the staff report prior to the meeting.
Fee Schedule	
Residential Site (new) \$100 plus \$50.00 per unit	
	quare feet (based on square footage of building)
* Any non-residentially zoned site (Business, Industrial, Mixed-Use districts)	¢50.00
Any Other Appearance Review (Additions, Façade, Sign Package, etc.) If you have already paid for a preliminary plan review there is no charge.	φου.υυ
For Office Use Only:	
	k#

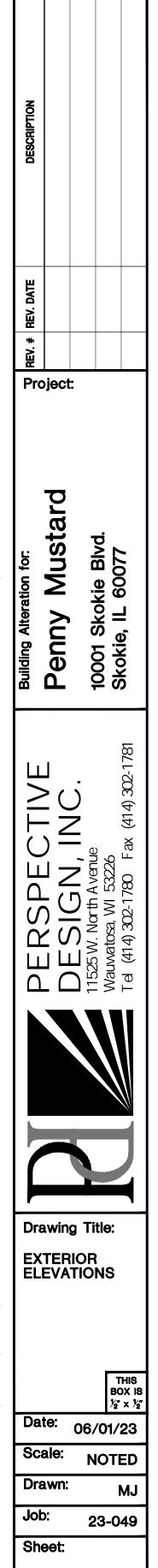
Any required fees or monies owed by the applicant to the Village must be paid as a condition of approval.







IZE













Village of Skokie APPEARANCE COMMISSION APPLICATION

Community Development Department - Building & Zoning Division 5127 Oakton St. Skokie, IL 60077 Phone 847/933-8223 Fax 847/933-8230

The Appearance Commission meets the 2nd Wednesday of each month at 7:30 p.m.

Until further notice, applications will only be accepted in a PDF format.

APPLICATION DATE: 7/27/2023
APPLICATION TYPE (Please check all that apply):
LAND USE:
SUBJECT ADDRESS: 9300 SKOKIE BIVD.
OWNER INFORMATION: NAME(S): OP Associates, LLC c/o Newcastle Properties ADDRESS: 1030 W. Higgins Rd. PHONE#: (847)685 - 9800 EMAIL: Jgeisel @newcastleproperties . Com
AGENT/PETITIONER INFORMATION (if other than owner): NAME(S): <u>Mehran Farahmandpour</u> DAYTIME PHONE #: <u>(312)961-3961 cell</u>
ADDRESS: 3996 Ovchard Lane City, STATE ZIP; Cong Grove 16 6004-1 EMAIL: Mehran@ Maemarbc.com SIGNATURE: Allerand fallering
Please submit the following PDFs to appearance@skokie.org to complete your digital-only application:
 Elevations, floor plans, and site plans. Scale ¼" = 1'-0" is preferred, but not required. If the file size is greater than 5MB, multiple emails are allowed. Ensure "Appearance Commission PDF" and the project's property address are in the subject line of the email. Color elevations or one color rendering is required.
2. Completed Zoning Information Worksheet (residential projects only)
3. Photographs (all sides of the subject building and the fronts of neighboring buildings)
 Excerpts of brochures and/or cut sheets of new materials and colors proposed for the project. Matching existing materials and colors can be confirmed with the submitted photographs.
5. Plat of Survey
*** The Building, Zoning, will not take in or hold material or color samples. *** Visit <u>https://www.skokie.org/357/Appearance-Commission</u> to access the staff report prior to the meeting.
Fee Schedule
Residential Site (new) \$100 plus \$50.00 per unit Non-Residential Site* (new) \$100 plus \$50.00 per 1,000 square feet (based on square footage of building) * Any non-residentially zoned site (Business, Industrial, Mixed-Use districts) Any Other Appearance Review (Additions, Façade, Sign Package, etc.) \$50.00 If you have already paid for a preliminary plan review there is no charge.
For Office Use Only: Case Number Meeting Date
Acct # NR Amt \$ Cash / Credit Card/ Check #

Any required fees or monies owed by the applicant to the Village must be paid as a condition of approval.







ORCHARD PLAZA - UNIT RENOVATION 9300 - 9304 SKOKIE RLVD. SKOKIE, ILLINOIS



IMAGE FROM GOOGLE EARTH



AREA OF WORK 4549 SF

DRAWING LIST

T-1	TITLE SHEET
A-1	EXIST/ DEMO PLA
A-2	EXIST/DEMO ELEV
A-3	PROPOSED FLOOP
	PROPOSED ELEVA
A-4(C PROPOSED COLO
	m
A-5	PROPOSED RCP
	PROPOSED RCP RESTROOM INTER
A-6	
A-6 A-7	RESTROOM INTER
A-6 A-7 M-1	RESTROOM INTER



2021 INTERNATIONAL BUILDING CODE W/ AMENDMENTS 2014 STATE OF ILLINOIS PLUMBING CODE 2020 NATIONAL ELECTRIC CODE W/ AMENDMENTS 2021 NATIONAL MECHANICAL CODE W/ AMENDMENTS 2018 ENERGY CONSERVATION CODE W/ ILLINOIS AMENDMENTS 2018 STATE OF ILLINOIS & FEDERAL ACCESSIBILITY CODES 2021 INTERNATIONAL FIRE CODE W/ AMENDMENTS / 2 2021 LIFE SAFETY CODE 2021 PROPERTY MAINTENANCE CODE W/ AMENDMENTS



AN

VATIONS

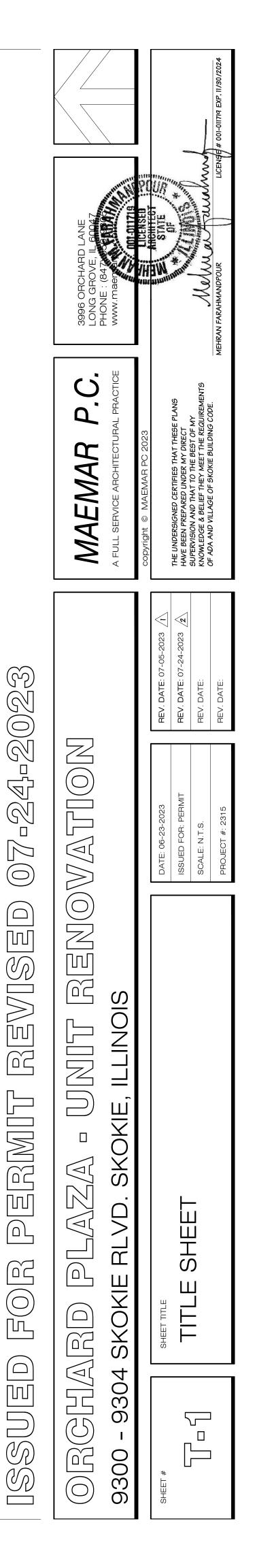
R PLAN

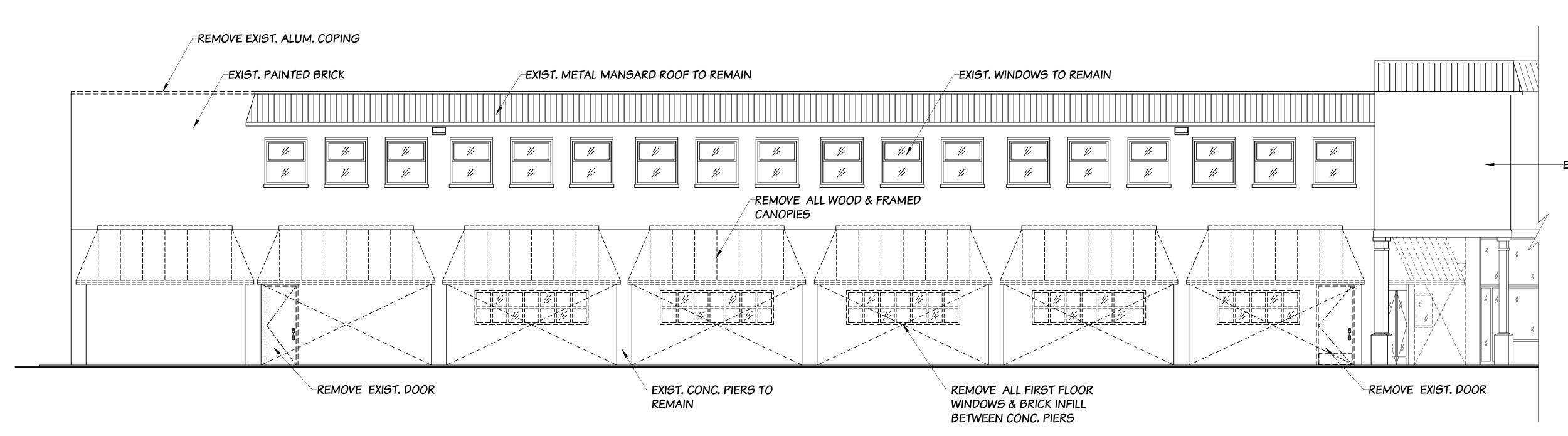
ATIONS & STOREFRONT TYPES OR ELEVATIONS

RIOR ELEVATIONS & DOOR SCHEDULE & DETAILS

NG PLAN I & RISER DIAGRAMS

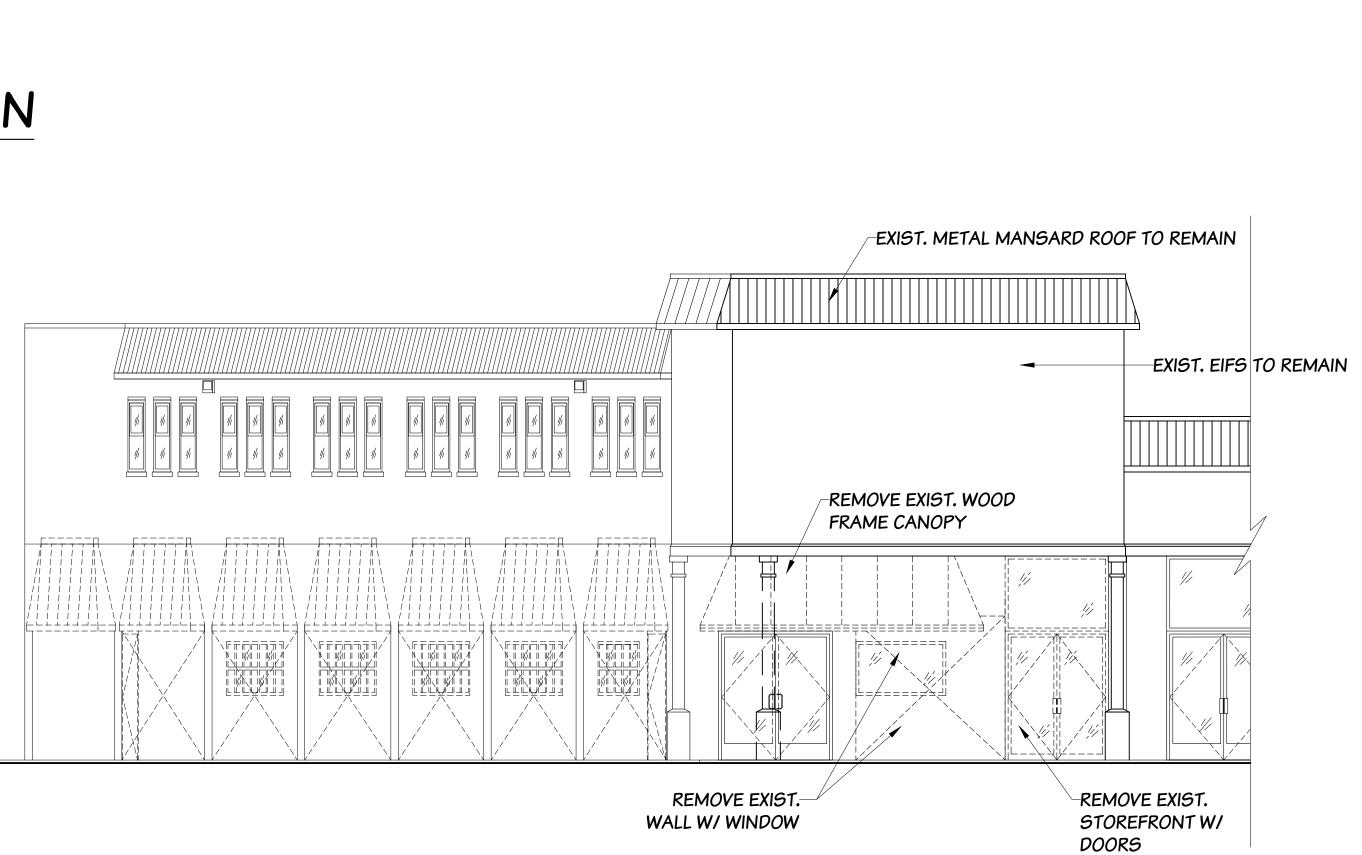
APPLICABLE CODES

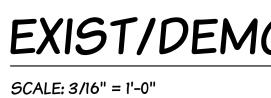




EXIST/DEMO SOUTH ELEVATION

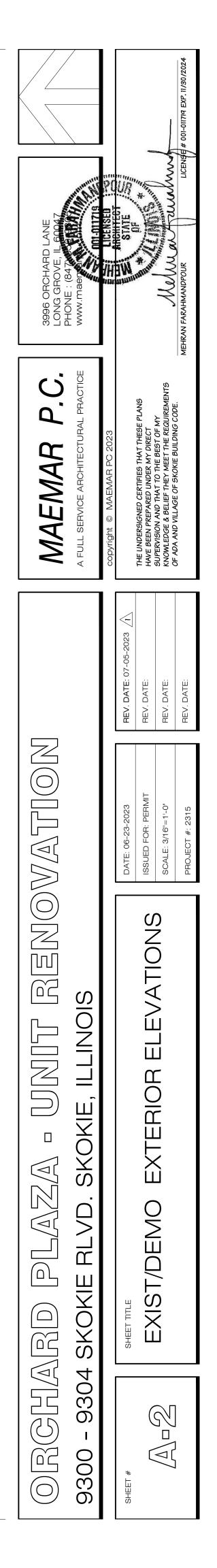
SCALE: 3/16" = 1'-0"

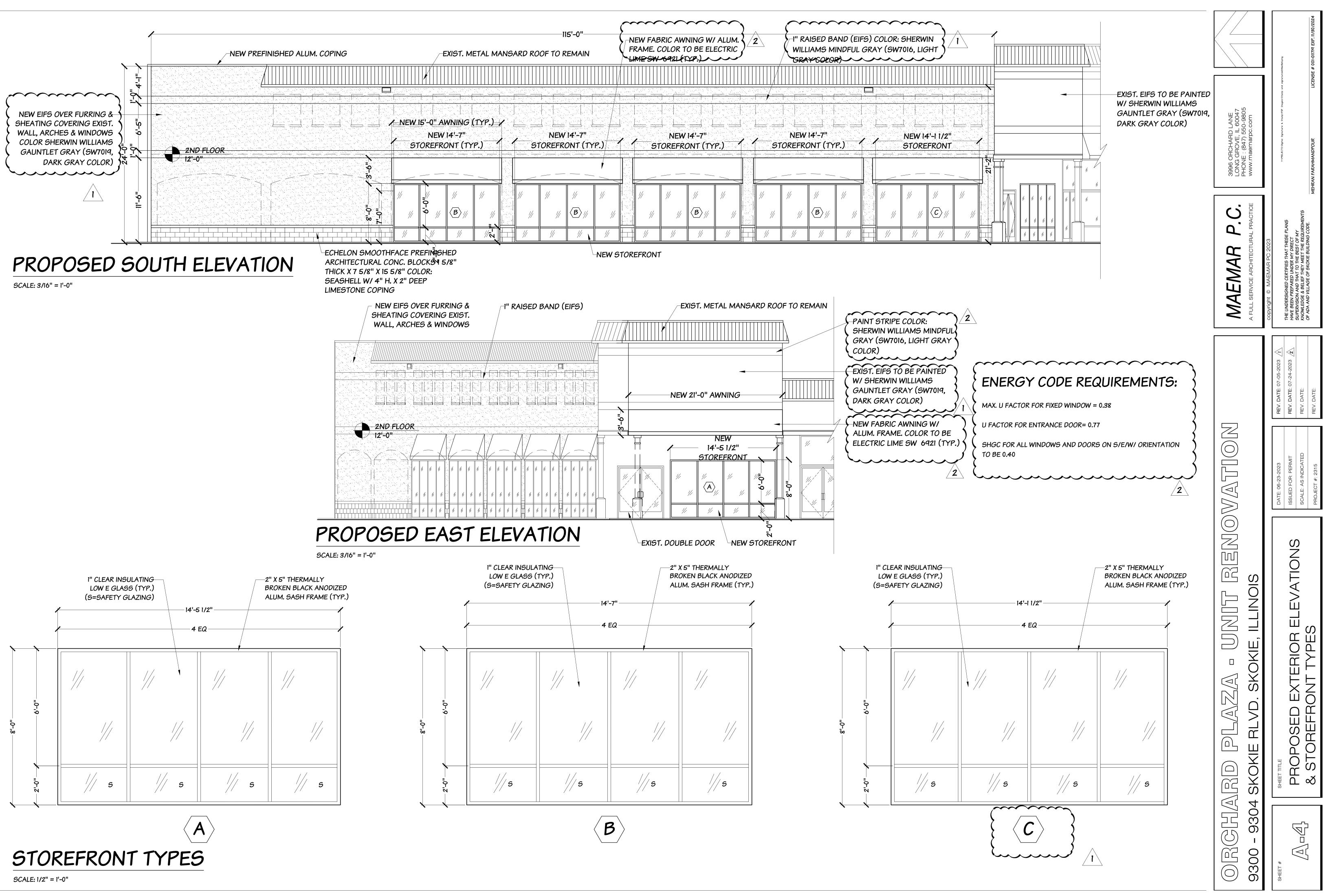


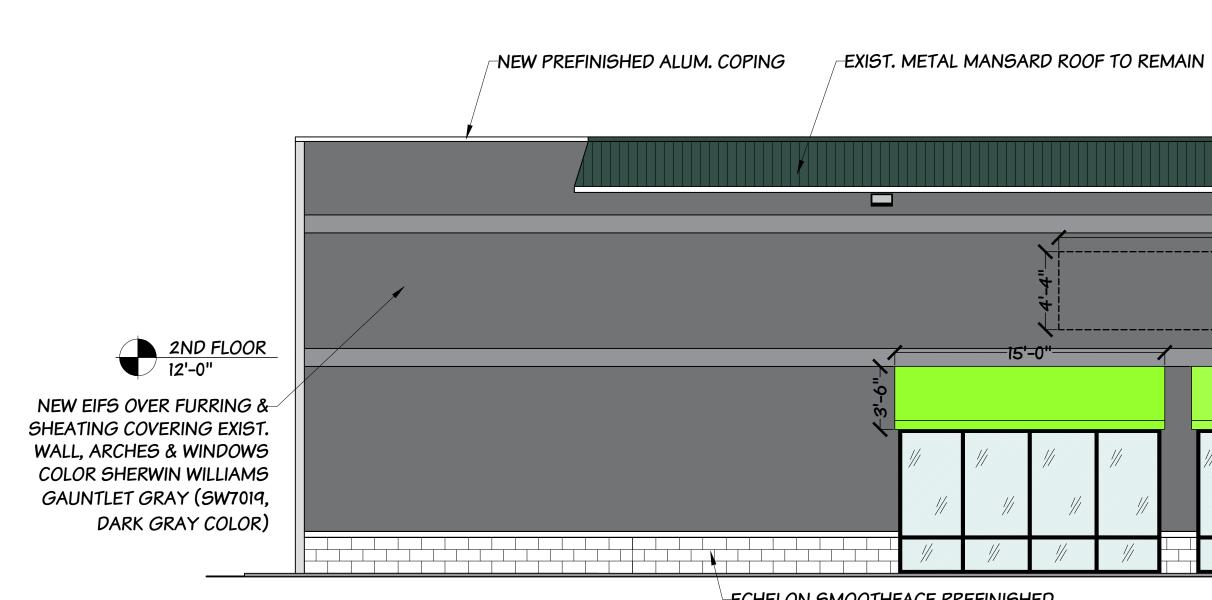


EXIST/DEMO EAST ELEVATION

-EXIST. EIFS TO REMAIN



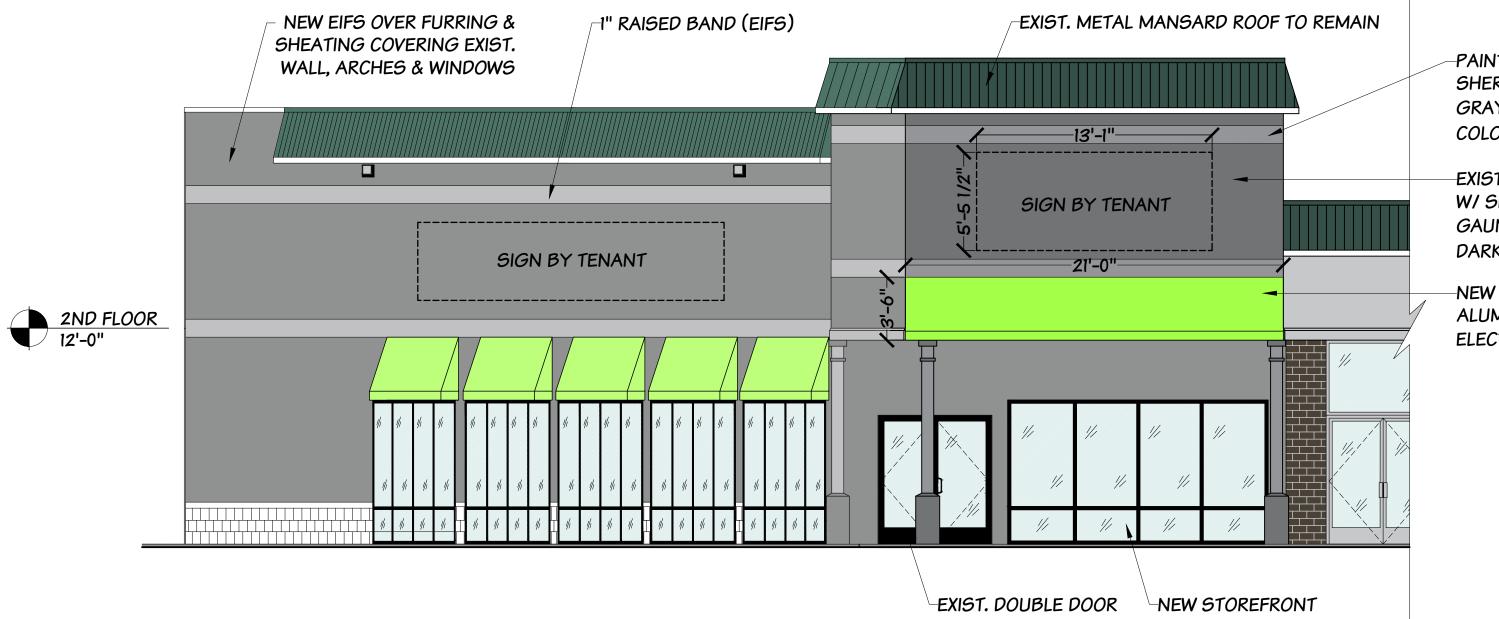




-ECHELON SMOOTHFACE PREFINISHED ARCHITECTURAL CONC. BLOCKS 1 5/8" THICK X 7 5/8" X 15 5/8" COLOR: SEASHELL W/ 4" H. X 2" DEEP LIMESTONE COPING

PROPOSED SOUTH ELEVATION

SCALE: 3/16" = 1'-0"





SCALE: 3/16" = 1'-0"

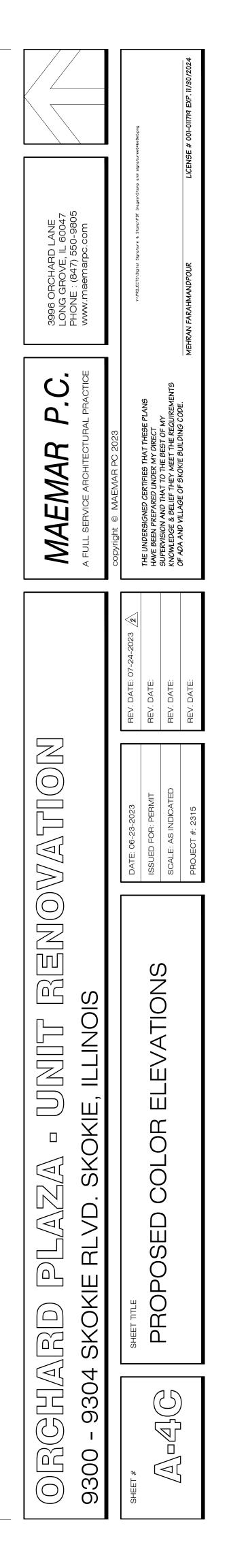
PAINT STRIPE COLOR: SHERWIN--NEW FABRIC AWNING W/ ALUM. -1" RAISED BAND (EIFS) COLOR: SHERWIN WILLIAMS MINDFUL GRAY FRAME. COLOR TO BE ELECTRIC LIME WILLIAMS MINDFUL GRAY (SW7016, LIGHT SW 6921 (TYP.) (SW7016, LIGHT GRAY COLOR) GRAY COLOR) 46'-3" SIGN BY TENANT

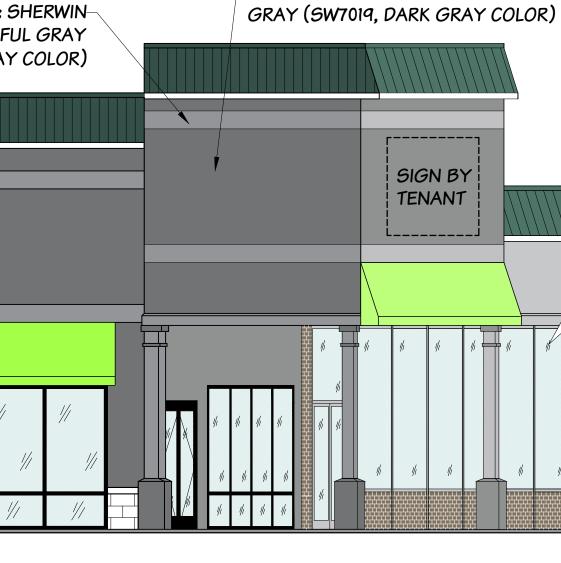
-NEW STOREFRONT

-PAINT STRIPE COLOR: SHERWIN WILLIAMS MINDFUL GRAY (SW7016, LIGHT GRAY COLOR)

EXIST. EIFS TO BE PAINTED W/ SHERWIN WILLIAMS GAUNTLET GRAY (SW7019, DARK GRAY COLOR)

-NEW FABRIC AWNING W/ ALUM. FRAME. COLOR TO BE ELECTRIC LIME SW 6921 (TYP.)





EXIST. EIFS TO BE PAINTED W/

SHERWIN WILLIAMS GAUNTLET

MAEMAR P.C.

SHEET NO

1

3996 RFD (ORCHARD LANE), LONG GROVE, IL 60047 PHONE : (847) 550-9805, www.maemarpc.com

August 4, 2023

Mr. Brian Augustine Zoning Administrator & Permit Supervisor Village of Skokie

Re: 9300 Skokie Blvd – Hassleless Mattress Appearance Review

Mr. Augustine;

Attached please find our application and related elevation drawings for above noted location. Also enclosed are a couple of file pictures taken a couple of months ago.

We are proposing, on behalf of Hassleless Mattress, to abandon the vacant second floor and cover all the windows, remove existing awnings, and remove the brick infills under the existing concrete archways of the existing wall at first floor. We are proposing to then add new storefront and cover the exterior south face of the building with a manufactured stone base and EIFS above. The EIFS colors, as well as the green awnings are nationally branded colors of Hassleless. The storefront and façade work are Landlord's scope of work while the signage and awnings are Tenant's scope of work.

Sincerely;

Mehran Farahmandpour Principal, Maemar PC (312) 961-3961 cell mehran@maemarpc.com





SMOOTH FACE

Seashell – Northfield



Village of Skokie APPEARANCE COMMISSION APPLICATION

Community Development Department - Building & Zoning Division 5127 Oakton St. Skokie, IL 60077 Phone 847/933-8223 Fax 847/933-8230

The Appearance Commission meets the 2nd Wednesday of each month at 7:30 p.m.

Until further notice, applications will only be accepted in a PDF format.

- APPLICATION DATE: August 8, 2023
- APPLICATION TYPE: Façade
- LAND USE: Commercial
- SUBJECT ADDRESS: 4832 Main Street, Skokie, IL 60077

OWNER INFORMATION:	Please print legibly.
NAME(S): Josephine Pangilinan	
ADDRESS: 505 N. Lakeshore Drive	CITY, STATE ZIP: <u>Chicago, IL 60611</u>
PHONE#: 312.671.0916	EMAIL: jo@11-eleven.net

AGENT/PETITIONER INFORMATION (if other than owner): NAME(S): N/A

Please submit the following PDFs to appearance@skokie.org to complete your digital-only application:

- 1. Elevations, floor plans, and site plans. Scale 1/2" = 1'-0" is preferred, but not required. If the file size is greater than 5MB, multiple emails are allowed. Ensure "Appearance Commission PDF" and the project's property address are in the subject line of the email. Color elevations or one color rendering is required.
- 2. Completed Zoning Information Worksheet (residential projects only)
- 3. Photographs (all sides of the subject building and the fronts of neighboring buildings)
- 4. Excerpts of brochures and/or cut sheets of new materials and colors proposed for the project. Matching existing materials and colors can be confirmed with the submitted photographs.
- 5. Plat of Survey

*** The Building, Zoning, will not take in or hold material or color samples.

*** Visit https://www.skokie.org/357/Appearance-Commission to access the staff report prior to the meeting.

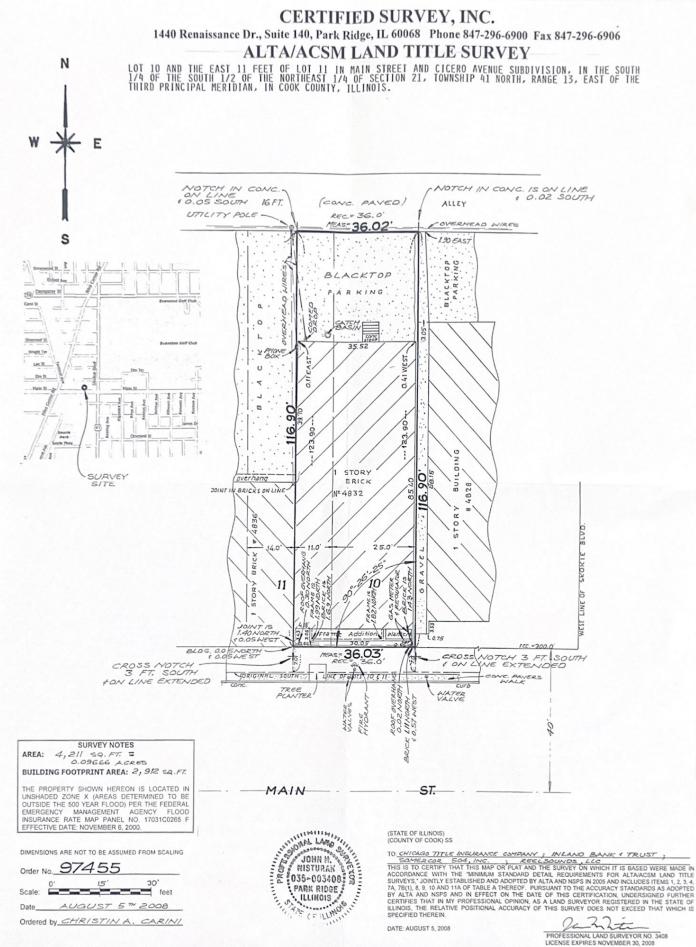
Fee Schedule

Residential Site (new)	\$100 plus \$50.00 per unit
Non-Residential Site* (new)	\$100 plus \$50.00 per 1,000 square feet (based on square footage of building)
* Any non-residentially zoned site (Business, Industrial, Mixed-Use districts)	
Any Other Appearance Review (Additions, Façade, Sign Package, etc.) \$50.00	
If you have already paid for a preliminary plan review there is no charge.	
For Office Use Only:	
Case Number	Meeting Date
Acct # NR Amt \$	Cash / Credit Card/ Check #

Any required fees or monies owed by the applicant to the Village must be paid as a condition of approval.

2023 Appearance Commission Schedule

Meeting Date	Submittal Deadline
January 11, 2023	December 28, 2022
February 8, 2023	January 25, 2023
March 8, 2023	February 22, 2023
April 26, 2023	April 12, 2023
May 10, 2023	April 26, 2023
June 14, 2023	May 31, 2023
July 12, 2023	June 28, 2023
August 9, 2023	July 26, 2023
September 13, 2023	August 30, 2023
October 11, 2023	September 27, 2023
November 8, 2023	October 25, 2023
December 20, 2023	December 6, 2023



12

11

10

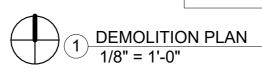
9

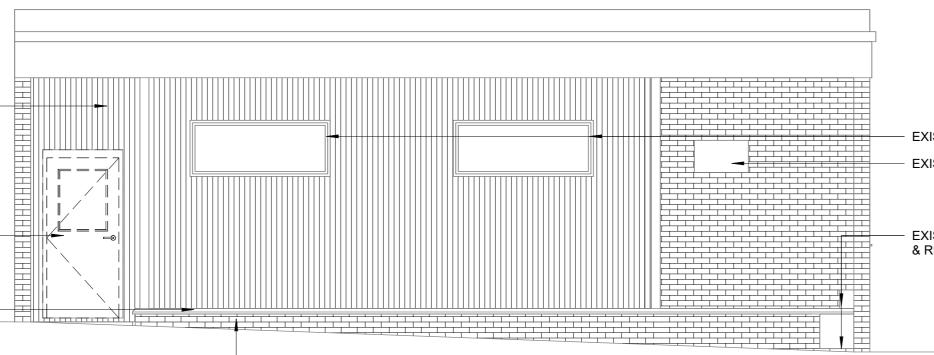
DEMOLISH EXIST'G WOOD CLAD'G

DEMOLISH EXIST'G DOOR

EXIST'G STONE COP'G TO REMAIN -

EXIST'G BRICK TO REMAIN



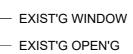


7

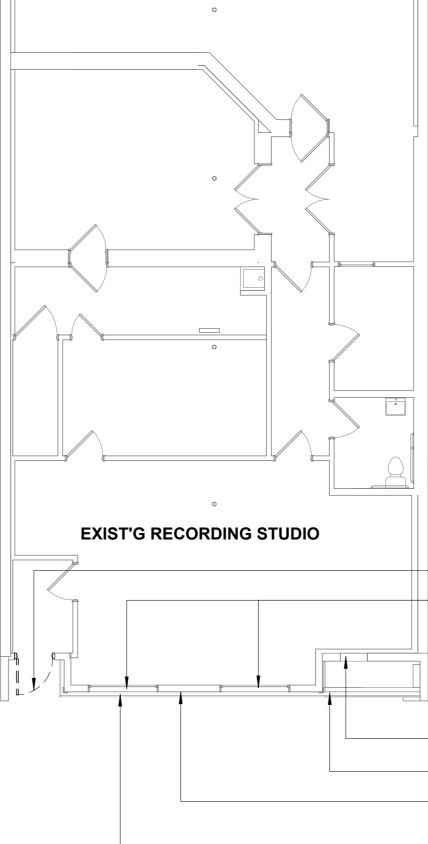
6

5

8



EXIST'G GAS METER & REGULATOR



0

P------



- EXIS'G BRICK TO REMAIN

- EXIST'G OPEN'G - EXIST'G STONE COP'G TO REMAIN - DEMOLISH EXIST'G WOOD CLAD'G

- DEMOLISH EXIST'G DOOR EXIST'G WINDOW TO REMAIN

2 1

3

4

ΛΙ		ſ	
		_ [J
	4	4D1	4D1.(

DEMOLITION PLAN & ELEVATION

revisions	s:			
		AC SUBMITTAL	•	08.22.2023
#		description		date
project:	1059			
drawn:	SES		date:	08.22.2023
checked:	-		scale:	As indicated
sheet [.]				

architects notes:

issue:

AC SUBMITTAL

_____ consultants:

INTERIOR REMODELING project address:

4832 MAIN STREET **SKOKIE, IL 60077**

architect:

owner: -

project name:

-

architects 4840 main street | skokie illinois 60077 office 847 . 829 . 0801 | fax 847 . 763 . 8708 info@acarchitects.net | www.acarchitects.net

PHOTOGRAPHS

12



11

FRONT ELEVATION OF THE PROPERTY



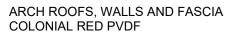
9

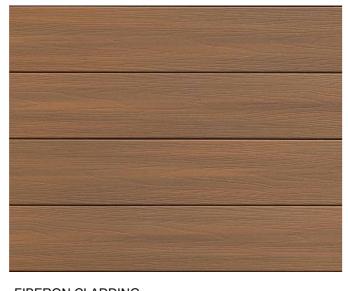
REAR ELEVATION OF THE PROPERTY

10

MATERIALS







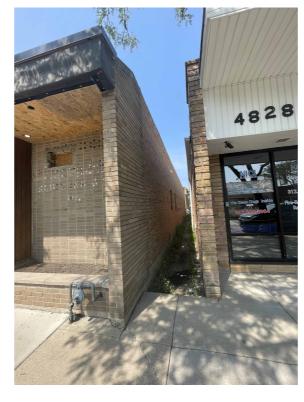
FIBERON CLADDING SAHARA COLLECTION, MULGA

COLOR ELEVATION AND MATERIAL DESCRIPTION





7



5



3

PARTIAL WEST ELEVATION

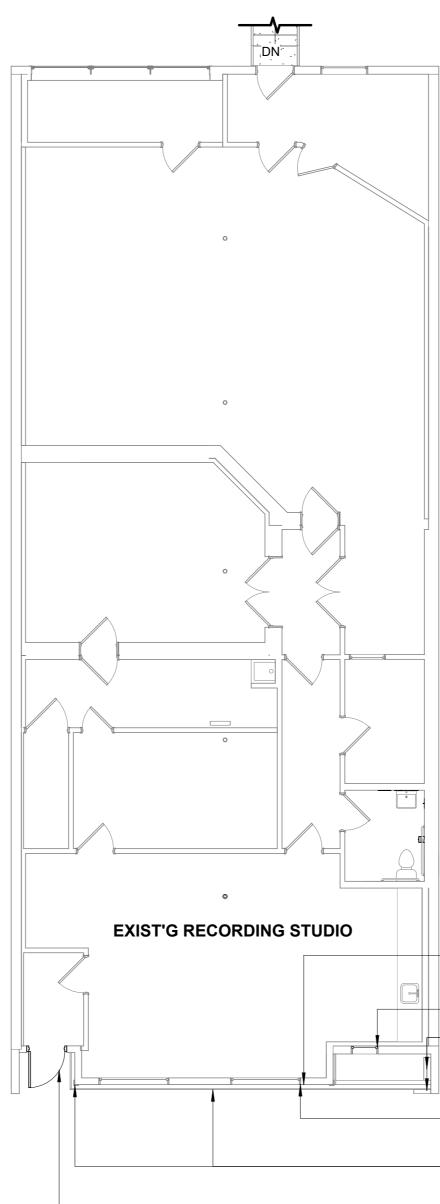
8

EAST ELEVATION

6

NEIGHBOR TO THE WEST SIDE

4



PTD EXIST'G WINDOW FRAME COLOR TO MATCH TRIM COLONIAL RED - EXIST'G STONE COP'G WRAPPED WITH TRIM COLONIAL RED

NEW WOOD CLAD'G
 FIBERON CLAD'G
 SAHARA COLLECTION, MULGA

EXIST'G GAS METER

& REGULATOR

RED

NEW WINDOWS IN EXIST'G OPEN'G

NEW SOLID DOOR COLOR TO MATCH TRIM COLONIAL



- ARCH ROOFS, WALLS AND FASCIA COLONIAL RED PVDF

NEW WINDOW IN EXIST'G OPEN'G

- FIBERON CLAD'G SAHARA COLLECTION, MULGA

PTD EXIST'G WINDOW FRAME

NEW SOLID DOOR

COLOR TO MATCH TRIM COLONIAL RED

COLOR TO MATCH TRIM COLONIAL RED

EXIST'G STONE COP'G TO REMAIN

EXIST'G BRICK TO REMAIN

NEIGHBOR TO THE EAST SIDE

2

1

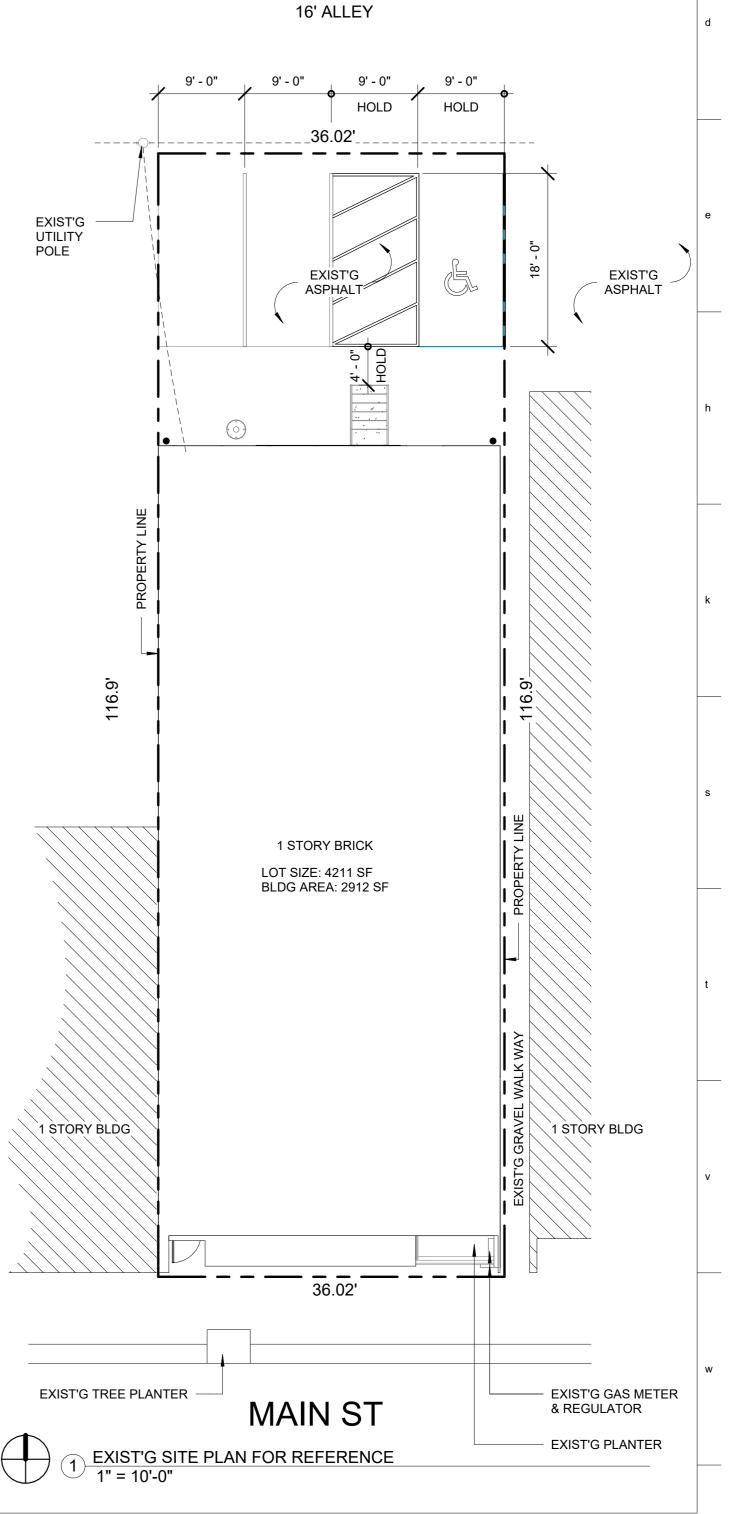


4832 MAIN STREET **SKOKIE, IL 60077** ownei

project name:

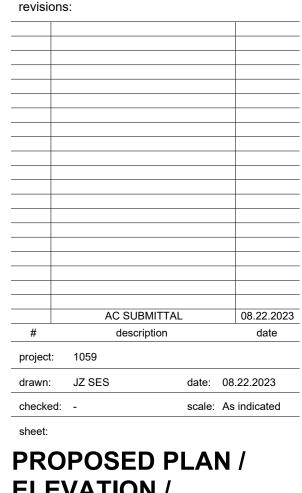
architect:

consultants:





architects notes:



ELEVATION / MATERIALS/ PHOTOS

A1.01

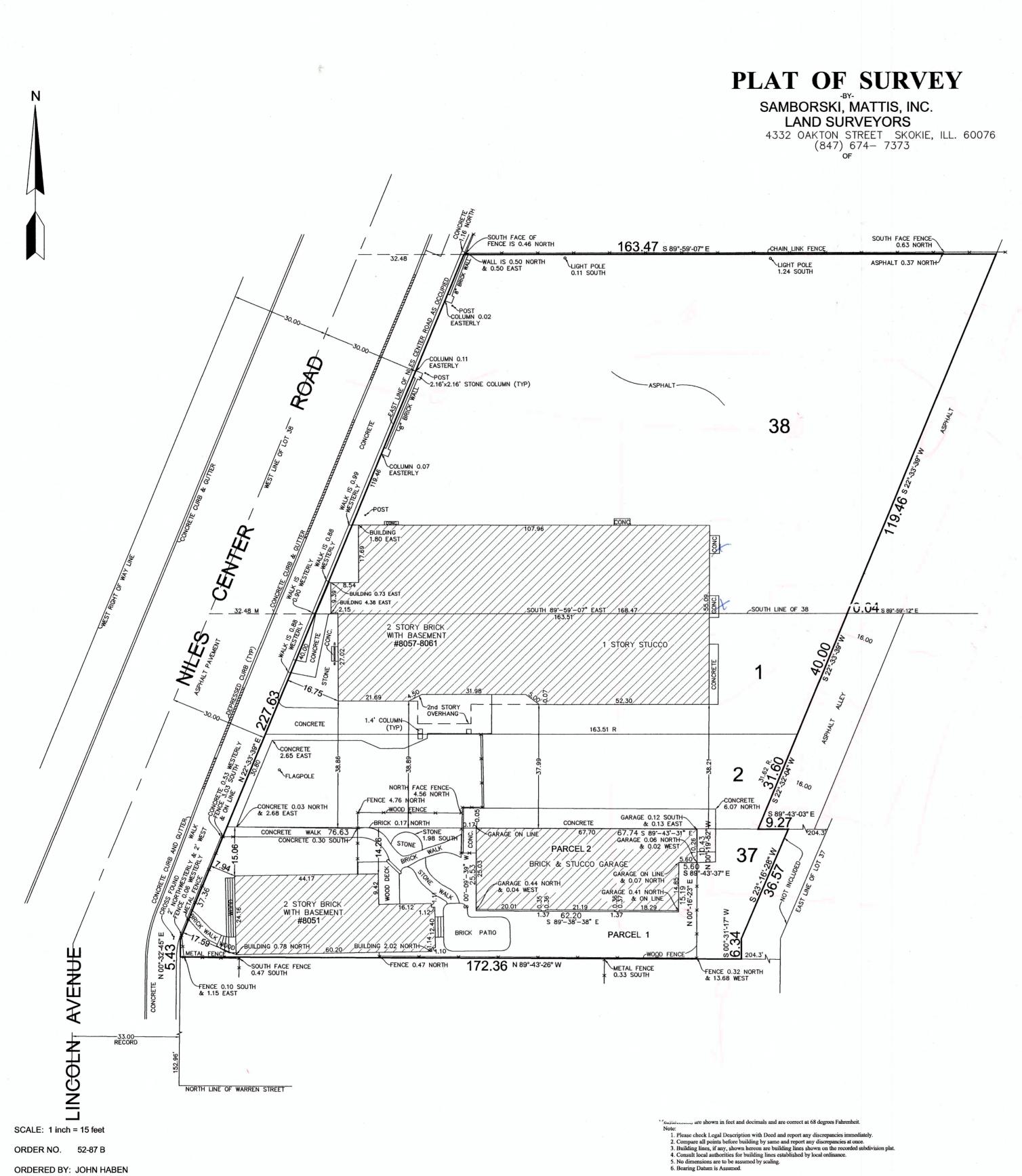
drawing:

Community Development Department - Building & Zoning Division S127 Oxiton St. Skoke IL 60077 Phone 847/933-8223 Fax 847/933-8230 The Appearance Commission meets the 2 ^{rdf} Wednesday of each month at 7:30 p.m. Until further notice, applications will only be accepted in a PDF format. APPLICATION DATE: <u>8-27-23</u> APPLICATION TYPE (Please check all that apply): New Construction 1 ¹¹⁶ Floor Addition 2 ^{rdf} Floor Addition Façade Signage 0 ther Single Family Residential Multifamily Residential Mixed Use Single Family Residential Multifamily Residential Mixed Use Single Family Residential Multifamily Residential Mixed Use Commercial Industrial 0 there Subject ADDRESS: <u>8057 Ni/es Center Road</u> OWNER INFORMATION: Please print legibly: NAME(5): <u>Soft Ni/es Center Road</u> EMALL: <u>DHNDE HABENFUNERAL</u> Commercial State Sta	Start 2 daton 51. Stokie, IL 6007? Prine 847/933-8223 The Appearance Commission meets the 2 nd Wednesday of each month at 7:30 p.m. Appearance Commission meets the 2 nd Wednesday of each month at 7:30 p.m. Applications Applications <th>ALLAGE C</th> <th>T STORE</th> <th></th> <th>ANCE C</th> <th>Illage of Sko OMMISSI</th> <th>ON APPLI</th> <th></th> <th></th>	ALLAGE C	T STORE		ANCE C	Illage of Sko OMMISSI	ON APPLI		
Until further notice, applications will only be accepted in a PDF format. APPLICATION DATE: Sept. 27-23 APPLICATION DATE: Sept. 27-23 APPLICATION TYPE (Please check all that apply): Image: September 2014 Single Family Residential Multifamily Residential Mixed Use Single Family Residential Multifamily Residential Mixed Use Commercial Industrial Other SUBJECT ADDRESS: SOS 7 Niles Center Rocal Commercial Industrial Other NAME(S): Sohn Habe: Please print legibly. NAME(S): Sohn Habe: Stoke: Stoke: ADDRESS: 805 7 Niles Center Rocal City, STATE ZIP: Skokic Skokic ADDRESS: 805 7 Niles Center Rocal City, STATE ZIP: Skokic Skokic Skokic ADDRESS: 335 Wist Grammation City, STATE ZIP: Skokic	In thil further notice, applications will only be accepted in a PDF format Application DATE: S-27-23 APPLICATION TYPE (Please check all that apply): Order Image:	1888		Communit	5127 O	akton St. Skokie,	IL 60077	DIVISION	
APPLICATION DATE: 8-27-23 9113 MTG; APPLICATION DATE: 8-27-23 9113 MTG; APPLICATION TYPE (Please check all that apply): In Floor Addition 2 and Floor Addition Façade Signage Other AMDUSE: In Floor Addition 2 and Floor Addition Façade Signage Other Single Family Residential Multifamily Residential Mixed Use Commercial Industrial Other SUBJECT ADDRESS: 8057 Niles Center Received Owner Industrial Other MAME(S): John Haber Please print legibly. NAME(S): John Haber Remain Stress Stop 7 Niles Center Received ADDRESS: 805 7 Niles Center Received City, STATE ZIP: Stok Kie	APPLICATION DATE: S-27-2.3 \$flips MTG; APPLICATION TYPE [Please check all that apply]: New Construction 1** Floor Addition ?** Floor Addition Façade Signage Other AND USE: Single Family Residential Multifamily Residential Mixed Use Commercial Industrial Other Single Family Residential Multifamily Residential Mixed Use Commercial Industrial Other SUBJECT ADDRESS: SOST Niles Center Road Industrial Other ADDRESS: SOST Niles Center Road EMAIL: JDHWEHBBENFONERALL Please print legibly. ADDRESS: SOST Niles Center Road CitY, STATE ZIP: Str.Clouds road City, STATE ZIP: Str.Clouds road ADDRESS: 3335 /// Sti Garmain CitY, STATE ZIP: Str.Clouds road City, State ZiP: Str.Clouds road Matteriat Antron Kerne Lie RAB. Cond Signafered, but not required. If the flass is greater Matteriat Mitter Antechnic Lie RAB. Cond Signafered, but not required. If the flass is a greater Matteriat State of the subject building and the fronts of neighboring buildings) I. Eventions, floor plans, and site plans. Scale // * 1-0' is preferred, but not required. If the flass is greater Mathe submitthe bollowe	COUNT	TY IIII	The Appearance Co	ommission me	eets the 2 nd Wedr	nesday of each m	onth at 7:30 p.m.	
APPLICATION TYPE (Please check all that apply): APPLICATION TYPE (Please check all that apply): In New Construction 1 ** Floor Addition 2** Floor Addition Façade Signage Other Single Family Residential Multifamily Residential Mixed Use Commercial Industrial Other SUBJECT ADDRESS: <u>8057 Ni/es Center Rocuel</u> OWNER INFORMATION: NAME(S): John Haber PHONE#: <u>847 - 910 - 0208</u> Center Rocuel Contractor X AGENT/PETITIONER INFORMATION (if other than owner): Status (Status (St	APPLICATION TYPE (Please check all that apply):			Until further n	otice, applica	ations will only b	e accepted in a	PDF format.	~
New Construction 1* Floor Addition 2** Floor Addition Façade Signage Other LAND USE: Single Family Residential Multifamily Residential Mixed Use Commercial Industrial Other SUBJECT ADDRESS: BOS 7 Niles Center Road Industrial Other OWNER INFORMATION: Please print legibly. NAME(S): Sohn Haber Please print legibly. ADDRESS: BOS 7 Niles Center Road CITY, STATE ZIP: SKoKic JL. PHONE#: SUJ - 910 - 020 & EMAIL: JDHWE HABEN FONKERAL. General Contractorx Gastractor States Gastractor States AdDRESS: S355 Ul St. Germain CITY, STATE ZIP: St.Clowd, MA NAME(S): If left Architests 1 Builder S DAYTIME PHONE #: 146-0982 ADDRESS: 3355 Ul St. Germain CITY, STATE ZIP: St.Clowd, MA Please submit the following PDFs to appearance@skokie.org to complete your digitat-only application: (project MS 1. Elevations, floor plans, and site plans. Scale % = 1'-0' is preferred, but not required. If the file size is greater than SMB, multiple emails are allowed. Ensure "Appearance Commission PDF" and the project's property address are in the subject line of the email. Color elevations or one color rendering is required. 2. Completed Zoning	New Construction 1** Floor Addition 2** Floor Addition Façade Signage Other AND USE: Single Family Residential Multifamily Residential Mixed Use Commercial Industrial Other SUBJECT ADDRESS: SOS 7 Niles Center Rock Please print legibly. NAME(S): Son Hacen Please print legibly. NAME(S): Son Hacen Please print legibly. PHONE#: SUJ - 910 - 020 S EMAIL: DHALE HABEEN FOUNERALLS. Commercial Son Hacen City, state Zip: SKEKTIONER INFORMATION (if other than owner): Son Hacen Son Hacen NAME(S): Mille C Alcolatests & Boilders DayTIME PHONE #: 1460-0982 ADDRESS: 3335 Millsti Germain Citry, state Zip: Sticlowy Million Please submit the following PDFs to appearance@skokie.org to complete your digital-only application: (print than 50MB, multiple emails are allowed. Ensure "Appearance Commission PDF" and the project: Broperty address are in the subject building and the fronts of neighboring buildings) 1. Elevation Sindor plans, and site plans. Scale ½ = 1-0° is preferred, but not required. 2. Completed Zoning Information Worksheet (residential projects only) Photographs (all sides of the subject building and the	APPLICAT	ION DATE:	8-27	-23		9/13	MTG,	
□ Single Family Residential Multifamily Residential Mixed Use Commercial Industrial Other SUBJECT ADDRESS: SOSTNiles Center Road Please print legibly. NAME(S):	☐ Single Family Residential ☐ Mixed Use Commercial ☐ Industrial ○ Other SUBJECT ADDRESS: <u>SOS 7 Ni/es Center Round</u> Please print legibly. NAME(S):	APPLICAT		ase check all that a 1st Floor Addition	apply):	oor Addition	Façade	Signage 🗌 Other	
OWNER INFORMATION: Sohn Haben NAME(S):	OWNER INFORMATION: Sohn Habe, n NAME(S):	Single I	Family Residen			-	Commercial	Industrial Othe	ər
NAME(5): John Haben ADDRESS: <u>BO5 7 NJ/cs Center Boad</u> CITY, STATE ZIP: SKo Kic JL PHONE#: <u>B47 - 910 - 0208</u> EMAIL: <u>JDHNDE HABEN FUNTERAL</u> General Contractorx AGENTIPETITIONER INFORMATION (if other than owner): <u>G220</u> NAME(5): <u>Miller Architets i Builders</u> DAYTIME PHONE #: <u>426 - 0982</u> ADDRESS: <u>3335 WJ St. Germain</u> CITY, STATE ZIP: <u>Stic lows</u> , <u>rNN</u> EMAIL: <u>ANTON KEMILLEERAB.com</u> SIGNATURE: Please submit the following PDFs to <u>appearance@skokie.org</u> to complete your digital-only application: <u>(rojet M3)</u> 1. Elevations, floor plans, and site plans. Scale ½ = 1'.0" is preferred, but not required. If the file size is greater than 5MB, multiple emails are allowed. Ensure "Appearance Commission PDF" and the project's property address are in the subject line of the email. Color elevations or one color rendering is required. 2. Completed Zoning Information Worksheet (residential projects only) 3. Photographs (all sides of the subject building and the fronts of neighboring buildings) 4. Excerpts of brochures and/or cut sheets of new materials and colors proposed for the project. Matching existing materials and colors can be confirmed with the submitted photographs. 5. Plat of Survey *** Visit https://www.skokie.org/357/Appearance-Commission to access the staff report prior to	NAME(s):	SUBJECT	ADDRESS:	057 Niles	Center	Road			-
ADDRESS: 805711/csCenter Bood CITY, STATE ZIP: SKoKic JL PHONE#: 8477-910-0208 EMAIL: DHUDE HABEN FUNERAL General Contractor X EMAIL: DHUDE HABEN FUNERAL AGENT/PETITIONER INFORMATION (if other than owner): \$335 CITY, STATE ZIP: \$420-0982 ADDRESS: 3335 Contractor X DAYTIME PHONE #: \$420-0982 Completed Solong PDF to appearance@skokie.org DaYTIME PHONE #: \$420-0982 1 Elevations, floor plans, and site plans. Scale % = 1-0" is preferred, but not required. If the file size is greater than 5MB, multiple emails are allowed. Ensure "Appearance Commission PDF" and the project's property address are in the subject building and the fronts of neighboring buildings) <t< td=""><td>ADDRESS: 805 7 Miles Center Road CITY, STATE ZIP: \$Kokic_JL_ PHONE#: 847 - 910 - 0208 EMAIL: JDHMe HABEN FUNERAL Scentificeral Contractors EMAIL: JDHMe HABEN FUNERAL AGENTIFETTIONER INFORMATION (if other than owner): \$420 - 0982 NAME(S): Miler Arctors CITY, STATE ZIP: ADDRESS: 3335 W. St. Germain CITY, STATE ZIP: EMAIL: ANTON KEMILLERAB.COM SIGNATURE: Please submit the following PDFs to appearance@skokie.org to complete your digital-only application: (Projet M) 1. Elevations, floor plans, and site plans. Scale % = 1-0° is prefered, but not required. If the file size is greater than 5MB, multiple emails are allowed. Ensure "Appearance Commission PDF" and the project's property address are in the subject building and the fronts of neighboring buildings) 2. Completed Zoning Information Worksheet (residential projects only) 3. Photographs (all sides of the subject building and the fronts of neighboring buildings) 4. Excerpts of brochures and/or cut sheets of new materials and colors proposed for the project. Matching existing materials and colors can be confirmed with the submitted photographs. 5. Plat of Survey S100 plus \$50.00 per unit Non-Residential Site (new) S100 plus \$50.00 per unit Non-Residential Sit</td><td></td><td></td><td>100 C 10 100</td><td>11 1 -</td><td></td><td></td><td>Please print legibly</td><td><i>'</i>.</td></t<>	ADDRESS: 805 7 Miles Center Road CITY, STATE ZIP: \$Kokic_JL_ PHONE#: 847 - 910 - 0208 EMAIL: JDHMe HABEN FUNERAL Scentificeral Contractors EMAIL: JDHMe HABEN FUNERAL AGENTIFETTIONER INFORMATION (if other than owner): \$420 - 0982 NAME(S): Miler Arctors CITY, STATE ZIP: ADDRESS: 3335 W. St. Germain CITY, STATE ZIP: EMAIL: ANTON KEMILLERAB.COM SIGNATURE: Please submit the following PDFs to appearance@skokie.org to complete your digital-only application: (Projet M) 1. Elevations, floor plans, and site plans. Scale % = 1-0° is prefered, but not required. If the file size is greater than 5MB, multiple emails are allowed. Ensure "Appearance Commission PDF" and the project's property address are in the subject building and the fronts of neighboring buildings) 2. Completed Zoning Information Worksheet (residential projects only) 3. Photographs (all sides of the subject building and the fronts of neighboring buildings) 4. Excerpts of brochures and/or cut sheets of new materials and colors proposed for the project. Matching existing materials and colors can be confirmed with the submitted photographs. 5. Plat of Survey S100 plus \$50.00 per unit Non-Residential Site (new) S100 plus \$50.00 per unit Non-Residential Sit			100 C 10 100	11 1 -			Please print legibly	<i>'</i> .
PHONE#: <u>847-910-0208</u> EMAIL: <u>SDHWe HABENFONERAL</u> General Contractor X General Contractor X AGENT/PETITIONER INFORMATION (if other than owner): Grad State Contractor X AME(S): <u>Miller Architetts & Builders</u> DAYTIME PHONE #: <u>426-0982</u> ADDRESS: <u>3335 (J, St. Germain</u> CITY, STATE ZIP: <u>St. Cloud, JIN</u> EMAIL: <u>ADTON KE MILLERAB.com</u> SIGNATURE: <u>General Contractor Y</u> Please submit the following PDFs to <u>appearance@skoki.org</u> to complete your digital-only application: (moint Mg) 1. Elevations, floor plans, and site plans. Scale ½ = 1'-0''s preferred, but not required. If the file size is greater than 5MB, multiple emails are allowed. Ensure "Appearance Commission PDF" and the project's property address are in the subject line of the email. Color elevations or one color rendering is required. 2. Completed Zoning Information Worksheet (residential projects only) 3. Photographs (all sides of the subject building and the fronts of neighboring buildings) 4. Excerpts of brochures and/or cut sheets of new materials and colors proposed for the project. Matching existing materials and colors can be confirmed with the submitted photographs. 5. Plat of Survey *** The Building, Zoning, will not take in or hold material or color samples. *** Visit https://www.skokie.org/357/Appearance-Commission to access the staf	PHONE#: <u>847 - 910 - 0208</u> EMAIL: <u>DDHWe HABENFONERAL</u> Conservation <u>6000000000000000000000000000000000000</u>						I. CKAK	OTI	-
General Contractor X General Contractor X AGENT/PETITIONER INFORMATION (if other than owner): Galage Contractor X NAME(s): <u>Miller Architets f Builders</u> DAYTIME PHONE #: <u>426-0982</u> ADDRESS: <u>3355 W. St. Genmain</u> CITY, STATE ZIP: <u>St.Clows MW</u> EMAIL: <u>ANTONI KEMILLERAB.COM</u> SIGNATURE: <u>Matheway</u> Please submit the following PDFs to <u>appearance@skokie.org</u> to complete your digital-only application: <u>Grout M</u> 1. Elevations, floor plans, and site plans. Scale ½" = 1'-0" is prefered, but not required. If the file size is greater than 5MB, multiple emails are allowed. Ensure "Appearance Commission PDF" and the project's property address are in the subject line of the email. Color elevations or one color rendering is required. 2. Completed Zoning Information Worksheet (residential projects only) 9. 3. Photographs (all sides of the subject building and the fronts of neighboring buildings) 4. 4. Excerpts of brochures and/or cut sheets of new materials and colors proposed for the project. Matching existing materials and colors can be confirmed with the submitted photographs. 5. Plat of Survey *** The Building, Zoning, will not take in or hold material or color samples. *** Visit <u>https://www.skokie.org/357/Appearance-Commission</u> to access the staff report prior to the meeting. Fee Schedule Residential Site (new) S100 plus \$50.00 per unit	General Contractor * General Contractor * AGENT/PETITIONER INFORMATION (if other than owner): General Contracts 1 Builders DATTIME PHONE #: 'JAC-OG82. ADDRESS: 3335 W.St. General in CITY, STATE ZIP: St. Clowd, MM. Plant: ANTONKEMILLERAG.COM SIGNATURE: 'JAC-OG82. Plant: Matter and Signature and site plans. Scale % = 1-0° is preferred, but not required. If the file size is greater than 5M8, multiple emails are allowed. Ensure "Appearance Commission PDF" and the project's property address are in the subject line of the email. Color elevations or one color sing the project. State of the subject building and the fronts of neighboring buildings: Scorpts of brochures and/or cut sheets of new materials and colors proposed for the project. Matching existing materials and colors can be confirmed with the submitted photographs. Plat of Survey *** Visit https://www.skokie.org/357/Appearance-Commission to access the staff report prior to the meeting. ************************************						10 LIARE	NEUNERAI	-
NAME(S): <u>Miller Architests + Boilders</u> DAYTIME PHONE #: <u>426 - 0982</u> . ADDRESS: <u>3335 W. St. Germain</u> CITY, STATE ZIP: <u>Sticlowd MN</u> EMAIL: <u>ANTON KEMILLEERAB.COM</u> SIGNATURE: <u>Cately 75, -Anton Kr</u> Please submit the following PDFs to <u>appearance@skokie.org</u> to complete your digital-only application: <u>Grost M</u> 1. Elevations, floor plans, and site plans. Scale ½ = 1'-0" is preferred, but not required. If the file size is greater than 5MB, multiple emails are allowed. Ensure "Appearance Commission PDF" and the project's property address are in the subject line of the email. Color elevations or one color rendering is required. 2. Completed Zoning Information Worksheet (residential projects only) 3. Photographs (all sides of the subject building and the fronts of neighboring buildings) 4. Excerpts of brochures and/or cut sheets of new materials and colors proposed for the project. Matching existing materials and colors can be confirmed with the submitted photographs. 5. Plat of Survey *** The Building, Zoning, will not take in or hold material or color samples. *** Visit <u>https://www.skokie.org/357/Appearance-Commission</u> to access the staff report prior to the meeting. Fee Schedule Residential Site (new) S100 plus \$50.00 per unit Non-Residential Site (new) S100 plus \$50.00 per unit Non-Residential guard for a preliminary plan review there is no charge. For Office Use Only: <u>6</u> Meeting Date <u>For Office Use Only:</u> Meeting Date	NAME(S): <u>Miller Architects & Builders</u> ADDRESS: <u>3335 W.1 St. Germain</u> DAYTIME PHONE #: <u>426 - 0982</u> CITY, STATE ZIP: <u>St. Clouds MM</u> EMAIL: <u>ANTONKEMILLERAB.COM</u> SIGNATURE: <u>Math.M.M.M.M.M.M.M.M.M.M.M.M.M.M.M.M.M.M.M</u>						Verhou	C	.0
ADDRESS: 3335 W. St. Germain CITY, STATE ZIP: St. Closs, MN EMAIL: ANTONK CMILLERAB, COM SIGNATURE:	ADDRESS: 3335 W. St. Genmain CITY, STATE ZIP: St. Closs, MN EMAIL: ANTON KEMILLERAB. COM SIGNATURE:	AGENT/PE	TITIONER INF	ORMATION (if othe	r than owner):	(320)		
EMAIL: ANTONKEMILLERAB.COM SIGNATURE:	EMAIL: ANTONKEMILIERAB.COM SIGNATURE:	NAME(S):	<u>Miller Ar</u>	chitects + Bui	ders	DAYTIME PHON			-
 Please submit the following PDFs to <u>appearance@skokie.org</u> to complete your digital-only application: (Appearance Appearance@skokie.org to complete your digital-only application: (Appearance Appearance Commission PDF" and the project's property address are in the subject line of the email. Color elevations or one color rendering is required. Completed Zoning Information Worksheet (residential projects only) Photographs (all sides of the subject building and the fronts of neighboring buildings) Excerpts of brochures and/or cut sheets of new materials and colors proposed for the project. Matching existing materials and colors can be confirmed with the submitted photographs. Plat of Survey *** The Building, Zoning, will not take in or hold material or color samples. *** Visit <u>https://www.skokie.org/357/Appearance-Commission</u> to access the staff report prior to the meeting. Fee Schedule Residential Site (new) \$100 plus \$50.00 per unit Non-Residential Site (new) \$100 plus \$50.00 per unit Any Other Appearance Review (Additions, Façade, Sign Package, etc.) \$50.00 If you have already paid for a preliminary plan review there is no charge. For Office Use Only: Case Number Meeting Date	Please submit the following PDFs to <u>appearance@skokie.org</u> to complete your digital-only application: (register than 5MB, multiple emails are allowed. Ensure "Appearance Commission PDF" and the project's property address are in the subject line of the email. Color elevations or one color rendering is required. Completed Zoning Information Worksheet (residential projects only) Photographs (all sides of the subject building and the fronts of neighboring buildings) Excerpts of brochures and/or cut sheets of new materials and colors proposed for the project. Matching existing materials and colors can be confirmed with the submitted photographs. Please Schedule Residential Site (new) S100 plus \$50.00 per unit Non-Residential Site (new) S100 plus \$50.00 per 1,000 square feet (based on square footage of building) Any Other Appearance Review (Additions, Façade, Sign Package, etc.) \$50.00 If you have already paid for a preliminary plan review there is no charge. For Office Use Only: Case Number Meeting Date Act # NR Amt § Cash / Credit Card/ Check # Any required fees or monies owed by the applicant to the Village must be paid as a condition of approval.	ADDRESS	: 3355 W.	Sti Germain	2	CITY, STATE ZI			-
 Elevations, floor plans, and site plans. Scale ¼" = 1'-0" is preferred, but not required. If the file size is greater than 5MB, multiple emails are allowed. Ensure "Appearance Commission PDF" and the project's property address are in the subject line of the email. Color elevations or one color rendering is required. Completed Zoning Information Worksheet (residential projects only) Photographs (all sides of the subject building and the fronts of neighboring buildings) Excerpts of brochures and/or cut sheets of new materials and colors proposed for the project. Matching existing materials and colors can be confirmed with the submitted photographs. Plat of Survey *** Visit https://www.skokie.org/357/Appearance-Commission to access the staff report prior to the meeting. Fee Schedule Residential Site (new) \$100 plus \$50.00 per unit Non-Residential Site (new) \$100 plus \$50.00 per 1,000 square feet (based on square footage of building) * Any on-residential zoned site (Business, Industrial, Mixed-Use districts) Any Other Appearance Review (Additions, Façade, Sign Package, etc.) \$50.00 If you have already paid for a preliminary plan review there is no charge. 	 Elevations, floor plans, and site plans. Scale ¼" = 1'-0" is preferred, but not required. If the file size is greater than 5MB, multiple emails are allowed. Ensure "Appearance Commission PDF" and the project's property address are in the subject line of the email. Color elevations or one color rendering is required. Completed Zoning Information Worksheet (residential projects only) Photographs (all sides of the subject building and the fronts of neighboring buildings) Excerpts of brochures and/or cut sheets of new materials and colors proposed for the project. Matching existing materials and colors can be confirmed with the submitted photographs. Plat of Survey *** The Building, Zoning, will not take in or hold material or color samples. *** Visit https://www.skokie.org/357/Appearance-Commission to access the staff report prior to the meeting. Fee Schedule Residential Site (new) \$100 plus \$50.00 per unit Non-Residential Site (new) \$100 plus \$50.00 per 1,000 square feet (based on square footage of building) *Any non-residentially zoned site (Business, Industrial, Mixed-Use districts) Any Other Appearance Review (Additions, Façade, Sign Package, etc.) \$50.00 If you have already paid for a preliminary plan review there is no charge. For Office Use Only: Cash / Credit Card/ Check #	EMAIL: A	NTONKE	MILLERAC	B, COM	SIGNATURE:	Cht. W. P	8 - Anton A	~
 than 5MB, multiple emails are allowed. Ensure "Appearance Commission PDF" and the project's property address are in the subject line of the email. Color elevations or one color rendering is required. Completed Zoning Information Worksheet (residential projects only) Photographs (all sides of the subject building and the fronts of neighboring buildings) Excerpts of brochures and/or cut sheets of new materials and colors proposed for the project. Matching existing materials and colors can be confirmed with the submitted photographs. Plat of Survey *** The Building, Zoning, will not take in or hold material or color samples. *** Visit https://www.skokie.org/357/Appearance-Commission to access the staff report prior to the meeting. Fee Schedule Residential Site (new) \$100 plus \$50.00 per unit Non-Residential Site* (new) \$100 plus \$50.00 per unit Any other Appearance Review (Additions, Façade, Sign Package, etc.) \$50.00 If you have already paid for a preliminary plan review there is no charge. For Office Use Only: Meeting Date	 than 5MB, multiple emails are allowed. Ensure "Appearance Commission PDF" and the project's property address are in the subject line of the email. Color elevations or one color rendering is required. Completed Zoning Information Worksheet (residential projects only) Photographs (all sides of the subject building and the fronts of neighboring buildings) Excerpts of brochures and/or cut sheets of new materials and colors proposed for the project. Matching existing materials and colors can be confirmed with the submitted photographs. Plat of Survey *** The Building, Zoning, will not take in or hold material or color samples. *** Visit https://www.skokie.org/357/Appearance-Commission to access the staff report prior to the meeting. Fee Schedule Residential Site (new) S100 plus \$50.00 per unit Non-Residential Site '(new) S100 plus \$50.00 per 1,000 square feet (based on square footage of building) * Any other Appearance Review (Additions, Façade, Sign Package, etc.) \$50.00 If you have already paid for a preliminary plan review there is no charge. For Office Use Only: Case Number Meeting Date Acct # NR Amt \$ Cash / Credit Card/ Check # Any required fees or monies owed by the applicant to the Village must be paid as a condition of approval.							v -	3.
 Photographs (all sides of the subject building and the fronts of neighboring buildings) Excerpts of brochures and/or cut sheets of new materials and colors proposed for the project. Matching existing materials and colors can be confirmed with the submitted photographs. Plat of Survey *** The Building, Zoning, will not take in or hold material or color samples. *** Visit https://www.skokie.org/357/Appearance-Commission to access the staff report prior to the meeting. Fee Schedule Residential Site (new) S100 plus \$50.00 per unit Non-Residential Site* (new) S100 plus \$50.00 per 1,000 square feet (based on square footage of building) * Any non-residentially zoned site (Business, Industrial, Mixed-Use districts) Any Other Appearance Review (Additions, Façade, Sign Package, etc.) \$50.00 If you have already paid for a preliminary plan review there is no charge. For Office Use Only: Case Number Meeting Date 	 3. Photographs (all sides of the subject building and the fronts of neighboring buildings) 4. Excerpts of brochures and/or cut sheets of new materials and colors proposed for the project. Matching existing materials and colors can be confirmed with the submitted photographs. 5. Plat of Survey *** The Building, Zoning, will not take in or hold material or color samples. *** Visit https://www.skokie.org/357/Appearance-Commission to access the staff report prior to the meeting. Fee Schedule Residential Site (new) S100 plus \$50.00 per unit Non-Residential Site (new) S100 plus \$50.00 per 1,000 square feet (based on square footage of building) * Any non-residentially zoned site (Business, Industrial, Mixed-Use districts) Any Other Appearance Review (Additions, Façade, Sign Package, etc.) \$50.00 If you have already paid for a preliminary plan review there is no charge. For Office Use Only: Case Number Meeting Date Cash / Credit Card/ Check #	tha	n 5MB, multiple	emails are allowed.	Ensure "App	earance Commis	sion PDF" and the	e project's property	
 4. Excerpts of brochures and/or cut sheets of new materials and colors proposed for the project. Matching existing materials and colors can be confirmed with the submitted photographs. 5. Plat of Survey *** The Building, Zoning, will not take in or hold material or color samples. *** Visit <u>https://www.skokie.org/357/Appearance-Commission</u> to access the staff report prior to the meeting. Fee Schedule Residential Site (new) \$100 plus \$50.00 per unit Non-Residential Site (new) \$100 plus \$50.00 per 1,000 square feet (based on square footage of building) * Any non-residentially zoned site (Business, Industrial, Mixed-Use districts) Any Other Appearance Review (Additions, Façade, Sign Package, etc.) \$50.00 If you have already paid for a preliminary plan review there is no charge. For Office Use Only: Case Number Meeting Date	 4. Excerpts of brochures and/or cut sheets of new materials and colors proposed for the project. Matching existing materials and colors can be confirmed with the submitted photographs. 5. Plat of Survey *** The Building, Zoning, will not take in or hold material or color samples. *** Visit <u>https://www.skokie.org/357/Appearance-Commission</u> to access the staff report prior to the meeting. Fee Schedule Residential Site (new) \$100 plus \$50.00 per unit Non-Residential Site (new) \$100 plus \$50.00 per 1,000 square feet (based on square footage of building) * Any non-residentially zoned site (Business, Industrial, Mixed-Use districts) Any Other Appearance Review (Additions, Façade, Sign Package, etc.) \$50.00 If you have already paid for a preliminary plan review there is no charge. For Office Use Only: Case Number Meeting Date Acct # NR Amt \$ Cash / Credit Card/ Check # Any required fees or monies owed by the applicant to the Village must be paid as a condition of approval.	2. Co	mpleted Zoning	Information Worksh	eet (residentia	al projects only)			
existing materials and colors can be confirmed with the submitted photographs. 5. Plat of Survey *** The Building, Zoning, will not take in or hold material or color samples. *** Visit https://www.skokie.org/357/Appearance-Commission to access the staff report prior to the meeting. Fee Schedule Residential Site (new) \$100 plus \$50.00 per unit Non-Residential Site* (new) \$100 plus \$50.00 per 1,000 square feet (based on square footage of building) * Any non-residentially zoned site (Business, Industrial, Mixed-Use districts) Any Other Appearance Review (Additions, Façade, Sign Package, etc.) \$50.00 If you have already paid for a preliminary plan review there is no charge. For Office Use Only: Case Number Meeting Date	existing materials and colors can be confirmed with the submitted photographs. 5. Plat of Survey *** The Building, Zoning, will not take in or hold material or color samples. *** Visit https://www.skokie.org/357/Appearance-Commission to access the staff report prior to the meeting. Fee Schedule Residential Site (new) S100 plus \$50.00 per unit Non-Residential Site (new) S100 plus \$50.00 per 1,000 square feet (based on square footage of building) * Any non-residentially zoned site (Business, Industrial, Mixed-Use districts) Any Other Appearance Review (Additions, Façade, Sign Package, etc.) \$50.00 If you have already paid for a preliminary plan review there is no charge. For Office Use Only: Case Number Meeting Date Acct # NR Amt \$ Cash / Credit Card/ Check # Any required fees or monies owed by the applicant to the Village must be paid as a condition of approval.	3. Pho	otographs (all s	des of the subject bu	uilding and the	e fronts of neighbo	oring buildings)		
*** The Building, Zoning, will not take in or hold material or color samples. *** Visit https://www.skokie.org/357/Appearance-Commission to access the staff report prior to the meeting. Fee Schedule Residential Site (new) S100 plus \$50.00 per unit Non-Residential Site* (new) S100 plus \$50.00 per 1,000 square feet (based on square footage of building) * Any non-residentially zoned site (Business, Industrial, Mixed-Use districts) Any Other Appearance Review (Additions, Façade, Sign Package, etc.) \$50.00 If you have already paid for a preliminary plan review there is no charge. For Office Use Only: Case Number Meeting Date	*** The Building, Zoning, will not take in or hold material or color samples. *** Visit https://www.skokie.org/357/Appearance-Commission to access the staff report prior to the meeting. Fee Schedule Residential Site (new) \$100 plus \$50.00 per unit Non-Residential Site ' (new) \$100 plus \$50.00 per 1,000 square feet (based on square footage of building) * Any non-residentially zoned site (Business, Industrial, Mixed-Use districts) Any Other Appearance Review (Additions, Façade, Sign Package, etc.) \$50.00 If you have already paid for a preliminary plan review there is no charge. For Office Use Only: Case Number Meeting Date Acct # NR Amt \$ Cash / Credit Card/ Check # Any required fees or monles owed by the applicant to the Village must be paid as a condition of approval.	4. Exc exis	cerpts of brochusting materials	res and/or cut sheet and colors can be co	s of new mate nfirmed with t	erials and colors p he submitted pho	roposed for the p tographs.	roject. Matching	
Visit https://www.skokie.org/357/Appearance-Commission to access the staff report prior to the meeting. Fee Schedule Residential Site (new) S100 plus \$50.00 per unit Non-Residential Site* (new) S100 plus \$50.00 per 1,000 square feet (based on square footage of building) * Any non-residentially zoned site (Business, Industrial, Mixed-Use districts) Any Other Appearance Review (Additions, Façade, Sign Package, etc.) \$50.00 If you have already paid for a preliminary plan review there is no charge. For Office Use Only: Case Number Meeting Date	•••• Visit https://www.skokie.org/357/Appearance-Commission to access the staff report prior to the meeting. Fee Schedule Residential Site (new) S100 plus \$50.00 per unit Non-Residential Site * (new) S100 plus \$50.00 per 1,000 square feet (based on square footage of building) • Any non-residentially zoned site (Business, Industrial, Mixed-Use districts) Any Other Appearance Review (Additions, Façade, Sign Package, etc.) \$50.00 If you have already paid for a preliminary plan review there is no charge. For Office Use Only: Case Number Meeting Date Acct # NR Arnt \$ Cash / Credit Card/ Check # Any required fees or monies owed by the applicant to the Village must be paid as a condition of approval.								
Residential Site (new) \$100 plus \$50.00 per unit Non-Residential Site* (new) \$100 plus \$50.00 per 1,000 square feet (based on square footage of building) * Any non-residentially zoned site (Business, Industrial, Mixed-Use districts) Any Other Appearance Review (Additions, Façade, Sign Package, etc.) \$50.00 If you have already paid for a preliminary plan review there is no charge. For Office Use Only: Meeting Date	Residential Site (new) \$100 plus \$50.00 per unit Non-Residential Site* (new) \$100 plus \$50.00 per 1,000 square feet (based on square footage of building) * Any non-residentially zoned site (Business, Industrial, Mixed-Use districts) Any Other Appearance Review (Additions, Façade, Sign Package, etc.) \$50.00 If you have already paid for a preliminary plan review there is no charge. For Office Use Only:	*** .	The Building, Zor Visit <u>https://www.</u>	ing, will not take in or l skokie.org/357/Appear	hold material or ance-Commissi	color samples.	aff report prior to th	e meeting.	
Residential Site (new) \$100 plus \$50.00 per unit Non-Residential Site* (new) \$100 plus \$50.00 per 1,000 square feet (based on square footage of building) * Any non-residentially zoned site (Business, Industrial, Mixed-Use districts) Any Other Appearance Review (Additions, Façade, Sign Package, etc.) \$50.00 If you have already paid for a preliminary plan review there is no charge. For Office Use Only: Meeting Date	Residential Site (new) \$100 plus \$50.00 per unit Non-Residential Site* (new) \$100 plus \$50.00 per 1,000 square feet (based on square footage of building) * Any non-residentially zoned site (Business, Industrial, Mixed-Use districts) Any Other Appearance Review (Additions, Façade, Sign Package, etc.) \$50.00 If you have already paid for a preliminary plan review there is no charge. For Office Use Only:	Fee Sche	edule						1
Non-Residential Site* (new) \$100 plus \$50.00 per 1,000 square feet (based on square footage of building) * Any non-residentially zoned site (Business, Industrial, Mixed-Use districts) Any Other Appearance Review (Additions, Façade, Sign Package, etc.) \$50.00 If you have already paid for a preliminary plan review there is no charge. For Office Use Only: Case Number Meeting Date	Non-Residential Site* (new) \$100 plus \$50.00 per 1,000 square feet (based on square footage of building) * Any non-residentially zoned site (Business, Industrial, Mixed-Use districts) Any Other Appearance Review (Additions, Façade, Sign Package, etc.) \$50.00 If you have already paid for a preliminary plan review there is no charge. For Office Use Only: Case Number Meeting Date Acct # NR Amt \$ Cash / Credit Card/ Check # Any required fees or monies owed by the applicant to the Village must be paid as a condition of approval.	Residential	I Site (new)	\$100) plus \$50.00 pe	er unit			
Any Other Appearance Review (Additions, Façade, Sign Package, etc.) \$50.00 If you have already paid for a preliminary plan review there is no charge. For Office Use Only: Case Number Meeting Date	Any Other Appearance Review (Additions, Façade, Sign Package, etc.) \$50.00 If you have already paid for a preliminary plan review there is no charge. For Office Use Only: Case Number Meeting Date Acct # NR Amt \$ Cash / Credit Card/ Check # Any required fees or monies owed by the applicant to the Village must be paid as a condition of approval.	Non-Reside	ential Site* (new)				(based on square	footage of building)	
If you have already paid for a preliminary plan review there is no charge. For Office Use Only: Case Number Meeting Date	If you have already paid for a preliminary plan review there is no charge. For Office Use Only: Case Number Meeting Date Acct # NR Amt \$ Cash / Credit Card/ Check # Any required fees or monies owed by the applicant to the Village must be paid as a condition of approval.								
For Office Use Only: Case Number Meeting Date	For Office Use Only: Meeting Date								
	Acct # NR Amt \$ Cash / Credit Card/ Check # Any required fees or monies owed by the applicant to the Village must be paid as a condition of approval.	For Office L	Use Only:						
	Any required fees or monies owed by the applicant to the Village must be paid as a condition of approval.								
		AUCI # INR	Απι φ]
		VOSDOCS_#1	49808-v13-Annear	ance Commission Applic	ation form docx			Revised 12/1/22	,

And the second s

The states

No. of Concession, Name



ILLINOIS, ALSO:

BEGINNING), ALSO;

LOTS 1 AND 2 IN THE RE-SUBDIVISION OF LOT 37 (EXCEPT THE SOUTH 40 FEET THEREOF) OF PETER BLAMEUSER'S SUBDIVISION OF THE SOUTH 105 ACRES OF THE SOUTHEAST QUARTER OF SECTION 21, TOWNSHIP 41 NORTH, RANGE 13, EAST OF THE THIRD PRINCIPAL MERIDIAN, IN COOK COUNTY,

89' 55' 02" EAST 62.20 FEET; THENCE NORTH 0' EAST 15.19 FEET, THENCE NORTH 90' EAST 5.60 FEET; THENCE NORTH 0' 20' 06" EAST 10.43 FEET TO A PONT ON THE NORTH LINE OF THE SAID SOUTH 40 FEET; THENCE NORTH 90' WEST ALONG SAID NORTH LINE 67.91 FEET TO THE PLACE OF

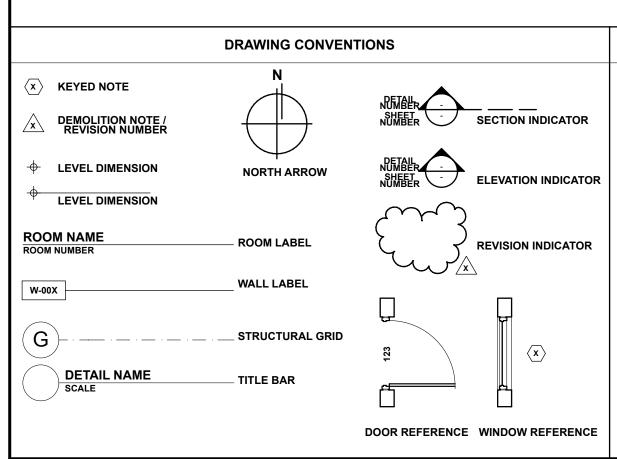
PARCEL 2: THAT PART OF THE SOUTH 40 FEET OF LOT 37 IN THE SUBDIVISION OF THE SOUTH 105 ACRES OF THE SOUTHEAST QUARTER OF SECTION 21, TOWNSHIP 41 NORTH, RANGE 13, EAST OF THE THIRD PRINCIPAL MERIDIAN, DESCRIBED AS FOLLOWS: COMMENCING AT THE INTERSECTION OF THE NORTH LINE OF THE SAID SOUTH 40 FEET AND THE EAST LINE OF GROSS POINT ROAD, AS MONUMENTED AND OCCUPIED; THENCE NORTH 90' EAST ALONG SAID NORTH LINE OF THE SOUTH 40 FEET A DISTANCE OF 76.63 FEET, TO THE PLACE OF BEGINNING; THENCE SOUTH 0' 06' 46" EAST 25.53 FEET; THENCE NORTH LINE OF THE SOUTH 40 FEET & DISTANCE OF 70.03 FEET, TO THE FLACE OF BEGINNING, THENCE SOUTH 0.00 40 EAST 23.33 FEET, THENCE NORTH 89' 55' 02" EAST 62.20 FEET; THENCE NORTH 0' EAST 15.19 FEET; THENCE NORTH 90' EAST 5.60; THENCE NORTH 0' 20' 06" EAST 10.43 FEET TO A POINT ON THE NORTH LINE OF THE SAID SOUTH 40 FEET; THENCE NORTH 90' WEST ALONG SAID NORTH LINE 67.91 FEET TO THE PLACE OF BEGINNING, ALL IN COOK COUNTY, ILLINOIS.

> 04/17/2004 $\left. \begin{array}{c} \text{STATE OF ILLINOIS} \\ \text{COUNTY OF COOK} \end{array} \right\} \text{SS}$

This is to certify that this Professional Service conforms to the current Illinois Minimum Standards of Practice applicable to boundary surveys. Field work completed this 20th day of February A.D. 2003 and 23rd Day of January A.D. 2004.

Michael J. Mattis, Illinois Professional Land Surveyor No. 2104 Illinois Professional Land Survey Firm No. 048-000128 ©2004 Samborski, Mattis, Inc.

B A Η **FU** E R ING AD UIL DI Т Ν D B



1 - TITLE SHEET : Plotted on 7/24/23 at 4:21 PM - /Volumes/Mike Keim's Public Folder/Miller Projects/32249-Haben Funeral Home/Design Drawings and Datas/Haben FH DN-5 CA.pln

OWNER: HABEN FUNERAL HOME & CREMATORY, LLC 8057 NILES CENTER ROAD SKOKIE, IL 60077 ATTN: JOHN HABEN

PHONE: 847.673.6111 ARCHITECT: MILLER ARCHITECTURE INC. 3335 W. ST. GERMAIN STREET ST. CLOUD, MN 56302 ATTN: BRADLEY A. TOROK, AIA

PHONE: 320.251.4109 STRUCTURAL ENGINEER: HUTTER TRANKINA ENGINEERING 32W273 ARMY TRAIL ROAD - SUITE#100 WAYNE, IL 60184 ATTN: JOHN TRANKINA

PHONE: 630.513.6711 CIVIL ENGINEER: DANIEL CREANEY COMPANY 450 SKOKIE BLVD. SUITE 105 NORTHBROOK, IL 60062 ATTN: ROBERT HANSEN PHONE: 847.480.5757

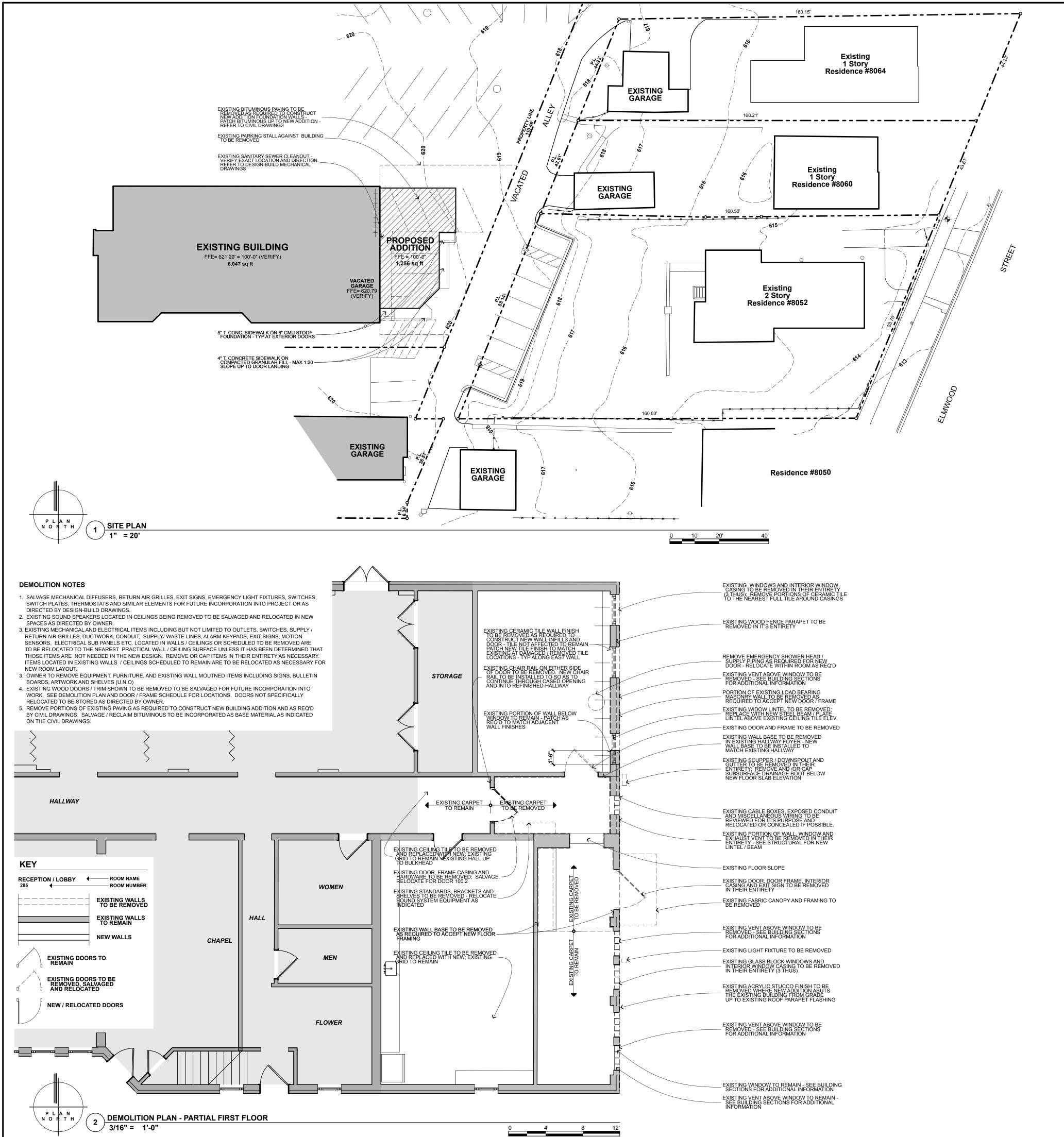
AB	ANCHOR BOLT	F.P.W.	FLOOD PF
ACOUS ACT	ACOUSTICAL ACOUSTICAL CEILING TILE	FL FM	FLOW LIN
ADJUST	ADJUSTABLE	FRP	FIBERGLA
ADJ AD	ADJACENT ACCESS DOOR	FRPF	PANELIN
AFF	ABOVE FINISH FLOOR	FSEC	FOOD SEI
AGG AHU	AGGREGATE AIR HANDLING UNIT	FS	EQUIPMI FULL SIZE
ALT	ALTERNATE	FTG FT	FOOTING
ALUM ANOD	ALUMINUM ANODIZED	FURN	FOOT (FE FURNISH
APPROX AP	APPROXIMATELY ACCESS PANEL	FURR FVC	FURRED (
ARCH	ARCHITECT(URAL)	GA	GAGE
ASPH ATN	ASPHALT ATTENUATION(ING)	GAL	GALLON
AUTO	AUTOWATIC	GALV GB	GALVANIZ GYPSUM
AUX AVE	AUXILIARY AVENUE	GC GD	GENERAL GRADE, G
AVG A/C	AVERAGE AIR CONDITIONING	GEN	GENERAL
A/V	AUDIO VISUAL	GI GL	GALVANIZ GLASS. G
BD BLDG	BOARD BUILDING	GMP	GUARANT
BLKG	BLOCKING	GR	PRICE GROUND
BLK BM	BLOCK BEAM	GT GYP	GRANITE GYPSUM
BOT BRG	BOTTOM BEARING	HB	HOSE BIB
BRKT	BRACKET	HC	HOLLOW
BSMT BBTW	BASEMENT BETWEEN	HDCP HDWD	HANDICA
BUR	BUILT UP ROOFING BALLED & BURLAPPED	HDWR	HARDWAR
B&B B-B	BACK TO BACK	HD HFS	HEAD HALF FUL
B.M. B/F	BENCH MARK BOTH FACES	hm Horiz	HOLLOW HORIZON
CAB	CABINET	HP	HORSEPC
CB	CATCH BASIN	HR HT	HOUR HEIGHT
CCTV CEM	CLOSED CIRCUIT TELEVISION CEMENT	HVAC	HEATING/ AIR CON
CER	CERAMIC	HYD	HYDRANT
CFMF	COLD FORMED METAL FRAMING	ID	INSIDE DI
CIP CI PIPE	CAST IN PLACE CAST IRON PIPE	INCAND INCL	INCANDE: INCLUDE
CJ	CONTROL JOINT	INFO	INFORMA
CKBD CLG	CHALKBOARD CEILING	INSUL INT	INSULATION
CLR	CLEAR(ANCE)	IN IPS	INCH INSIDE PI
CL CMU	CLOSET CONCRETE MASONRY UNIT		
CNTR COL	COUNTER COLUMN	JAN JST	JANITOR JOIST
COMPRES	COMPRESSIBLE	JT	JOINT
COMP. CONC	COMPOSITION CONCRETE	KD	KNOCK D
COND CONF	CONDITION CONFERENCE	LAM LAV	LAMINATE
CONST	CONSTRUCTION	LGTH	LENGTH
CONTR CONT	CONTRACTOR CONTINUOUS	LAM	LAMINATE
CORRU CORR	CORRUGATED CORRIDOR	LAV LGTH	LAVATOR
CG	CORNER GAURD	LH LIV	LEFT HAN LEVEL
CPT CSMT	CARPET CASEMENT	LIN	LEVEL
CTR	CENTER	LL LT	LIVE LOAI
CTSK CT	COUNTERSUNK CERAMIC TILE	LWT	LIGHTWE
CU FT CU YD	CERAMIC TILE CUBIC FOOT (FEET) CUBIC YARD	MACH	MACHINE
С	CURB CENTER TO CENTER	MAINT MAS	MAINTEN
C-C BBL	GASED OPENING	MATL MAX	MATERIAL MAXIMUM
DEFL		MB	MACHINE
DF DIAG	DRINKING FOUNTAIN DIAGONAL	MECH MEMB	MECHANI
DIA	DIAMETER	MEP	MECHANI
DIM DISC	DIMENSION DISCONNECT	MFR	PLUMBIN
DISP DL	DISCONNECT DISPENSER DEAD LOAD DAMP PROOFING	MH MIN	MANHOLE
DMPFG	DAMP PROOFING	MISC	MISCELLA
DN DR	DOWN DOOR	ML MO	METAL LA
DS DTL	DOWNSPOUT DETAIL	MR MTD	MOISTUR MOUNTED
DWC	DRYWALL FURRING CHANNEL	MTG	MOUNTIN
DWG D	DRAWING DEPTH	MTL MULL NIC	METAL MULLION NOTIN CO
EA	EACH	NOM	NOTINCO
EFOB	EXTERIOR FACE OF BUILDING	NO. OR NRC	#NUMBER NOISE RE
EJ ELAS	EXPANSION JOINT ELASTIC (ELASTOMERIC)		COEFFIC
ELEC	ELECTRICAL	NTS	NOT TO S
ELEV EL	ELEVATOR ELEVATION	OA OC	OVERALL ON CENT
EMER	EMERGENCY	OD	OUTSIDE
EP EQUIP	EXPLOSION PROOF EQUIPMENT	OFCI	OWNER F
EQ ESR	EQUAL ELASTIC SHEET ROOFING	OFF OFOI	OFFICE OWNER F
EWC	ELECTRIC WATER COOLER		OWNER
EWH EW	ELECTRIC WATER HEATER EACH WAY	OH OP	OVERHEA OPERABL
EXH EXIST	EXHAUST	OPH	OPPOSITI
EXIST	EXISTING EXPANSION	ophg opp	OPENING OPPOSITE
EXP EXT	EXPOSED EXTERIOR	ORD O/A	OVERFLO OUTSIDE
FA	FIRE ALARM	0/A P-LAM	PLASTIC I
FC FD	FIRE CODE FLOOR DRAIN	PART	PARTITIO
FEC	FIRE EXTINGUISHER	PCF PCP	POUNDS PORTLAN
FJC	CABINET FIRE HOSE CABINET	PCT PERF	PORCELA
FH FIN	FIRE HYDRANT FINISH (ED)	PLAST	PLASTER
FIXT	FIXTURE	PLAS PLBG	PLASTIC PLUMBING
FLRG FLR	FLOORING FLOOR	PLWD	PLYWOOD
FLSHG	FLASHING	PNL POL	PANEL POLISHEE
FLUOR	FLUORESCENT	PR PRKG	PAIR PARKING

CTR CENTER CTR CENTER CTSK COUNTERSUNK CT CERAMIC TILE CU FT CUBIC FOOT (FEET) CU YD CUBIC YARD C CURB C-C CENTER TO CENTER DEFL DEFLECTION DF DRINKING FOUNTAIN DIAG DIAGONAL DIA DIAMETER DIM DIMENSION DISC DISCONNECT DISP DISPENSER DL DEAD LOAD DMPFG DAMP PROOFING DN DOWN DR DOOR DS DOWNSPOUT DTL DETAIL DWC DRYWALL FURRING (DWG DRAWING D DEPTH EA EACH



	PROJEC		ENO	CCD .			
/ , LL(с	MECHANICAL WT GROUP 2675 PRATUM AVENI	UE		NO.	SHEET NAME	
		HOFFMAN ESTATES ATTN: MARK VENTR	, ILLINOIS ELLI	60192	A-101	SITE PLAN / DEMOLITION PLAN	
		PHONE: 224.293.633 ELECTRICAL E B-ELECTRIC, INC	ENGINE	ER:	A-201 A-301	FIRST FLOOR PLAN REF. CEILING PLAN / ROOF PLAN / SCHEDULES	ARCHITECTURE, INC.
		7239 ST LOUIS AVEN SKOKIE, ILLINOIS 60 ATTN: DANIEL BEER	NUE)076		A-401	BUILDING ELEVATIONS / SECTIONS	
		PHONE: 847.674.920			A-501 A-601	DETAILS SPECIFICATIONS	320.251.4109 320.251.4693 fx
					A-602 C	SPECIFICATIONS	3335 West St Germain Street
					C-1 of 4	EXISTING CONDITIONS / DEMILITION PLAN	PO Box 1228 St Cloud, MN 56302
		GENERAL COM			C-2 of 4 C-3 of 4	PROPOSED PAVING PLAN PROPOSED GRADING PLAN	
		3335 W. ST. GERMAI ST. CLOUD, MN 5630 ATTN: ANTON KRIZ		r .	C-4 of 4	GENERAL NOTES / DETAILS	I hereby certify that this plan,
		PHONE: 320.426.098	82 (MOBIL	E)	E E-301a	MODIFIED REFLECTED CEILING PLAN	specification, or report was prepared by me or under my direct supervision
	ABBREV	/IATIONS			M M101	FIRST FLOOR MECHANICAL PLAN	and that I am a duly Licensed Architect under the laws of the State of
1	FLOW LINE	/UTUAL	PREF PSF PSI	PRE-FINISHED POUNDS PER SQUARE FOOT POUNDS PER SQUARE INCH	S		ILLINOIS.
PF	PANELING FIREPROOF	F	PNT PVC PVG	PAINT POLYVINYL CHLORIDE PAVING	S1 S2	GENERAL NOTES FOUNDATION PLAN / ROOF FRAMING PLAN	Signature : BRADLEY A. TOROK
-	FOOD SERV EQUIPMEN FULL SIZE FOOTING	VICE NT CONTRACTOR	PVMT P.L. P/C PFP	PAVEMENT PROPERTY LINE PRECAST PRE-FINISHED PANEL	S3	DETAILS	Reg. No. : 001.018042 Date : 07-21-2023
IRN	FOOT (FEE1 FURNISHED FURRED (IN	Ć	QT	QUARRY TILE			Design Firm Reg. No. : F 5993-562-3
	FIRE VALVE GAGE GALLON		R R/A R/AG	RADIUS RETURN AIR RETURN AIR GRILLE			UNITEY A. 70
ALV 3 C	GALVANIZEI GYPSUM BO GENERAL C	OARD CONTRACTOR	RCP RD REBAR	REINFORCED CONCRETE PIPE ROOF DRAIN REINFORCED BAR			001-018042 LICENSED
D EN	GRADE, GR GENERAL GALVANIZEI	RADING D IRON	REC RECEP RECEP1	RECESSED RECEPTACLE FRECEPTION			STATE OF
- /IP	PRICE	AZING ED MAXIMUM	RECOM REG REINF	RECOMMENDATION REGULATION REINFORCED			ARCHITECT *
Υ Έ	GROUND GRANITE TI GYPSUM		REQD RES RET PEV	REQUIRED RESILIENT RETURN RETURN			DOCUMENT SIGNED LICENSE EXPIRES
	HOSE BIBB HOLLOW CO HANDICAPP	ORE PED	REV RE RFG RH	REVISION REFER TO ROOFING RIGHT HAND			07 - 21 - 2023 11- 30 - 2024
) WR	HARDWOOL HARDWARE HEAD HALF FULL \$	Ξ	RH RI RM ROW	RIGHT HAND RISER ROOM RIGHT OF WAY			
Λ	HOLLOW MI HORIZONTA HORSEPOW	IETAL AL	SC SCHED SECT	SOLID CORE SCHEDULE SECTION			ЦШ
R - /AC	Hour Height Heating/Ve	ENTILATING/	SF SHLV SHT	SQUARE FEET SHELVES (ING) SHEET			
′D	AIR CONDI HYDRANT INSIDE DIAM	ITIONING METER	SHTHG SIM SPEC SQ	SHEATHING SIMILAR SPECIFICATION SQUARE			
CL FO	INCANDESC INCLUDE INFORMATIO	ON	SQ SSTL STAB STA	SQUARE STAINLESS STEEL STABILIZE (D) STATION			
SUL T	INSULATION INTERIOR INCH INSIDE PIPE		STC STD	SOUND TRANSMISSION COEFFICIENT STANDARD			
S N T	JANITOR JOIST		STL STN STOR	STEEL STAIN STORAGE			
)	JOINT KNOCK DOV			F STRUCTURE (AL) SUSPENDED SHEET VINYL SWITCH			
N	LAMINATE (I LAVATORY LENGTH	(U)	SVV SYN S/AD T	SWITCH SYNTHETIC SUPPLY AIR DIFFUSER TOP			
M V STH	LAMINATE (I LAVATORY LENGTH	(D)	TA TC	TOILET ACCESSORY TOP OF CURB TEXTURE COATING			
 /	LENGTH LEFT HAND LEVEL LINEAR)	TEL TEMP	ON CONCRETE TELEPHONE TEMPERED			
	LIVE LOAD LIGHT LIGHTWEIG		TKBD	THICK (NESS) THRESHOLD TACKBOARD TOP OF STEEL			╢┫∟
AINT	MACHINE MAINTENAN MASONRY	NCE	TOSS TRANS	TOP OF STEEL TOP OF STRUCTURAL SLAB TRANSFORMER TERRAZZO			╢┏⊆
ATL AX B	MATERIAL MAXIMUM MACHINE B		TR TTC	TREAD TELEPHONE TERMINAL CABINET			
EMB	MECHANICA MEMBRANE MECHANICA	AL E AL, ELECTRICAL	TV TYP UL	TELEVISION TYPICAL UNDERWRITERS LABORATORY			Щ О
ł	PLUMBING MANUFACT MANHOLE		UNO UR	UNLESS NOTED OTHERWISE URINAL			
N SC - D	MINIMUM MISCELLAN METAL LATH MASONRY (Н	V VAC VCT VERT	VINYL VACUUM VINYL COMPOSITION TILE VERTICAL			
ГD ГG	MOISTURE MOUNTED MOUNTING	RESISTANT	VERT VEST VT	VERTICAL VESTIBULE VINYL FACED GYPSUM BOARD CEILING TILE			-16 P _
ILL C	METAL MULLION NOT IN CON NOMINAL		VWC WC	VINYL WALL COVERING WATER CLOSET			
). OR ;	NOMINAL #NUMBER NOISE RED COEFFICIE		WD WDW WF	WOOD WINDOW WIDE FLANGE			
-s	NOT TO SCA	ALE	WH WI WLP WP	WALL HUNG WROUGHT IRON WALL PAPER WATERPROOF (ING)			
C D FCI	ON CENTER OUTSIDE DI OWNER FUI	IAMETER IRNISHED/	WP WR WT WWF	WATERPROOF (ING) WATER RESISTANT WEIGHT WELDED WIRE FABRIC			
F OI	CONTRAC OFFICE OWNER FUI OWNER IN		W.P. W/ W/I	WORK POINT WITH WITHIN			
	OVERHEAD OPERABLE OPPOSITE H) PARTITION	W/O ହ	WITHOUT CENTERLINE			
Phg Pp Rd	OPENING OPPOSITE OVERFLOW	V ROOF DRAIN	@ [AT CHANNEL			
RT	OUTSIDE AI PLASTIC LA PARTITION	AMINATE	⊕∟ ₽	ROUND/DIAMETER PLATE			
Ж Р СТ	POUNDS PE PORTLAND PORCELAIN	ER CUBIC FOOT CEMENT PLASTER N CERAMIC TILE	∠ &	ANGLE AND			
.AST .AS	PERFORATE PLASTER PLASTIC PLUMBING		/ ±	PER PLUS OR MINUS			
.BG .WD NL)L	PLUMBING PLYWOOD PANEL POLISHED						
RKG	Pair Parking						_ װ ∞ ∾
PF	ROJECT	LOCATION	States	Brewing Company			
ladisor	n-St	Postal-S	States Service				Issue ID Issue Issue Date
		Hino	BU	Searle Park			
4	Cleveland St	tincoln Ave	55	Searle Park			
offmi		St Peter's Catholic Schoo HA	BEN	arle Pkwy	11. 		
offmar		FUN HC	ERAL DME	Ave			
1000 c	e Ave	Haben Funeral		dour Lacrosse Ave			
w-Etd	Laramie Ave	Ave	Ave		8		SHEET TITLE TITLE SHEET
	Oakto	on St	Hardware kokie	Walgreens Oakton-Skokier M	2		DRAWN BY: DATE: PROJ. NO.
	Library	Image: Willing to the second		De-Jred Fine Jamaican Cuisine			SJG /BAT 7/21/23 32249
Infant chool	0	Skokie House	n Junior –	Kirk-St			SHEET NO.
eorge	1108/12	Computer	Sch <u>ool</u>				A-001

© Copyright, Miller Architecture Inc.



3 - SITE PLAN / DEMOLITION PLAN : Plotted on 7/24/23 at 4:21 PM - /Volumes/Mike Keim's Public Folder/Miller Projects/32249-Haben Funeral Home/Design Drawings and Datas/Haben FH DN-5 CA.pln

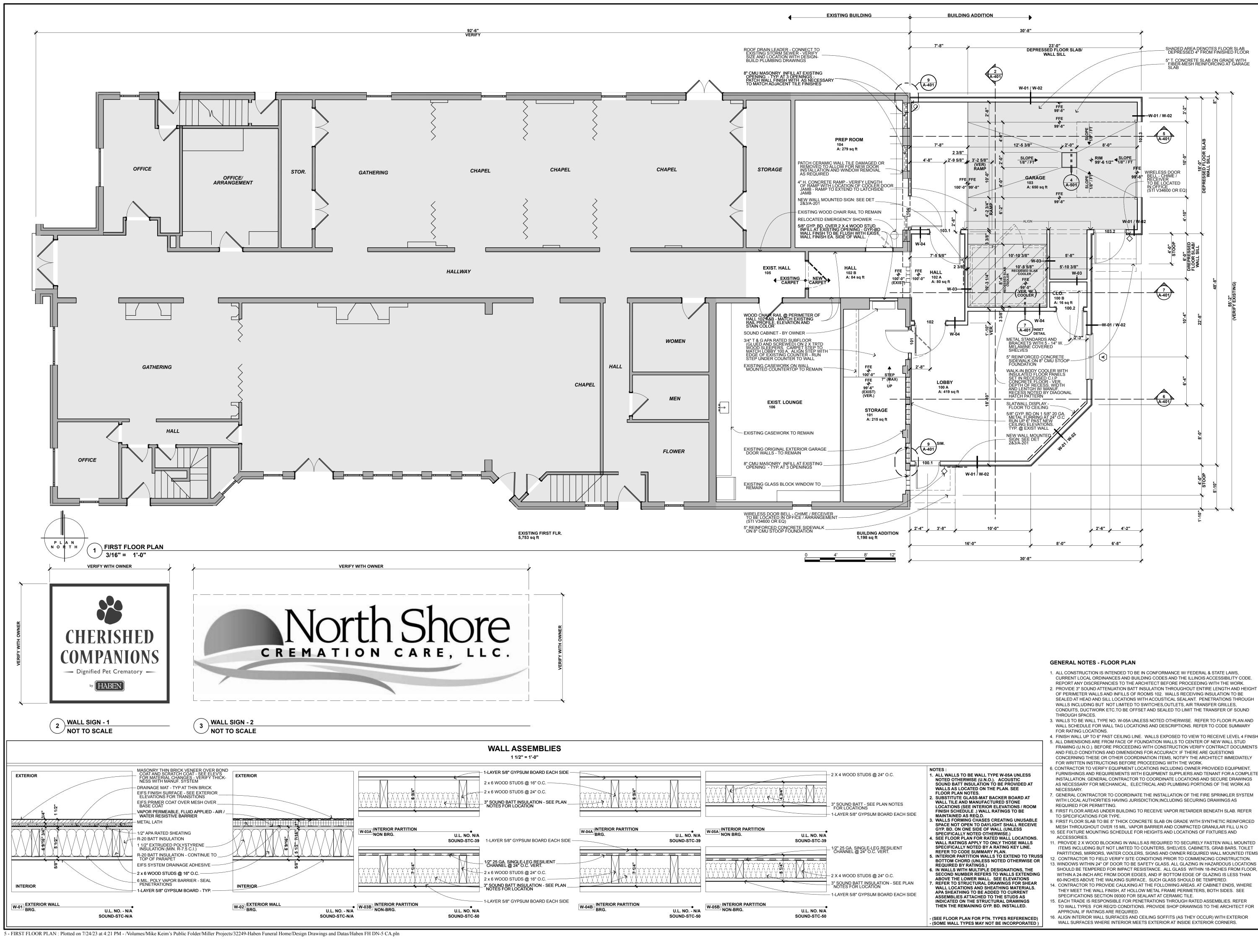
GENERAL NOTES - SITE PLAN FOR RESOLUTION. GRADING AND DRAINAGE REQUIREMENTS. 5. CONTRACTOR SHALL MAINTAIN TEMPORARY SITE ACCESS AND EMPLOY SOIL CONSERVATION TECHNIQUES AS REQUIRED CONDITIONS. 9. REFER TO CIVIL DRAWINGS FOR DIMENSIONED PLAN AND SITE DETAILS.

1. THE GENERAL CONTRACTOR SHALL STAKE OUT BUILDING AND PAVING SURFACES PRIOR TO THE COMMENCEMENT OF OF CONSTRUCTION. NOTIFY THE ARCHITECT OF ANY DISCREPANCIES BETWEEN THE PLANS AND IN-FIELD DIMENSIONS

2. CONTRACTORS SHALL COMPLETELY FAMILIARIZE THEMSELVES WITH THE SITE CONDITIONS PRIOR TO SUBMITTING BIDS. 3. VERIFY THE LOCATIONS OF ALL UTILITY LINES PRIOR TO CONSTRUCTION. CONTACT DIGGERS HOTLINE FOR FURTHER INFORMATION. 4. PROVIDE SITE GRADING TO ACHIEVE POSITIVE DRAINAGE AWAY FROM THE BUILDING AND ENTRANCES. SEE CIVIL DRAWINGS FOR

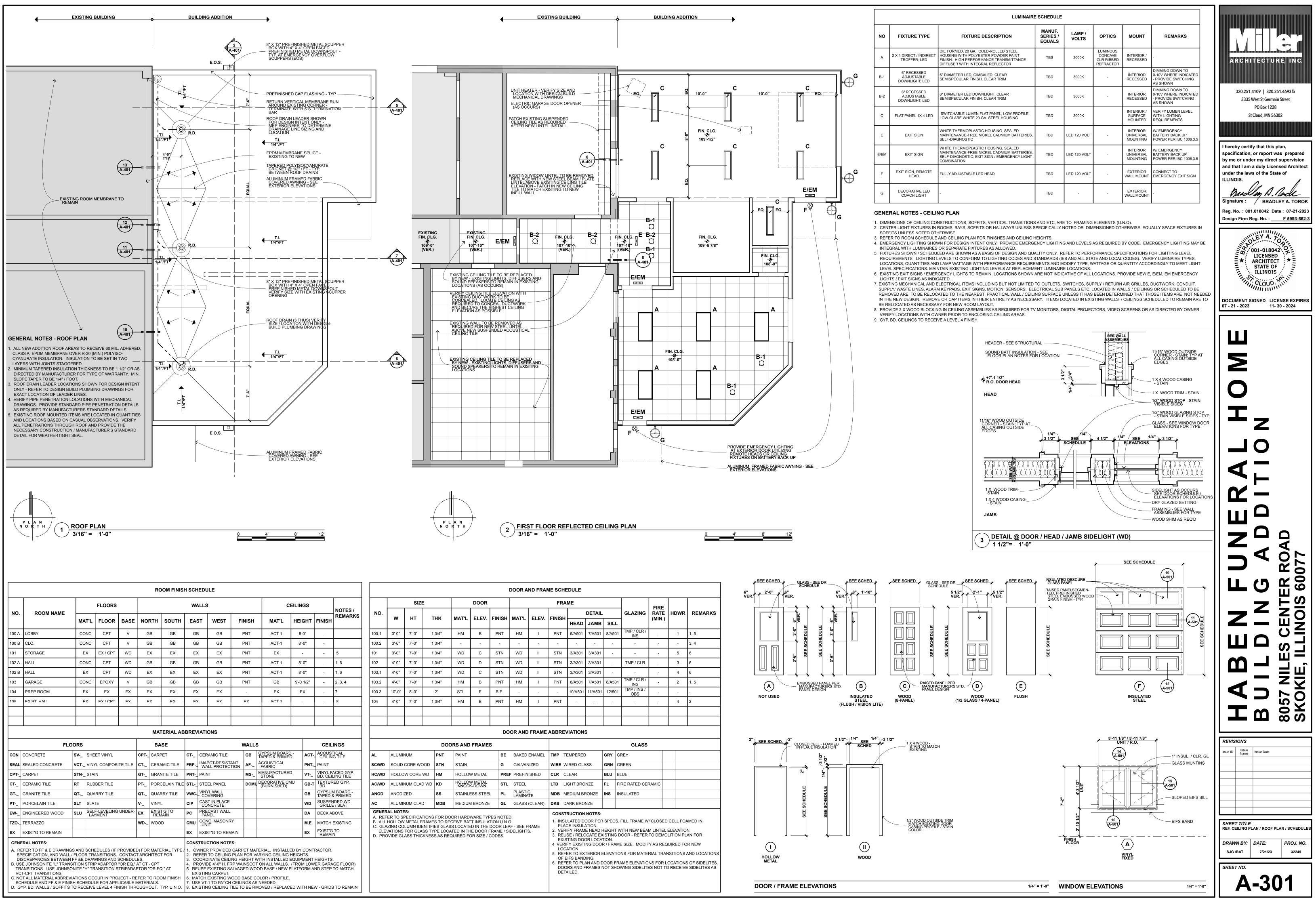
BY THE LOCAL MUNICIPALITY. ALL CARE SHALL BE TAKEN TO MINIMIZE DISTURBANCES TO ADJACENT STRUCTURES AND SITE ELEMENTS. IN-PLACE ELEMENTS DAMAGED BY CONSTRUCTION OPERATIONS TO BE REPLACED TO MATCH EXISTING 6. PAVING TO BE CONSTRUCTED WITH MAXIMUM 2% SLOPE AT HANDICAP ACCESS AISLES AND ACCESS PATH TO ENTRY (TYP. U.N.O.) 7. NEW SIDEWALKS TO MATCH EXISTING ELEVATIONS WHERE NEW ABUTS EXISTING. PATCH EXISTING PAVING WHERE NEW CONSTRUCTIONS ABUT EXISTING. PATCH AGGREGATE BASE AND SUB-BASE AS OCCURS TO MATCH ADJACENT EXISTING CONDITIONS. MATCH EXISTING PAVING ELEVATIONS WHERE NEW ABUTS EXISTING.

ARCHITECTURE, INC. 320.251.4109 320.251.4693 fx 3335 West St Germain Street PO Box 1228 St Cloud MN 56302
St Cloud, MN 56302
I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Architect under the laws of the State of ILLINOIS. Signature : BRADLEY A. TOROK Reg. No. : 001.018042 Date : 07-21-2023 Design Firm Reg. No. : <u>F 5993-562-3</u>
Design Firm Reg. No. : F 5993-562-3
HABEN FUNERAL HOME BUILDING ADDITION 8057 NILES CENTER ROAD SKOKIE, ILLINOIS 60077
Issue ID Issue Name Issue Date
SHEET TITLE
SITE PLAN / DEMOLITION PLANDRAWN BY:DATE:PROJ. NO.SJG /BAT7/21/2332249
sheet NO. A-101



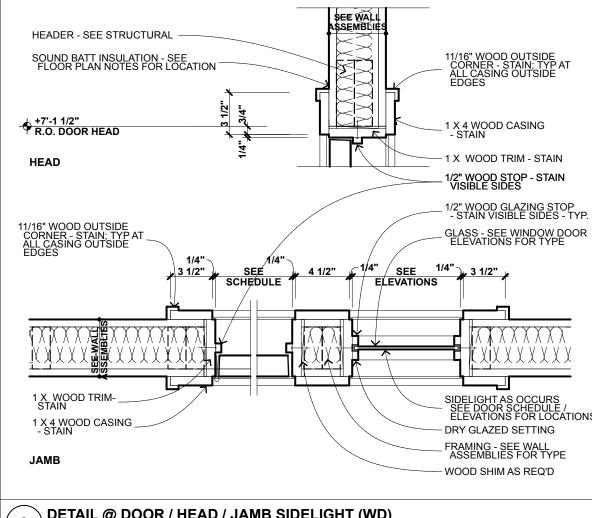


© Copyright, Miller Architecture Inc.

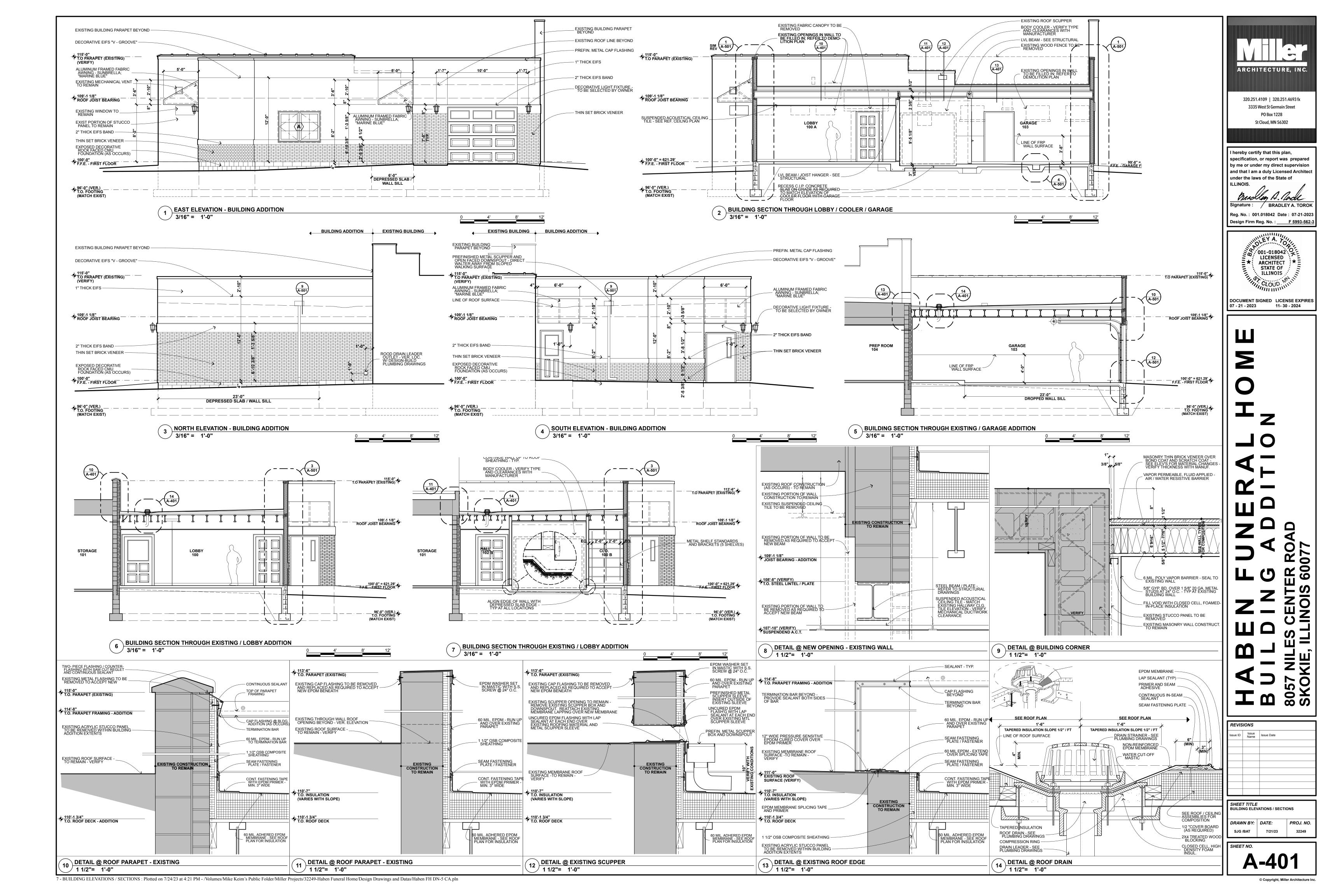


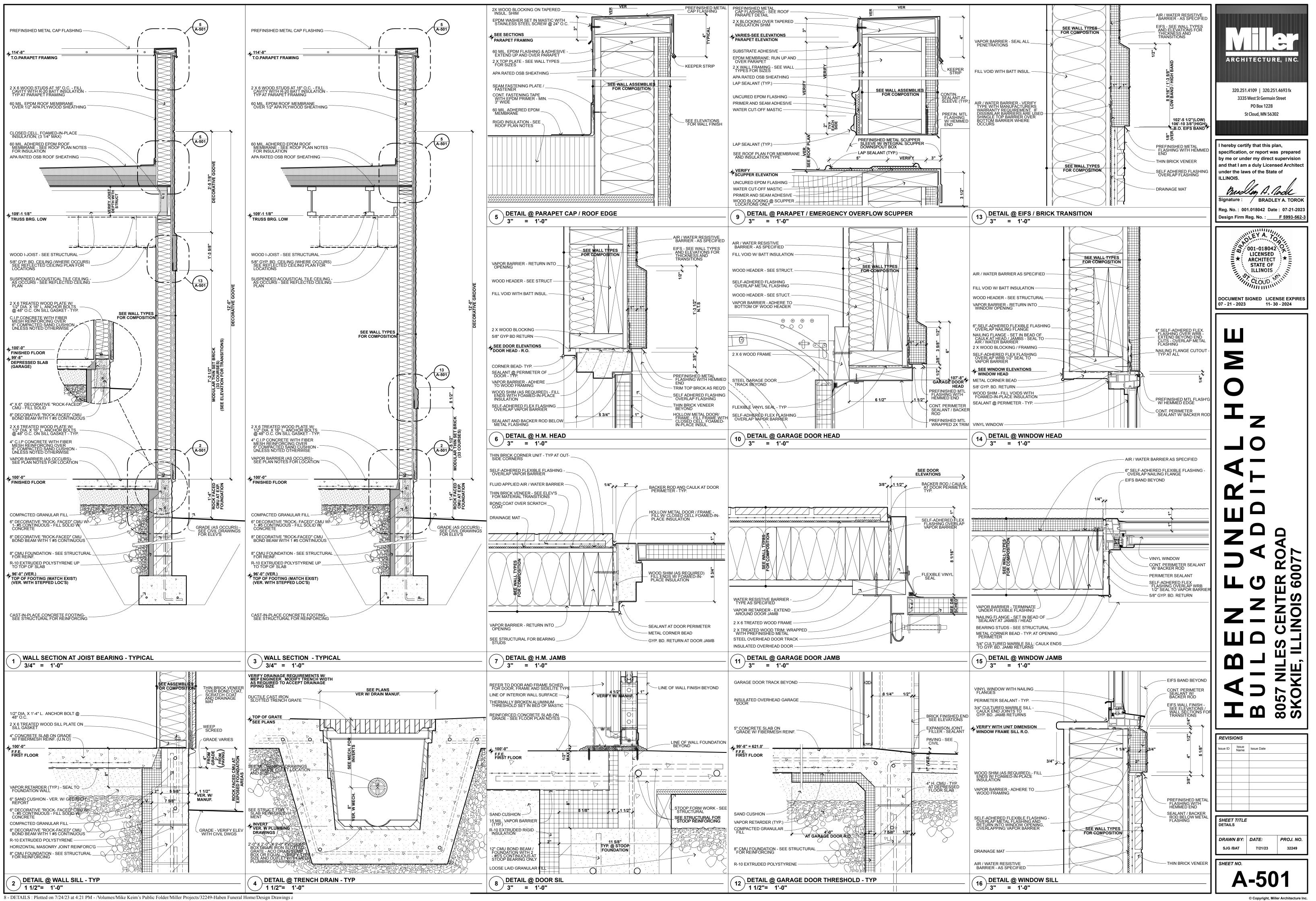
					C	DOOR A	ND FRAM	NE SCI	HE	DULE								
			DOOR					FR	RAN	ME					FIDE			
-		MATU									DETAIL			GLAZING	FIRE RATE	: н	IDWR	REMARK
1	ΉK	MAT'L	ELEV.	FIN	15H	MAT'L	ELEV.	FINIS	П	HEAD	JAMB	SIL	L		(MIN.)		
1	3/4"	НМ	В	PN	ΝT	НМ	I	PNT		6/A501	7/A501	8/A5	01	TMP / CLR / INS	-		1	1, 5
1	3/4"	-	-	-	-	-	-	-		-	-	-		-	-		-	3, 4
1	3/4"	WD	С	ST	ΓN	WD	П	STN		3/A301	3/A301	-		-	-		5	6
1	3/4"	WD	D	ST	ĪN	WD	II	STN		3/A301	3/A301	-		TMP / CLR	-		3	6
1	3/4"	WD	С	ST	N	WD	II	STN		3/A301	3/A301	-		-	-		4	6
1	3/4"	НМ	В	PN	νT	HM	I	PNT		6/A501	7/A501	8/A5	01	TMP / CLR / INS	-		2	1, 5
	2"	STL	F	В.	E.	-	-	-		10/A501	11/A501	12/50	01	TMP / INS / OBS	-		-	-
1	3/4"	НМ	E	PN	٦٢	HM	I	PNT		-	-	-		-	-		4	2
									_									
					DOC	OR AND	FRAME	ABBR	EV	IATIONS	6							
	DOC	ORS AND	FRAME	s										GLASS				
	PNT	PAINT			BE	BAKED	ENAMEL	тмр	TE	MPERED		GRY	GF	REY				
D	STN	STAIN			G	GALVAN	IIZED	WIRE	W	IRED GLA	SS	GRN	GF	REEN				
D	нм	HOLLO	N METAL		PREF	PREFIN	ISHED	CLR	CL	EAR		BLU	BL	.UE				
WD	KD		W METAL K-DOWN		STL	STEEL		LTB	LIC	GHT BRO	NZE	FL	FI	RE RATED CEF	RAMIC			
	SS	STAINLI	ESS STEE	L	PL	PLASTIC LAMINA		MDB	ME	EDIUM BF	RONZE	INS	IN	SULATED				
	MDB	MEDIUN	/I BRONZE		GL	GLASS	(CLEAR)	DKB	DA	ARK BRO	NZE							
AME ITIFI S TY	S TO RE ES GLAS PE LOCA	or hard Ceive Bat Is Locate Ited in th Quired Fo	TT INSULA D IN THE E DOOR I	tion Doof Fram	U.N.O R LEAF E / SIE	F - SEE F		1. IN PL 2. VE 3. RE 4. VE LC 5. RE	SUI ERII EUS (IS ⁻ RIF)CA	E INSULA FY FRAMI SE / RELC TING DOC TY EXISTI ATION.	Dor Per Ation. E Head H Dorte Ex Dr Loca Ng Dooi Terior E	HEIGH (ISTIN(TION. R / FR4	t w g d Ame	FILL FRAME W. ITH NEW BEAI OOR - REFER E SIZE. MODIF NS FOR MATE!	M LINTE TO DEM Y AS RE	l eli Iolit Quif	EVATION TON PL/ RED FO	N. AN FOR R NEW

	LUMINAIRE SCHEDULE										
JRE TYPE	FIXTURE DESCRIPTION	MANUF. SERIES / EQUALS	LAMP / VOLTS	OPTICS	MOUNT	REMARKS					
ECT / INDIRECT FER; LED	DIE FORMED, 20 GA., COLD-ROLLED STEEL HOUSING WITH POLYESTER POWDER PAINT FINISH. HIGH PERFORMANCE TRANSMITTANCE DIFFUSER WITH INTEGRAL REFLECTOR	TBS	3000K	LUMINOUS CONCAVE CLR RIBBED REFRACTOR	INTERIOR / RECESSED	-					
ECESSED USTABLE ILIGHT; LED	6" DIAMETER LED, GIMBALED, CLEAR SEMISPECULAR FINISH, CLEAR TRIM	TBD	3000K	-	INTERIOR RECESSED	DIMMING DOWN TO 0-10V WHERE INDICATED - PROVIDE SWITCHING AS SHOWN					
ECESSED USTABLE ILIGHT; LED	6" DIAMETER LED DOWNLIGHT, CLEAR SEMISPECULAR FINISH, CLEAR TRIM	TBD	3000K	-	INTERIOR RECESSED	DIMMING DOWN TO 0-10V WHERE INDICATED - PROVIDE SWITCHING AS SHOWN					
NEL 1X 4 LED	SWITCHABLE LUMEN FLAT PANEL, LOW PROFILE, LOW-GLARE WHITE 20 GA. STEEL HOUSING	TBD	3000K		INTERIOR / SURFACE MOUNTED	VERIFY LUMEN LEVEL WITH LIGHTING REQUIREMENTS					
IT SIGN	WHITE THERMOPLASTIC HOUSING, SEALED MAINTENANCE-FREE NICKEL CADMIUM BATTERIES, SELF-DIAGNOSTIC	TBD	LED 120 VOLT	-	INTERIOR UNIVERSAL MOUNTING	W/ EMERGENCY BATTERY BACK UP POWER PER IBC 1006.3.5					
IT SIGN	WHITE THERMOPLASTIC HOUSING, SEALED MAINTENANCE-FREE NICKEL CADMIUM BATTERIES, SELF-DIAGNOSTIC; EXIT SIGN / EMERGENCY LIGHT COMBINATION	TBD	LED 120 VOLT	-	INTERIOR UNIVERSAL MOUNTING	W/ EMERGENCY BATTERY BACK UP POWER PER IBC 1006.3.5					
GN, REMOTE HEAD	FULLY ADJUSTABLE LED HEAD	TBD	LED 120 VOLT	-	EXTERIOR WALL MOUNT	CONNECT TO EMERGENCY EXIT SIGN					
RATIVE LED CH LIGHT	-	TBD	-	-	EXTERIOR WALL MOUNT	-					



© Copyright, Miller Architecture Inc.





01100 - 9	GENERAL REQUIREMENTS		b. Large Sheets, 36 x 48 inches (910 x 1220 mm) maximum: 0170	00 - EXE
	SUMMARY Summary of Work:		1. Number of copies required by submitter. (01) One electronic PDF formatted file. An electronically-marked up file will be	Exa 1. B
1.	Owner: Haben Funeral Home & Crematory, LLC, 8057 Niles Center Road; Skokie, Illinois 60077. Architect: Miller Architecture, Inc - 3335 W. St. Germain Street, St. Cloud MN 56302.		returned. Create PDF's at native scale / size and right side up. Illegible files will be returned without being reviewed.	2. V
3.	 a. Attn: Bradley A. Torok; bradt@millerab.com. Structural Engineer: Hutter Trankina Engineering - 32W273 Army Trail Road; Wayne, II 60184 a. Attn: John Trankina; john@htedesign.com 		 c. Samples: Two of each, unless more are specified, one of which will be retained for project record, for review only for aesthetic characteristics or color or finish selection. B. 2. Submittals for Information: Certificates and certifications, test reports. 	3. V Prep 1. C
4.	Civil Engineer: Daniel Creaney Company; 450 Skokie Boulevard, Suite 105; Northbrook, Illinois 60062.		a. Copies: Two. 3. Preparing Submittals:	in 2. L
	a. Attn: Robert Hansen; rhansen@dcreaneyco.com. Mechanical Engineer: TBD.		 Submit related information together or in appropriate sequence; submit all information required for an individual review together. 	3. B
6. 8.	 Electrical Engineer: TBD. General Contractor: Miller Architects & Builders, LLC - 3335 W. St. Germain Street, St. Cloud MN 56302. 		 b. If verification of field conditions is required, do not submit until verified. c. Do not make requests for deviations from contract documents via shop drawings, product data, or samples; deviations will not be valid unless specifically approved under specified 	4. R 5. B re
9.	 Project Coordinator: Miller Architects & Builders, LLC - 3335 W. St. Germain Street, St. Cloud MN 56302. 		d. Coordinate with other submittals and with construction schedule.	Exe 1. Ir
1(Attn: Anton Kriz; antonk@millerab.com. Installation of items identified as NIC; prepare spaces and provide applicable utility connections. 		 For submittals for review, allow minimum of 15 days for review, excluding transit time. f. Use a standard transmittal form; identify project, entities involved, and relevant contract 	r p
	 a. Residential appliances. b. Sound, Video and Security systems. c. Items as indicated on the drawings. 		 document drawing, detail, or specification. g. Number each initial submittal with sequential number; number resubmissions with original number plus sequential alphabetic suffix. 	2. C o 3. H
1'	 Work by Haben funeral Home & Crematory: a. Items noted NIC (Not in Contract) will be supplied and installed by Hickey Memorial 		 Manufacturers' Standard Printed Data: Cross out inapplicable data or otherwise annotate to show applicable products, options, models, etc. 	4. lr 5. lr
	 Chapel before Substantial Completion. Some items include: Window treatments. Small equipment including but not limited to: 		i. Clearly mark changes from previous submissions.j. Provide space for review/approval stamps.	m 6. W 7. W
	(01) Residential appliances. (02) Office equipment.	01400 A.	00 - QUALITY REQUIREMENTS Reference Standards: Where products or workmanship is specified by reference to a	8. Ir 9. W
1.	Nork Restrictions: Access to and Use of Site: To be determined by the Project Coordinator.	_	document not included in the contract documents, comply with the requirements of the document, except where more stringent requirements are specified.	с 10. D
	Alternates: Coordinate related work and modify surrounding work to integrate the work of each alternate. Accepted alternates will be identified in the Owner-Contractor Agreement. 	В.	 Quality Assurance: Substantiation Data: During Preliminary Design and Design Development, submit for review; when required during Construction, submit for project record. 	11. lr in 12. S
D. lı	a. Alternate No. 1: No alternates are being considered. nstructions to Bidders:	C.	Quality Control: 1. Certificates: Where specified or required by code, certify in writing that work complies with code	re Pen
	Haben Funeral Home & Crematory Funeral Home Addition		 and with contract documents. 2. Erection Drawings: Metal plate connected wood trusses. 2. Field Testing and the set into the product of the set in the set into the set intot	1. C 2. S
۷.	Securing Documents a. Copies of the proposed Contract Documents may be obtained from: 1. Haben Funeral Home & Crematory		 3. Field Testing and Inspection: Perform all testing, observation, and inspection required by code and as specified. a. Exception: Tests and inspections indicated to be performed by Hickey Memorial Chapel's 	3. C 4. If se
	 8057 Niles Center Road Skokie, Illinois 60077 		commissioning agent or other independent agency. E. b. Reports: Make written report of each test/inspection; include complete details of	Cutt 1. C
3.	 Bid Form In order to receive consideration, make bids in strict accordance with the following: Make bids upon company's standard bidding stationary, properly signed and with all 	D.	conditions, methods, and results. Submittals Required: 1. Design Data: For each assembly specified to be designed or engineered by manufacturer or	e: 2. S 3. P
	terms filled out. Unauthorized conditions, limitations, or provisions attached to the bid may be cause for rejection of the bid. If alterations by erasure or interlineations		fabricator, submit calculations or test reports showing compliance with design criteria; or, for engineering design, submit certification by licensed professional engineer; or as specified; submit	3. F 4. F re
	are made for any reason, explanation over such an erasure or interlineations with a signed statement from the bidder.		for review. 2. Reports: On each factory and field test, inspection, or other procedure specified; submit for F.	fii Clea
	 Each bidder is to bid on their respective bid section(s). Address bids to the Project Coordinator, and deliver to the address given in the Bid Solicitation on or before the day and hour set for opening the bids. 	E.	information. Code Required Special Inspections: 1. Special inspections shall be provide in accordance with IBC Section 1704 and as outline below. the	1. R 2. D 3. P
	Bid Date: Bids are due as determined by the Project Coordinator. Examination of Documents and Site of Work		special inspector shall be employed by the owner, shall be thoroughly knowledgeable of IBC special inspection requirements and shall demonstrate competence to the satisfaction of the building official	4. G 5. F
	a. Before submitting a bid, each subcontractor shall examine the drawings carefully, shall read the Specifications and all other proposed Contract Documents, and shall visit the site of the work. Each subcontractor shall fully inform himself/barself prior to bidding as to		(IBC 1704.1). The contractor shall contact the special inspector during appropriate phases of construction so that inspections can be made in a timely manner. The special inspector shall	
	of the work. Each subcontractor shall fully inform himself/herself prior to bidding as to existing conditions and limitations under which the work is to be performed, and shall include in his bid a sum to cover the cost of items necessary to perform the work as set		submit written inspection reports to the Architect and the Engineer of Record within three working days of each inspection. Any problems should be brought to the immediate attention of the contractor.	
	forth in the proposed Contract Documents. No allowance will be made to any subcontractor because of lack of such examination or knowledge. The submission of a bid		 Schedule of Inspections: Special inspections shall be identified as either continuous or periodic. The special inspection agency shall be present in the area that work is being performed at all times G. 	Star
e	will be considered as conclusive evidence that the subcontractor(s) has made such examination. Award or Rejection of Bids		observing the work in progress under continuous inspections. a. Special Inspections for Steel Construction: 1. Steel manufacturer's certificate of compliance.	1. B
0.	a. The Contract, if awarded, will be negotiated and awarded to the subcontractors named, subject to the General Contractor's or Owner's right to reject any or all bids and to waive		 b. Special Inspections for Concrete Construction: 1. Reinforcing Steel, Including Prestressing of Tendons and Placement: Verify 	
7.	informality and irregularity in the bids and in the bidding. Execution of Agreement		compliance with approved contract documents and ACI 318, 3.5 and 7.1 through 7.7; periodic.	2. E
	 Each subcontractor to whom the Contract is awarded shall, within fifteen (15) calendar days after notice of award and receipt of Agreement forms from the General Contractor, sign and deliver copies to the General Contractor. 		 Anchors Installed in Hardened Concrete: Verify compliance with ACI 318, 3.8.6, 8.1.3 and 21.2.8; periodic. Design Mix: Verify plastic concrete complies with the design mix in approved 	
	b. At or prior to delivery of the signed Agreement, each subcontractor to whom the Contract is awarded shall deliver to the General Contractor those Certificates of Insurance,		contract documents and with ACI 318, Chapter 4 and 5.2; periodic.4. Concrete Sampling Concurrent with Strength Test Sampling: Each time fresh	_
	 including general and automobile liability and accident insurance, Worker's Compensation Certificate and an IRS W-9 form. c. Certificates of Insurance shall be approved by the General Contractor before the 		concrete is sampled for strength tests, verify compliance with ASTM C172, ASTM H. C31 and ACI 318, 5.6 and 5.8 and record the following, continuous: (01) Slump.	Prot sub: 1. If
	Contractor(s) may proceed with the Work. Failure or refusal to provide Certificates of Insurance in a form satisfactory to the General Contractor shall subject the Contract(s) to		(02) Air content. (03) Temperature of concrete.	2. P fa
	loss of time from the allowance construction period equal to the time of delay in furnishing the required material.		 c. Special Inspections for Soils: 1. Materials and Placement: Verify each item below complies with approved 	3. W p
	d. Property Insurance (Builder's Risk) - Full insurable value of entire work at the site. Builder's Risk Insurance shall be paid for by the Owner and shall contain the names of the contractor, the Architect and "any and all subcontractors, sub-subcontractors as their		construction documents and approved geotechnical report.(01) Design bearing capacity of material below shallow foundations; periodic.(02) Design depth of excavations and suitability of material at bottom of	rr 4. P 5. R
8.	interests may appear." Interpretation of Contract Documents Prior to Bidding		excavations; periodic. (03) Materials, densities, lift thicknesses; placement and compaction of backfill: 0178	80 - CLC
	a. If any person contemplating submitting a bid for construction of the work is in doubt as to the true meaning of any part of the proposed Contract Documents, or finds discrepancies in or omissions from any part of the proposed Contract documents, he/she may submit to		continuous. A. (04) Subgrade, prior to placement of compacted fill; periodic. 2. Testing: Classify and test excavated material; periodic.	Оре 1. Р
	the Architect a written request for interpretation thereof not later than five (5) days before bids will be opened. The person submitting the request shall be responsible for its prompt	01500	2. Testing. Classify and lest excavated material, periodic.	
	 delivery. b. Prior approvals for products not specified must be submitted to the Architect not later than 	Α.	Temporary Utilities: Provide and pay for all electrical power, water, and heating and cooling required for construction purposes.	
	 seven (7) days prior to the date of the bid opening. Approval requests received without a self-addressed, stamped envelope will not be considered or returned to the supplier. c. Interpretation or correction of proposed Contract Documents will be made only by 		 Electrical Power and Metering: By Miller Architects & Builders, LLC.; consisting of services required to perform Work. Temporary Lighting: By Miller Architects & Builders, LLC.; As required to perform Work; consisting 	2. O
	addendum and will be mailed or faxed to each plan holder of record. The Owner will not be responsible for any other explanation or interpretations of the proposed Contract		 OSHA-required lighting. Water: By Miller Architects & Builders, LLC.; temporary piping and fittings by plumbing contractor; 	2. 0
9.	Documents. Building Permit		consisting of services required to perform Work. 4. Temporary Sewer and Storm Sewer: By General Contractor.	
	 a. The General Contractor shall be responsible for obtaining a building permit for the work from the City of Skokie, Illinois. b. Specialty permits are the responsibility of the individual subcontractors. 		 Temporary Heating Before Enclosure: By each contractor. Temporary Ventilation Before Enclosure: By each contractor. Temporary Ventilation After Enclosure: By each contractor. 	
1(0. Safety Precautions a. Each subcontractor shall take the necessary precautions to protect building personnel and	В.	Construction Facilities: Provide all facilities required for construction purposes, except as B. follows:	War
	others having access to the site from injury by falling objects or other hazardous circumstances by providing barricades, warning signs, signal lights or planking and such other safety aides as may be necessary at their expense.		 Sanitary Facilities: By General Contractor; maintain daily. Telephone Service: Provide, maintain and pay for telecommunications services to field office at time of project mobilization, by General Contractor. 	00 - SITI Perf
	b. Each Contractor shall conform to the provisions of the Williams-Steiger Occupation Safety Act of 1970 as enforced by the local, State and Federal Government.		 Field Offices: By General Contractor for use of subcontractors and Hickey Memorial Chapel. a. Construction: Weathertight, with lighting, electrical outlets, and heating, cooling and 	1. C e
1	 Each awarded subcontractor shall provide to the General Contractor a copy of their enforced safety program along with all MSDS sheets required for the project. Alcohol and Controlled Substances Testing Compliance 		ventilating equipment. b. Furnishings: Sturdy furniture; conference table and chairs for 6 people, drawing display table, drawing rack, and bookshelving.	2. C 3. P 4. V
	a. Prior to the execution of subcontract agreements, the apparent low bidder(s) shall provide to the General Contractor written documentation from a legally authorized drug and/or	C.	 c. Locate minimum of 30 feet (10 m) from existing and new structures. Temporary Construction: Provide all temporary construction required for construction 	5. P 6. N
	alcohol testing entity that its employees, agents, or own subcontractors are in compliance with their own and other lawfully adopted alcohol and controlled substances testing policies.	D. E.	purposes. Construction Aids: Provide all tools, cranes, lifts, etc., required for construction purposes. Vehicular Access and Parking: Comply with regulations relating to use of streets and	re 7. P 8. S
	b. The Owner and General Contractor reserve the right to conduct drug and/or alcohol testing on subcontractors, their employees, agents or own subcontractors during the	<u>-</u> . F.	sidewalks, access to emergency facilities, and access for emergency vehicles. Temporary Barriers and Enclosures: Provide all barriers and enclosures required for 0230	00 - EAF
1,	duration of the project. and while on the project premises based upon reasonable suspicion, and if suspicious behavior is witnessed.	G.	construction purposes. A. Temporary Controls: Provide all controls required for construction purposes.	Con of th
12	 Insurance Certificate of Insurance: No physical work will be permitted at the project site before we receive a compliant certificate of insurance. Certificates of Insurance to indicate 		 Erosion/Sediment Control: Comply with local regulations and as shown on drawings. Waste Control: Provide waste storage and removal as required to maintain site in clean and orderly condition; provide lids on containers. 	perf rolli grac
	Commercial General Liability, Auto, Umbrella and Workforce Compensation coverage.b. Certificates of Insurance to list Miller Architects & Builders, LLC as the certificate holder;		 a. Dispose of waste off-site periodically. b. Waste Removal Service: By General Contractor, daily; including dumpsters. C. 	Gra Sati
	list Miller Architects & Builders, LLC and Owner as additionally insured which comply with the Contract Documents. Additionally Insured shall apply on a primary basis with respect to any other insurance afforded to Owner and Contractor. Miller Architects & Builders,	Н.	c. Do not use open free-fall chutes; terminate closed chutes in containers with lids. Signs: No signs allowed on site without Haben Funeral Home's permission except those required by law. D.	thes froz Uns
	LLC and Owner is included as additional insured for both ongoing operations per CG2010 (07/04) and completed operations CG2037 (07/04) or the equivalent that comply with the	I.	Removal of Temporary Facilities, Utilities, and Controls: Prior to Substantial Completion, remove, clean up, restore existing facilities used to original condition, and repair damage.	AST Eng
	 subcontract agreement. Commercial General Liability: To include, without limitation, comprehensive form; premises operations; underground explosion and collapse hazard; products- 	01600 A.	00 - PRODUCT REQUIREMENTS Basic Product Requirements: E.	1. Ŭ m Eng
	completed operations; contractual independence contactors, broad form property damage; and personal injury.		 Salvage: Do not use materials or equipment removed from existing premises, unless specifically allowed or required. 	or s No.
	(01) Bodily Injury and Property Damage Combined: \$1 Million - Each Occurrence		 Multiple Instances of Same Item: Use the same brand name product for each instance of the same item. F.	1. E Gen
	\$2 Million - Annual Aggregate (02) Personal Injury Injury: \$1 Million - Each Occurrence		3. Electrical Characteristics: Indicate on submittals. G. a. Provide equipment and fixtures that operate on 120 VAC electrical power, unless otherwise indicated. H.	Gra mat San
	 \$1 Million - Aggregate Automobile Liability: To include all owned autos (private passenger and other 		 Equipment Identified as "Movable": Provide 6 foot (2 m) long, minimum, cord and plug l. with grounding connector, unless otherwise indicated. 	Top 1. Ir
	than private passenger), hired and non-owned auto. (01) Bodily Injury and Property Damage Combined: \$1 Million - Each Occurrence	В.	 c. Equipment Other Than That Identified as "Movable": Provide permanent wiring connections using materials specified in or on the electrical drawings. Product Options: 	2. Ir
	 Umbrella Liability: \$1 Million - Each Occurrence Workers' Compensation: To include coverage A-statutory (which may be satisfied 		 Products Specified by Reference Standards or by Description Only: Use any product meeting those standards or description. 	3. E 4. S
	by self-insurance program meeting the requirements of State law). c. Please note if the equivalent endorsements are applied, the endorsements must be		Products Specified by Naming One or More Manufacturers: Use a product of one of the manufacturers named and meeting other requirements of specifications; substitutions are not	с 5. L
	provided along with the certificate of insurance. All endorsements must be listed on the certificate of insurance. Refer to the Subcontract Agreement for complete requirements. 3. Sales Tax		allowed unless specifically indicated. J. 3. Products Specified by Naming One or More Brand Name Products: Use one of the brand name products named; substitutions are not allowed unless specifically indicated. K.	Sub Gen edge
13	a. Sales tax should be included in the bid. Existing Conditions:		 Where Substitutions are Allowed and Manufacturers or Brands are Named: Submit request for substitution for any manufacturer or product not named. 	the SM :
E. E	Drawings showing existing construction and utilities are based on casual field observation only.		 a. The burden of proof is on the proposer; substitutions will not be considered if they are indicated or implied only on shop drawings or other submittals. b. Substitution Consideration Period: Within 30 days after contract award. 	engi 1. R re
E. E	a. Verify that construction and utility arrangements are as shown.b. Report discrepancies to Architect before disturbing existing installation.		5. Where Substitutions are Allowed and a Brand is named as the "Basis of Design": Submit request for substitution with product matching the specified level of quality and function of the "Basis of	2. S c
. Е 1.	 Report discrepancies to Architect before disturbing existing installation. Beginning of demolition work constitutes acceptance of existing conditions that would be apparent upon examination prior to starting demolition. 		Design" a. The burden of proof is on the proposer; substitutions will not be considered if they are	3. F b b
E. E 1. 2.	 b. Report discrepancies to Architect before disturbing existing installation. c. Beginning of demolition work constitutes acceptance of existing conditions that would be apparent upon examination prior to starting demolition. Certain information relating to existing surface and subsurface conditions and structures is available to bidders but will not be part of the Contract Documents, as follows: 		indicated or implied only on shop drawings or other submittals	
E. E 1. 2.	 b. Report discrepancies to Architect before disturbing existing installation. c. Beginning of demolition work constitutes acceptance of existing conditions that would be apparent upon examination prior to starting demolition. Certain information relating to existing surface and subsurface conditions and structures is available to bidders but will not be part of the Contract Documents, as follows: Geotechnical Report: Entitled Haben Funeral Home, Skokie, Illinois, File Number 27143 dated April 24, 2023. a. Original copy is available for inspection at the office of the General Contractor during normal 	C.	indicated or implied only on shop drawings or other submittals. b. Substitution Consideration Period: Within 30 days after contract award. Haben Funeral Home-Furnished Products: Receive and unload at site; Inspect for	s 4. T
E. E 1. 2.	 b. Report discrepancies to Architect before disturbing existing installation. c. Beginning of demolition work constitutes acceptance of existing conditions that would be apparent upon examination prior to starting demolition. Certain information relating to existing surface and subsurface conditions and structures is available to bidders but will not be part of the Contract Documents, as follows: Geotechnical Report: Entitled Haben Funeral Home, Skokie, Illinois, File Number 27143 dated April 24, 2023. a. Original copy is available for inspection at the office of the General Contractor during normal business hours. 1. A copy of the report will be available at the office of the Owner. 	C.	b. Substitution Consideration Period: Within 30 days after contract award. Haben Funeral Home-Furnished Products: Receive and unload at site; Inspect for completeness or damage; Store, install and finish; Repair or replace items damaged after delivery. L.	4. T re Fillin
E. E 1. 2.	 b. Report discrepancies to Architect before disturbing existing installation. c. Beginning of demolition work constitutes acceptance of existing conditions that would be apparent upon examination prior to starting demolition. Certain information relating to existing surface and subsurface conditions and structures is available to bidders but will not be part of the Contract Documents, as follows: Geotechnical Report: Entitled Haben Funeral Home, Skokie, Illinois, File Number 27143 dated April 24, 2023. a. Original copy is available for inspection at the office of the General Contractor during normal business hours. 1. A copy of the report will be available at the office of the Owner. b. This report, by its nature, cannot reveal all conditions that exist on the site. Should subsurface conditions be found to vary substantially from this report, changes in the design 	C. D.	 b. Substitution Consideration Period: Within 30 days after contract award. Haben Funeral Home-Furnished Products: Receive and unload at site; Inspect for completeness or damage; Store, install and finish; Repair or replace items damaged after 	4. T re Filli i 1. D 2. P
E. E. 1. 2. 3.	 b. Report discrepancies to Architect before disturbing existing installation. c. Beginning of demolition work constitutes acceptance of existing conditions that would be apparent upon examination prior to starting demolition. Certain information relating to existing surface and subsurface conditions and structures is available to bidders but will not be part of the Contract Documents, as follows: Geotechnical Report: Entitled Haben Funeral Home, Skokie, Illinois, File Number 27143 dated April 24, 2023. a. Original copy is available for inspection at the office of the General Contractor during normal business hours. 1. A copy of the report will be available at the office of the Owner. b. This report, by its nature, cannot reveal all conditions that exist on the site. Should subsurface conditions be found to vary substantially from this report, changes in the design and construction of foundations will be made, with resulting credits or expenditures to the Contract Price accruing to Hickey Memorial Chapel. 		 b. Substitution Consideration Period: Within 30 days after contract award. Haben Funeral Home-Furnished Products: Receive and unload at site; Inspect for completeness or damage; Store, install and finish; Repair or replace items damaged after delivery. L. 1. Product Sub Furnished by Haben Funeral Home: a. Residential appliances. Product Submittals Required: 1. Design Data: For each assembly specified to be designed or engineered by manufacturer or fabricator, submit calculations or test reports showing compliance with design criteria; or, for 	4. T re Filli 1. D 2. P 3. S 4. F 5. A
E. E. 1. 2. 3. 3.	 b. Report discrepancies to Architect before disturbing existing installation. c. Beginning of demolition work constitutes acceptance of existing conditions that would be apparent upon examination prior to starting demolition. Certain information relating to existing surface and subsurface conditions and structures is available to bidders but will not be part of the Contract Documents, as follows: Geotechnical Report: Entitled Haben Funeral Home, Skokie, Illinois, File Number 27143 dated April 24, 2023. a. Original copy is available for inspection at the office of the General Contractor during normal business hours. 1. A copy of the report will be available at the office of the Owner. b. This report, by its nature, cannot reveal all conditions that exist on the site. Should subsurface conditions be found to vary substantially from this report, changes in the design and construction of foundations will be made, with resulting credits or expenditures to the Contract Price accruing to Hickey Memorial Chapel. 		 b. Substitution Consideration Period: Within 30 days after contract award. Haben Funeral Home-Furnished Products: Receive and unload at site; Inspect for completeness or damage; Store, install and finish; Repair or replace items damaged after delivery. L. 1. Products to be Furnished by Haben Funeral Home: a. Residential appliances. Product Submittals Required: 1. Design Data: For each assembly specified to be designed or engineered by manufacturer or fabricator, submit calculations or test reports showing compliance with design criteria; or, for engineering design, submit certification by licensed professional engineer; or as specified; submit for review. M. 	4. T re Fillin 1. D 2. P 3. S 4. F 5. A d Con
E. E. 1. 2. 3. 3.	 b. Report discrepancies to Architect before disturbing existing installation. c. Beginning of demolition work constitutes acceptance of existing conditions that would be apparent upon examination prior to starting demolition. Certain information relating to existing surface and subsurface conditions and structures is available to bidders but will not be part of the Contract Documents, as follows: Geotechnical Report: Entitled Haben Funeral Home, Skokie, Illinois, File Number 27143 dated April 24, 2023. a. Original copy is available for inspection at the office of the General Contractor during normal business hours. 1. A copy of the report will be available at the office of the Owner. b. This report, by its nature, cannot reveal all conditions that exist on the site. Should subsurface conditions be found to vary substantially from this report, changes in the design and construction of foundations will be made, with resulting credits or expenditures to the Contract Price accruing to Hickey Memorial Chapel. 		 b. Substitution Consideration Period: Within 30 days after contract award. Haben Funeral Home-Furnished Products: Receive and unload at site; Inspect for completeness or damage; Store, install and finish; Repair or replace items damaged after delivery. L. 1. Products to be Furnished by Haben Funeral Home: a. Residential appliances. Product Submittals Required: 1. Design Data: For each assembly specified to be designed or engineered by manufacturer or fabricator, submit calculations or test reports showing compliance with design criteria; or, for engineering design, submit certification by licensed professional engineer; or as specified; submit 	4. T re Filli 1. D 2. P 3. S 4. F 5. A
E. E. 1. 2. 3. 91300 - <i>J</i> A. S	 b. Report discrepancies to Architect before disturbing existing installation. c. Beginning of demolition work constitutes acceptance of existing conditions that would be apparent upon examination prior to starting demolition. Certain information relating to existing surface and subsurface conditions and structures is available to bidders but will not be part of the Contract Documents, as follows: Geotechnical Report: Entitled Haben Funeral Home, Skokie, Illinois, File Number 27143 dated April 24, 2023. a. Original copy is available for inspection at the office of the General Contractor during normal business hours. 1. A copy of the report will be available at the office of the Owner. b. This report, by its nature, cannot reveal all conditions that exist on the site. Should subsurface conditions be found to vary substantially from this report, changes in the design and construction of foundations will be made, with resulting credits or expenditures to the Contract Price accruing to Hickey Memorial Chapel. ADMINISTRATIVE REQUIREMENTS Submittal Procedures: See 01400, 01600, 01780, and product specifications for submittals equired. a. Small Sheets, 8-1/2 x 11 inches (215 x 280 mm) maximum: 1. Number of copies required by submitter. 		 b. Substitution Consideration Period: Within 30 days after contract award. Haben Funeral Home-Furnished Products: Receive and unload at site; Inspect for completeness or damage; Store, install and finish; Repair or replace items damaged after delivery. L. 1. Products to be Furnished by Haben Funeral Home: a. Residential appliances. Product Submittals Required: 1. Design Data: For each assembly specified to be designed or engineered by manufacturer or fabricator, submit calculations or test reports showing compliance with design criteria; or, for engineering design, submit certification by licensed professional engineer; or as specified; submit for review. 2. Shop Drawings: As required. 3. Product Data: On each product specified; include manufacturer's catalog data showing compliance and installation instructions. 4. Samples: For each product for which color, pattern, texture, or other optional characteristics must be selected and are not specified. 	4. T re Fillin 1. D 2. P 3. S 4. F 5. A d Con
E. E 1. 2. 3. 01300 - <i>J</i> A. S	 b. Report discrepancies to Architect before disturbing existing installation. c. Beginning of demolition work constitutes acceptance of existing conditions that would be apparent upon examination prior to starting demolition. Certain information relating to existing surface and subsurface conditions and structures is available to bidders but will not be part of the Contract Documents, as follows: Geotechnical Report: Entitled Haben Funeral Home, Skokie, Illinois, File Number 27143 dated April 24, 2023. a. Original copy is available for inspection at the office of the General Contractor during normal business hours. 1. A copy of the report will be available at the office of the Owner. b. This report, by its nature, cannot reveal all conditions that exist on the site. Should subsurface conditions be found to vary substantially from this report, changes in the design and construction of foundations will be made, with resulting credits or expenditures to the Contract Price accruing to Hickey Memorial Chapel. ADMINISTRATIVE REQUIREMENTS Submittal Procedures: See 01400, 01600, 01780, and product specifications for submittals equired. Submittals for Review: Shop drawings, product data, and samples, and special inspection reports and manufacturer's instructions. a. Small Sheets, 8-1/2 x 11 inches (215 x 280 mm) maximum: 1. Number of copies required by submitter. (01) One electronic PDF formatted file. An electronically-marked up file will be returned. Create PDF's at native scale / size and right side up. Illegible files	D.	 b. Substitution Consideration Period: Within 30 days after contract award. Haben Funeral Home-Furnished Products: Receive and unload at site; Inspect for completeness or damage; Store, install and finish; Repair or replace items damaged after delivery. L. 1. Products to be Furnished by Haben Funeral Home: a. Residential appliances. Product Submittals Required: 1. Design Data: For each assembly specified to be designed or engineered by manufacturer or fabricator, submit calculations or test reports showing compliance with design criteria; or, for engineering design, submit certification by licensed professional engineer; or as specified; submit for review. M. Shop Drawings: As required. Product Data: On each product specified; include manufacturer's catalog data showing compliance and installation instructions. Samples: For each product for which color, pattern, texture, or other optional characteristics must be selected and are not specified. Warranties: Submit specimen warranty for review; submit actual warranty at project closeout. Operation and Maintenance Data: See 01780. 	4. T re Fillin 1. D 2. P 3. S 4. F 5. A d Con
E. E 1. 2. 3. 01300 - <i>J</i> A. S	 b. Report discrepancies to Architect before disturbing existing installation. c. Beginning of demolition work constitutes acceptance of existing conditions that would be apparent upon examination prior to starting demolition. Certain information relating to existing surface and subsurface conditions and structures is available to bidders but will not be part of the Contract Documents, as follows: Geotechnical Report: Entitled Haben Funeral Home, Skokie, Illinois, File Number 27143 dated April 24, 2023. a. Original copy is available for inspection at the office of the General Contractor during normal business hours. 1. A copy of the report will be available at the office of the Owner. b. This report, by its nature, cannot reveal all conditions that exist on the site. Should subsurface conditions be found to vary substantially from this report, changes in the design and construction of foundations will be made, with resulting credits or expenditures to the Contract Price accruing to Hickey Memorial Chapel. ADMINISTRATIVE REQUIREMENTS Submittal Procedures: See 01400, 01600, 01780, and product specifications for submittals equired. Submittals for Review: Shop drawings, product data, and samples, and special inspection reports and manufacturer's instructions. a. Small Sheets, 8-1/2 x 11 inches (215 x 280 mm) maximum: 1. Number of copies required by submitter. (01) One electronic PDF formatted file. An electronically-marked up file will be 		 b. Substitution Consideration Period: Within 30 days after contract award. Haben Funeral Home-Furnished Products: Receive and unload at site; Inspect for completeness or damage; Store, install and finish; Repair or replace items damaged after delivery. L. 1. Products to be Furnished by Haben Funeral Home: a. Residential appliances. Product Submittals Required: 1. Design Data: For each assembly specified to be designed or engineered by manufacturer or fabricator, submit calculations or test reports showing compliance with design criteria; or, for engineering design, submit certification by licensed professional engineer; or as specified; submit for review. 2. Shop Drawings: As required. 3. Product Data: On each product specified; include manufacturer's catalog data showing compliance and installation instructions. 4. Samples: For each product for which color, pattern, texture, or other optional characteristics must be selected and are not specified. 5. Warranties: Submit specimen warranty for review; submit actual warranty at project closeout. 	4. T re Fillin 1. D 2. P 3. S 4. F 5. A d Con
E. E 1. 2. 3. 01300 - <i>J</i> A. S	 b. Report discrepancies to Architect before disturbing existing installation. c. Beginning of demolition work constitutes acceptance of existing conditions that would be apparent upon examination prior to starting demolition. Certain information relating to existing surface and subsurface conditions and structures is available to bidders but will not be part of the Contract Documents, as follows: Geotechnical Report: Entitled Haben Funeral Home, Skokie, Illinois, File Number 27143 dated April 24, 2023. a. Original copy is available for inspection at the office of the General Contractor during normal business hours. 1. A copy of the report will be available at the office of the Owner. b. This report, by its nature, cannot reveal all conditions that exist on the site. Should subsurface conditions be found to vary substantially from this report, changes in the design and construction of foundations will be made, with resulting credits or expenditures to the Contract Price accruing to Hickey Memorial Chapel. ADMINISTRATIVE REQUIREMENTS Submittal Procedures: See 01400, 01600, 01780, and product specifications for submittals equired. Submittals for Review: Shop drawings, product data, and samples, and special inspection reports and manufacturer's instructions. a. Small Sheets, 8-1/2 x 11 inches (215 x 280 mm) maximum: 1. Number of copies required by submitter. (01) One electronic PDF formatted file. An electronically-marked up file will be returned. Create PDF's at native scale / size and right side up. Illegible files	D.	 b. Substitution Consideration Period: Within 30 days after contract award. Haben Funeral Home-Furnished Products: Receive and unload at site; Inspect for completeness or damage; Store, install and finish; Repair or replace items damaged after delivery. L. 1. Products to be Furnished by Haben Funeral Home: a. Residential appliances. Product Submittals Required: 1. Design Data: For each assembly specified to be designed or engineered by manufacturer or fabricator, submit calculations or test reports showing compliance with design criteria; or, for engineering design, submit certification by licensed professional engineer; or as specified; submit for review. M. 2. Shop Drawings: As required. 3. Product Data: On each product specified; include manufacturer's catalog data showing compliance and installation instructions. 4. Samples: For each product for which color, pattern, texture, or other optional characteristics must be selected and are not specified. 5. Warranties: Submit specimen warranty for review; submit actual warranty at project closeout. 6. Operation and Maintenance Data: See 01780. Product Delivery Requirements: Transport and handle in accordance with manufacturer's instructions; inspect promptly upon delivery; handle by methods that prevent soiling and 	4. T ref Fillii 1. D 2. P 3. S 4. F 5. A d Con 1. C

EXECUTION REQUIREMENTS Examination:		c. Frequency of Tests: One test per 2 vertical feet per 2,000 square foot area, with a minimum of two tests per fill area.	04700 A.	- MANUFACTURED MASONRY - THIN BRICK Quality Assurance.
. Before starting work, verify that substrates are ready for and capable of supporting subsequent work.		 Tests Below Footings: One test per 50 linear feet for wall footings and one test per column footing. Septify rephase and recompact areas over compacted by vehicular treffic. 		 Manufacturer Qualifications: Company specia specified in this section, with minimum ten y Current producer member of the National
 Verify that utility characteristics of equipment are compatible with utilities installed. Verify that field dimensions that would affect installation are as required. Preparation:	N.	 Scarify, reshape, and recompact areas over-compacted by vehicular traffic. Erosion and Sediment Control: Comply with local and State regulations. Refer to civil engineered drawings for requirements. 		 a. Current producer member of the National 2. Installer Qualifications: Company specializing years of documented experience and approve
. Conduct preinstallation meetings to familiarize installers and others affected with procedures for installation and protection after installation.		CONCRETE	_	 Provide and install this work from a single man installation requirements.
 Lay out work precisely, for accurate location, lines, and levels. Before starting work, prepare substrates and surfaces by cleaning and patching, as required, and as recommended by manufacturer of product to be installed. 	03300 A.	- CAST-IN-PLACE CONCRETE Formwork: Any standard products with sufficient strength to withstand hydrostatic head	В.	Submittals: 1. Product Data: Provide data for mortar, lath, ra including:
 Remove debris from areas of installation. Before starting finishing work, broom and vacuum clean interior spaces and continue cleaning as 	В.	without distortion in excess of permitted tolerances. Reinforcement:		 a. Preparation instructions and recommend b. Storage and handling requirements and
required to eliminate dust. Execution:		 Standard Reinforcing Bars: ASTM A615/A615M-2007, Grade 60 (420), deformed type, unfinished. Welded Wire Reinforcement: ASTM A497/A497M-2007, deformed type, unfinished. Fabrication of Reinforcement: Comply with ACI SP-66-2004. 		 c. Brick color sample boards representing t d. Installation methods. 2. Selection Samples: For each finish product appendix to the samples.
 Install products in manner specified and as required or recommended by manufacturer; if manufacturer's instructions conflict with contract documents, request clarification before proceeding. 	C.	Concrete Materials: 1. Cement: ASTM C150-2011, Type IA - Normal; Air Entraining.		 Selection Samples: For each finish product spe manufacturer's full range of available colors ar Construct a masonry wall as a mock-up panel
. Comply with specified standards as minimum quality, except where more stringent tolerances or other specified requirements indicate higher standards or more precise workmanship.		 a. Exterior applications subject to freezing. 2. Cement: ASTM C150-2011, Type I - Normal. a. Interior applications. 	•	structural backup and flashings (with lap joir remain part of the finished work.
 Have work performed by persons qualified to produce specified quality. Install products level, straight, plumb, and in correct location, within tolerances specified, if any. Install fixtures and fittings plumb and level and nicely aligned with each other and with finish 		 Fine and Coarse (Normal Weight) Aggregates: ASTM C33/C33M. a. Acquire aggregates for entire project from same source. 	C.	Products: 1. Thin Brick Texture: Extruded brick units with d a. Type: ASTM C1088 clay or shale, T
materials. Where one product covers another, install so covered product is completely concealed.		 b. Provide aggregate free of shale at all slab locations exposed to freeze/thaw action. 4. Fly Ash: ASTM C618-2005, Class C or F. 5. Calcingt Bast Control State Class N 		 b. Size: Modular, 3/4 x 2-1/4 x 7-5/8 ir c. Installation Method: Thick Set.
 Where a product covers an opening, install so opening is completely covered. Install sequential work in proper order; fit subsequent work to previous work neatly. 		 Calcined Pozzolan: ASTM C618-2005, Class N. Fiber Reinforcement: Synthetic fiber shown to be resistant to long-term deterioration when exposed to moisture and alkalis complying with ASTM C1116/C1116M. 		 d. Color: Match existing brick. Basis of other options may be desired based e. Basis of Design: Belden Brick Comp
 Where subsequent work alters previous work, replace and refinish previous work to correct condition. Do not permanently enclose waste materials, debris, or rubbish in finished work. 		a. Fiber Length: 2.0 inch (50.66 mm), nominal. b. Products:		e. Basis of Design: Belden Brick Comp 1. Substitutions: See Section 0160 identified as the "Basis of Design
 In finished areas, conceal pipes, ducts, and wiring within the construction, unless otherwise indicated. 		 Forta Corporation; SUPER-NET: www.forta-ferro.com. Fibermesh; Fibermesh 300: www.fibermesh.com. Fibermesh; Fibermesh 650: www.fibermesh.com. 		 Mortar Applications At General Contractor's option, mortar m mode from for the provided in the product of th
 Secure products in place with positive anchorage devices designed and sized to withstand reasonably anticipatable loads, stresses, vibration, and distortion. Penetrating Items: Cut holes in previous work as required to fit, unless otherwise indicated. 		 Euclid Chemical Company; TUF-STRAND SF: www.euclidchemical.com. BASF; MasterFiber F100: www.basf.com. 		made from factory premixed dry material b. Mortar Color: To be selected from manu c. Scratch Coat Mortars: Scratch coat morta
. Conceal holes in finished work; use escutcheons unless otherwise indicated. . Sound-Rated Assemblies: Pack openings around penetrations with noncombustible material.		 Substitutions: See Section 01 6000 - Product Requirements. Water: Clean and not detrimental to concrete. Air-Entraining Admixture: ASTM C260-2010a, for 6.0 percent air content. 		 Site-Mixed: ASTM C270, Type N Setting Bed Mortars: Setting bed used to
 Other Assemblies: Make airtight seal around openings. If openings have been made too large, patch with matching materials to original condition before sealing or covering. 		9. Acceptable Chemical Admixtures: ASTM C494/C494M-2010a; Type A - Water Reducing. 10. Moisture Vapor Reduction Admixture: Liquid, inorganic admixture free of volatile organic		to bondable concrete or concrete mason 1. Site-Mixed: ASTM C270, Type N in Section 04 0511.
Cutting and Patching: . Cut new as little as possible, using appropriate tools that do as little damage as possible; obtain		compounds (VOC's) and formulated to close capillary systems formed during curing to reduce moisture vapor emission and transmission with no adverse effects on concrete properties or finish flooring.		 Pointing Mortars: Pointing or grouting mo manufactruered units once the setting be
expert assistance for materials sensitive to damage. Structural Work: Obtain approval prior to cutting.		finish flooring. a. Provide admixture in slabs that receive adhesively applied flooring. b. Basis of Design:	-	1. Site-Mixed: ASTM C270, Type N in Section 04 0511.
 Patch new work after cutting, to specified condition using specified materials. Finish Surfaces: Match adjacent finish without visible differences; if matching is not possible, refinish entire unit or continuous surface to nearest natural intersection or break, using the same 		 MVRA 900; ISE Logik Industries: www.iselogik.com. Substitutions: See Section 01600 - Product Requirements. For any product not 	D.	Accessory Materials: 1. Weather Resistive Barrier: See Section 07200 2. Metal Lath with Rainscreen Drainage Material:
finish. Cleaning:	D.	identified as the "Basis of Design", submit information as specified for substitutions. Concrete: 1. Normal Weight Concrete: Proportions in compliance with ACI 211.1-1991(R02) recommendations.		material and metal lath. a. Diamond Mesh Metal Lath: ASTM C847
 Remove temporary labels, stains, and spots. During construction, keep work areas free of waste materials, debris, and rubbish. Place waste materials, debris, and rubbish in containers provided every day. 		 Concrete Strength: Establish required average strength for each type of concrete on the basis of field experience or trial mixtures, as specified in ACI 301-2005. 		 Weight: To suit application, comp C841 for framing spacing. B. Rainscreen Drainage Mesh: 90 percent
. General Contractor shall remove waste materials, debris, and rubbish from project site periodically. Final Cleaning:		 a. Strength at 28 days as follows: 1. Interior slabs: Standard weight - 3000 psi (20.7 MPa) 2. Exterior slabs: Standard weight (air exteriored - 4000 psi (27.6 MPa)) 		1. Thickness: 1/4 inch (6 mm). c. Basis of Design: Mortar Net Solutions; La
 a. Clean interior and exterior surfaces exposed to view and equipment. b. Polish transparent and glossy surfaces. 		 Exterior slabs: Standard weight / air entrained - 4000 psi (27.6 MPa) Footings: Standard weight - 3000 psi (20.7 MPa) Allowable Slump: 5 in (127 mm). 		1. Substitutions: See Section 01600 identified as the "Basis of Design"
 c. Vacuum clean carpet and other soft surfaces; broom clean other floors. d. Clean equipment, clean filters, and clean strainers. e. Clean light bulbs and lamps. 	Е.	c. Maximum Water-Cementitious Material Ratio: 0.45. Accessory Materials:		 Fasteners: Galvanized staples, nails or screw: manufacturer.
f. Broom clean exterior paved areas; rake clean landscaped areas. Starting Equipment and Systems:		 Underslab Vapor Retarder: Multi-layer, fabric-, cord-, grid-, or aluminum-reinforced polyethylene or equivalent, complying with ASTM E 1745, Class A; stated by manufacturer as suitable for installation in contact with soil or granular fill under concrete slabs. Single ply polyethylene is 	Α.	- MASONRY ASSEMBLIES Perform work in accordance with ACI 530.1-20
 Before starting, verify that: a. Equipment or system has been properly installed, lubricated, and adjusted, eliminating conditions that might cause damage. 		prohibited. a. Thickness: 15 Mil.	В.	 Coursing, Bonding, and Anchoring: All Masonry: Running bond; three units and th concave joints.
 b. Proper utility connections have been made correctly. c. Electrical characteristics, meter readings, and test results agree with those required by the 		 Accessory Products: Vapor retarder manufacturer's recommended tape, adhesive, mastic, prefabricated boots, etc., for sealing seams and penetrations in vapor retarder. 	C.	Single-Wythe Walls: 1. Install horizontal joint reinforcement 16 inches
equipment or system manufacturer. Execute start-up in accordance with manufacturer's instructions, under supervision of appropriate		 c. Basis of Design: 1. Stego Industries, LLC; Stego Wrap Vapor Barrier - 15 Mil Class A: www.stegoindustries.com. 	D.	continuous in first and second joint below top of Manufactured Thin Brick:
General Contractor personnel. a. Where specified or appropriate, require presence and supervision of manufacturer's representative.		2. Substitutions: See Section 01600 - Product Requirements. For any product not identified as the "Basis of Design", submit information as specified for substitutions.		 Where required by manufactured masonry mai 20-01, ASTM C1780 or ICC-ES AC51, install 2 barrier in accordance with water-resistive barri
 b. Operate for sufficient time to show proper functioning; test and adjust for proper operation. c. Submit written report of start-up. 		 Pipe Boots: Construct pipe boots from vapor barrier material, pressure sensitive tape and/or mastic per manufacturer's instructions. 		resistive barrier with all flashing accessories, a penetrations, and cladding transitions.
Protecting Installed Construction: Once work is installed, protect from damage due to subsequent construction operations whether or not relevant to installed work. If necessary for complete protection, provide temporary coverings, warning signs, or barriers.	F.	Placing Reinforcing: All reinforcing shall be detailed, fabricated and placed in accordance with the latest ACI manuals		 Install manufactured thin brick using thick set r instructions and Brick Industry Technical Notes a. Attach reinforcing lath or mesh to substra
Positively protect sensitive finishes with durable materials capable of preventing damage, securely fastened.	G.	 Refer to structural drawings for placement requirements. Placing and Finishing Concrete: Place concrete in accordance with ACI 304R-2000. 		mortar in one or two layers to a nominal scratch coat, apply bond coat of mortar of
Where possible avoid the need for traffic over sensitive materials like waterproofing, roofing, plantings, finished floorings, by proper sequencing of work; if traffic is unavoidable follow manufacturer's recommendations for protection, at a minimum.		 Place and finish concrete for floor slabs in accordance with ACI 302.1R-2004 (Errata 2007). Do not interrupt successive placement; do not permit cold joints to occur. 		mm) and groove with notched trowel.b. Fill mortar joints with mortar using a grou joints concave when thumbprint hard.
Prohibit storage of materials on finished work. Remove protective materials prior to final cleaning.		 Comply with ACI 305R-10 for hot weather concreting. Comply with ACI 306R-16 for cold weather concreting. Unless otherwise specified, concrete must reach the following percentages of it's 28-day 	E.	Vertical Reinforcement: 1. Lay masonry units with core cells vertically aligned
CLOSEOUT SUBMITTALS Operation and Maintenance Data:		compressive strength (F'c) before forms may be removed. a. Walls, Columns and Beam Sides: 40 percent.		unobstructed.Install reinforcing bars and grout in masonry coSupport and secure reinforcing bars from displ
 Products, Including Equipment: a. Manufacturer's catalog sheets, marked to clearly identify products actually used and data 	Н.	 Floor Flatness and Levelness: Minimum F(F) Floor Flatness and F(L) Floor Levelness Values: Exposed to View and Foot Traffic: F(F) of 20; F(L) of 15, on-grade only. 		dimensioned position. 4. Fill spaces containing vertical reinforcement th
 applicable to actual installation. b. Complete operation, adjustment, shut-down, troubleshooting, cleaning, preventative maintenance, inspection, and repair instructions and precautions, prepared especially for 		 b. Under Carpeting: F(F) of 25; F(L) of 20, on-grade only. c. Under Thin Resilient Flooring and Thinset Tile: F(F) of 35; F(L) of 25, on-grade only. 	F.	grout using low lift grouting techniques; grout s coarse grout using high or low lift grouting tech Masonry Flashings:
project if necessary, incorporating manufacturer's recommendations and diagrams. c. Original manufacturer's replaceable parts list, with current prices, and recommended		 Measure F(F) Floor Flatness and F(L) Floor Levelness in accordance with ASTM E1155 (ASTM E1155M), within 48 hours after slab installation; report both composite overall values and local under for each measured eac		 Install flashings horizontally at foundation walls indicated on the drawings.
quantities to be kept in storage. Operating Equipment, Assemblies, and Systems: Prepare project-specific data, including:		 values for each measured section. Correct the slab surface if composite overall value is less than specified and if local value is less than two-thirds of specified value or less than F(F) 13/F(L) 10. 	G.	Grouting: 1. Place and consolidate grout fill without displace
 a. Functional description, normal operating characteristics, limiting conditions. b. System design parameters, flow diagrams, one-line diagrams, and other data prepared during design that shows how systems are intended to operate. 		4. Correct defects by grinding or by removal and replacement of the defective work. Areas requiring corrective work will be identified. Re-measure corrected areas by the same process.	Н.	 At bearing locations, fill masonry cores with gro opening. Control and Expansion Joints:
c. Sequence of operation, including but not limited to controls.d. As-installed wiring and control diagrams.	I.	Curing: Comply with requirements of ACI 308R-2001 (Reapproved 2008). Immediately after placement, protect concrete from premature drying, excessively hot or cold temperatures, and mechanical injury.		 Install preformed control joint device in continu Form control joints with special block shapes.
 e. Valve charts, with location and function of each valve, indexed to functional diagrams. f. Coordination drawings prepared during construction. Warranties: Execute in duplicate, notarize, and mark with applicable specification number. 	J.	 Normal Concrete: Maintain protection for not less than 7 days. Sealing: Liquid Densifier / Hardener / Sealer: Penetrating chemical compound that reacts with 	I.	Parging:1. Dampen masonry walls prior to parging.2. Scarify each parging coat to ensure full bond to
SITE CONSTRUCTION		 concrete, filling the pores and dustproofing prior to set. 1. Unless otherwise indicated, all concrete floors, exposed to view, are to be finished using a liquid densifier / hardener. 		 Scarny each parging coar to ensure full bond it Parge masonry walls in two uniform coats of m
SITE PREPARATION Perform all preparation of the site necessary to accomplish the construction.		 Composition: Lithium Silicate. Basis of Design: Prosoco Inc; Consolideck LS/CS; www.prosoco.com. 	05100	META
 Comply with Federal, State, and local regulations regarding demolition, excavation, fire prevention, erosion control, safety, and noise control. Clear vegetation except for trees and plantings indicated to remain. 		b. Substitutions: See Section 01600 - Product Requirements. For any product not identified as the "Basis of Design", submit information as specified for substitutions.	A.	Structural Steel: 1. Rolled Shapes: Shapes. ASTM A36/A36M-200
 Protect benchmarks and survey control points. Verify locations of existing utilities prior to beginning any earthwork or construction. Protect existing utilities to remain; relocate as indicated on Drawings. 	03600 A.	- GROUTS Cement Grout: ASTM C150-2011, Type I portland cement; ASTM C404-2006 natural sand; and		 Wide Flange Shapes: ASTM A992/A992M-200 Anchor Bolts: ASTM A307-2007b, non-headed Threaded Fasteners: ASTM A307-2007b, Gra
 Mark locations and ends of existing utilities and abandoned above grade during construction; record location on project record documents. 	_	potable water; mixed at ratio of 1 part cement to 2.5 parts sand by volume, with minimum water required for placement.		 Welding Electrodes: AWS Code. Preparation for Priming:
 Protect existing structures, trees, fences, sidewalks, paving, and curbs to remain. See Drawings for additional requirements. 	В.	Nonshrink Grout, Nonmetallic Type: ASTM C1107/C1107M-2011 premixed and packaged noncorrosive grout composed of portland cement, sand, and shrinkage compensating, plasticizing, and water-reducing agents.	05500	7. Primer: Fabricator's standard.
EARTHWORK Considerations: Retain a soil engineer familiar with the underlying geotechnical composition	C.	Epoxy Grout: ASTM C881/C881M-2010, 2-component epoxy resin.	05500 A.	 METAL FABRICATIONS Gratings: Welded steel complying with NAAM Manufacturers:
of the area on-site during the construction phase of the project to observe earthwork and to perform necessary tests and observations during demolition, subgrade preparation, proof-	04050 A.	MASONRY - BASIC MASONRY MATERIALS AND METHODS Masonry Mortar: Use site- or ready-mixed mortar.		a. Neenah Foundry; R-4990-CX series 1-1/2 inch (38 mm) deep.
rolling, placement and compaction of engineered fills, backfilling, and just prior to slab on grade construction. Grading: Grade to within 2 inches in 10 feet (51 mm in 3 m) unless noted otherwise.	Α.	 Ready-Mixed: ASTM C1142-1995 (Reapproved 2007) with portland or masonry cement. Site-Mixed: ASTM C270-2010, with portland cement, proportion specifications. 	В.	 Type A grate openings. b. Substitutions: See Section 01 6000 Other Fabricated Items: As indicated on draw
Satisfactory Soils: ASTM D2487 Soil Classification Groups GW, GP, SW, SP, or combination of these groups; free of rock or gravel larger than 2 inches in any dimension, debris, waste,		 Color Additives: Mineral oxide pigments; color as selected; manufactured by Davis Colors. Mortar Mix: Type S with gray cement and color additive. Mortar for Defined Additive Departs Viela and Detitions; Type Mac Colors. 	С.	Fabrication: Shop assemble items in largest s 1. Ease exposed edges to small uniform radius.
frozen materials, vegetation, and other deleterious matter. Unsatisfactory Soils: Soil Classification Groups GC, SC, CL, ML, OL, CH, MH, OH, and PT per ASTM D2487, or combination of these groups, unless approved by the Project Geotochnical		 Mortar for Reinforced Masonry and Load-Bearing Walls and Partitions: Type M or S. Mortar for Above Grade Non-Load-Bearing Exterior Walls: Type N. Mortar for Below Grade Unit Masonry: Type M. 		 Make exposed joints butt tight, flush, and hairli Grind exposed joints flush and smooth with ad Welding: Comply with AWS D1 1/D1 1M 2006
ASTM D2487, or combination of these groups, unless approved by the Project Geotechnical Engineer or Consultant. . Unsatisfactory Soils also include satisfactory soils not maintained within 2 percent of optimum	В.	Masonry Grout: Use site- or ready-mixed grout. 1. Ready-Mixed: ASTM C94/C94M-2011.		 Welding: Comply with AWS D1.1/D1.1M-2006 being welded. Preparation for Priming and Painting: SSPC-S
moisture content at time of compaction. Engineered Fill: Naturally or artificially graded mixture of natural or crushed gravel, stone, and/		 Site-Mixed: ASTM C476-2008. Reinforced Masonry: 3,000 psi (21 MPa) strength at 28 days; 8-10 inches (200-250 mm) slump; coarse or fine grout. 		minimum. a. Clean surfaces of rust, scale, grease
or sand; ASTM D2940; with 100 percent passing 2 inch sieve, less than 40 percent passing the No. 40 sieve, and not more than 12 percent passing the No. 200 sieve. . Engineered fill shall also be approved by the Project Geotechnical Engineer.	_	 Bond Beams, Lintels, and Other Grouted Components: 3,000 psi (21 MPa) strength at 28 days; 8-10 inches (200-250 mm) slump; coarse or fine grout. 		 Primer: SSPC-Paint 25 or SSPC-Paint 25BCS otherwise indicated. a. Do not prime surfaces in direct conta
General Fill: Subsoil free of roots, rocks, and debris. Granular Fill: Complying with State Highway Department standards, free of shale, clay, friable	C.	Anchorage and Reinforcement Materials: As indicated for specific types, complying with the following: 1. Carbon Steel Wire: ASTM A82/A82M-2007.		items to be covered with sprayed fire
material and debris. Sand: Natural river or bank sand, washed. Topsoil: Remove, stockpile, and reinstall after rough grading is complete.		 Carbon Steel Wire: ASTM A82/A82M-2007. Finish of Carbon Steel Wire Components: For interior construction, "mill galvanizing" before fabrication in accordance with ASTM A641/A641M-2009, Class 1; for construction exposed to 	06100 A.	WOOD AND F - ROUGH CARPENTRY Lumber Standards:
. Imported Topsoil: Friable loam free of roots, rocks, subsoil , and debris. . Installed Depth:		exterior, hot-dip galvanizing after fabrication in accordance with ASTM A153/A153M-2005, Class B. 3. Finish of Other Carbon Steel Components: For exterior construction, galvanized after fabrication in	A .	 Comply with PS 20-2005 and grading rules of Mark each piece of lumber with grade stamp, i
 a. For Grass Seeding: 6 inches (150 mm). b. Shrubs Beds: 18 inches (457 mm). Excavate and place topsoil in dry weather. 	D.	accordance with ASTM A153/A153M-2005, Class B for applicable component size, or ASTM A123/ A123M-2012, thickness for applicable component size. Steel Wire for Masonry Joint Reinforcement: Galvanized steel, complying with ASTM A951/		 and mill, except provide certificates for expose Provide dressed lumber, S4S, unless rough lun Moisture content 19 percent maximum.
. Scarify subgrade surfaces to a depth of 6 inches (150 mm) prior to placing; remove petroleum contamination encountered.		A951M-2006.1. Single Wythe: Truss or ladder type, 3/16 inch (4.8 mm) side rods, 0.148 inch (3.75 mm) cross rods.	В.	Concealed Dimension Lumber: 1. Studs:
Lightly compact placed topsoil. Subdrainage Filter Aggregate and Bedding Material: Granular fill as specified above. General Excavation: Correct over-excavated areas one foot horizontally beyond the outside	Е. F.	Reinforcing Steel: ASTM A615/A615M-2007; Grade 60 (420), deformed billet steel bars, unfinished. Preformed Control Joints: Molded neoprene with preformed corners; .		 a. Species: Provide Spruce-Pine-Fir. b. Grade: No. 2 or Btr. 2. Joists, Rafters, Posts, and Small Beams (Size:
edge at load-bearing foundations for every one foot of over-excavated depth required below the footing elevation beginning two feet outside the edge of the footing with GW, GC, SW, or	G.	Weather Barrier: See Section 07200 - Water Resistive Barrier.		 a. Species: Provide Spruce-Pine-Fir. b. Grade: No. 2 or Btr.

the footing elevation beginning two feet outside the edge of the footing with GW, GC, SW, or SM soils or as indicated through direct observations of the excavation from an on-site soils engineer.
Remove topsoil and organic fill materials from areas to be excavated or receive fill, stockpile for redistribution or removal without mixing with foreign matter and protect form erosion.
Soft or spongy areas found during excavation should be over excavated and replaced with suitable compacted fill indicated in the soils report. . Foundation excavations occurring in freezing temperatures should be protected from freezing before placing foundations. If freezing has loosened the soils, reducing the bearing capacity of the bearing soils, remove the previously frozen soils and place the foundation on either undisturbed and the source of the source of

soils or compacted engineered fill. The surface soils of cohesionless and cohesive soils are to be minimally disturbed and recompacted prior to placement of engineered backfill or foundation. illing and Backfilling: Do not use frozen fill materials. Place and compact in layers not more than 8 inches (200 mm) thick, unless otherwise indicated.

 6. Provide special sized and shaped units for 90 degree corners, bullnosed corners, coved base, lintels, bond beams, control joints, sash, sills, pilasters, and chimneys.
 C. Decorative Concrete Block:

 Design: Rock-faced texture.

 Systematically place to allow time for natural settlement. Fill and compact so that final grade does not settle.
 Adjust moisture content of fill materials to within 2 percent of optimum moisture content as determined by compaction standards for fill material s used.

Compaction: To 95 percent of maximum dry density, unless otherwise indicated. . Compaction Density Unless Otherwise Specified or Indicated: a. Under paving, slabs-on-grade, and similar construction: 95 percent of maximum dry

density. 1. Under pavements within three feet of subgrade: 100 percent of maximum dry density.

Below foundations: 98 percent of maximum dry density. Below interior floor slabs and load bearing wall footings: 95 percent of maximum dry density.

d. At landscaped areas: 90 percent of maximum dry density. Density Testing: Perform testing on compacted fill:
 a. Evaluate in accordance with ASTM D1557-2007 (modified Proctor).

If tests indicate work does meet specified requirements, remove, replace, and retest.

7. Manufacturers:
a. Anchor Block Company; www.anchorblock.com.
b. Substitutions; See Section 01600 - Product Requirements.

6. Color: As selected by owner from manufacturers standard color line.

Load-Bearing Concrete Block: 1. Type: ASTM C90-2011, hollow, two-cell construction, normal weight.

lintels, bond beams, control joints, sash, sills, pilasters, and chimneys. Non-Loadbearing Concrete Block: 1. Type: ASTM C129-2006, hollow, normal weight.

5. Provide special sized and shaped units for 90 degree corners, bullnosed corners, coved base,

04200 - MASONRY UNITS

2. Face Height: 8 inches (200 mm). 3. Face Length: 16 inches (400 mm).

2. Face Height: 8 inches (200 mm).

2. Face Height: 8 inches (200 mm). 3. Face Length: 16 inches (400 mm).

4. Width: As indicated on drawings.

3. Face Length: 16 inches (400 mm). 4. Width: As indicated on drawings.

4. Width - Single Wythe Unit: 8 inches (200 mm).

5. Width - Single Wythe Unit: 8 inches (200 mm).

5. Special Shapes: As indicated on the drawings

۸.	- MANUFACTURED MASONRY - THIN BRICK Quality Assurance.		 Non-Structural: a. Gypsum Sheathing: ASTM C1396/C1396M-2006a; Water-resistant core; square long 	
	 Manufacturer Qualifications: Company specializing in manufacturing the types of products specified in this section, with minimum ten years of documented experience. 		edges; 5/8 in (16 mm) thick. b. Plywood Backing Panels: PS 1-2007; C-C Plugged, exterior grade; 1/2 in (13 mm)	
	a. Current producer member of the National Concrete Masonry Association.2. Installer Qualifications: Company specializing in performing work of type specified, with at least five		thickness. c. Glass mat faced gypsum; ASTM C 1177/C 1177M, Type X, fire-resistant core; square long	
	years of documented experience and approved by manufacturer.Provide and install this work from a single manufacturer following the manufacturer's recomended	E.	edges, 1/2 in (13 mm) thickness. Accessories:	
3.	installation requirements. Submittals:		 Fasteners: Hot-dipped galvanized for exterior and high humidity locations, untreated steel elsewhere. 	
	 Product Data: Provide data for mortar, lath, rainscreen drainage material, and thin brick units, including: 		 Joist Hangers: Hot dipped galvanized steel. Subfloor Glue: APA AFG-01, Waterproof, water base, air cure type, cartridge dispensed. 	ARCHITECTURE, INC.
	 a. Preparation instructions and recommendations. b. Storage and handling requirements and recommendations. 	F.	Wood Treatment: Comply with AWPA U1-2007. 1. Preservative Pressure Treatment: Use Category appropriate to application, using waterborne	
	 c. Brick color sample boards representing the overall color pattern. d. Installation methods. 	G.	preservative.	
	 Selection Samples: For each finish product specified, two complete sets of color chips representing manufacturer's full range of available colors and patterns. 		 Framing: Comply with member sizes, spacing, configurations, fastener sizes, and fastener spacing as indicated, but not less than required by code. 	
	 Construct a masonry wall as a mock-up panel sized as necessary to include mortar, accessories, structural backup and flashings (with lap joint, corner and end dam elements. The mock-up may 		 a. Subflooring: Glue and screw to framing; staples are not permitted. 	320.251.4109 320.251.4693 fx 3335 West St Germain Street
	remain part of the finished work.		b. Structural Sheathing: Orient perpendicular to framing, with ends staggered over firm	PO Box 1228
	Products: 1. Thin Brick Texture: Extruded brick units with dovetail backs and velour texture finish. Turner ADTA 04020 shows a back and a Future finish.		bearing, and secure by nails; staples are not permitted.	St Cloud, MN 56302
	 a. Type: ASTM C1088 clay or shale, Type TBS, Grade Exterior. b. Size: Modular, 3/4 x 2-1/4 x 7-5/8 inches (19 x 57 x 194 mm). 	Α.	- FINISH CARPENTRY Standards:	
	 c. Installation Method: Thick Set. d. Color: Match existing brick. Basis of Design color is selected for bidding purposes, 		 Woodwork Quality Level: Comply with AWI/AWMAC Quality Standards Illustrated-2005 Preminm grade. 	
	other options may be desired based on matching the existing brick color. e. Basis of Design: Belden Brick Company; Canyon Full Range Velour; www.beldenbrick.		 Woodwork Quality Level: Comply with WI Manual of Woodwork-2003, Premium grade. Softwood Lumber Grading: Comply with grading rules of agency certified by ALSC; 	
	 Substitutions: See Section 01600 - Product Requirements. For any product not identified as the "Basis of Design", submit information as specified for substitutions. 		 Hardwood Lumber Grading: Comply with NHLA G-101. Hardwood Plywood: Comply with ANSI/HPVA HP-1-2000. 	I hereby certify that this plan, specification, or report was prepared
	 Mortar Applications At General Contractor's option, mortar may be field-mixed from packaged dry materials, 	В.	Interior Hardwood Standing and Running Trim: 1. Species: Kiln-dried White Oak.	by me or under my direct supervision
	made from factory premixed dry materials with addition of water only, or ready-mixed. b. Mortar Color: To be selected from manufacturer's standard color selections		2. Cut: Plain sliced. 3. Texture: Smooth surfaced.	and that I am a duly Licensed Architect
	 c. Scratch Coat Mortars: Scratch coat mortars for application directly to metal lath. 1. Site-Mixed: ASTM C270, Type N or Type S, using the Proportion Method. 		 Styles, Sizes and Profiles: As indicated on the drawings or as follows. Chair Rail: As indicated on the drawings. 	under the laws of the State of ILLINOIS.
	 d. Setting Bed Mortars: Setting bed used to adhere manufactured units to scratch coat mortar or to bondable concrete or concrete masonry. 		 Finish: Factory-applied, TR-4 Latex Acrylic; Water-Based. a. Match existing wood stain color. 	ILLINOIS.
	 Site-Mixed: ASTM C270, Type N or Type S, using the Proportion Method as specified in Section 04 0511. 		6. Basis of Design: Brainerd Hardwoods, Inc.; www.brainerdhardwoods.com	Budley A. lock
	e. Pointing Mortars: Pointing or grouting mortars used to fill the joints between individual	6	as the "Basis of Design", submit information as specified for substitutions.	Signature : BRADLEY A. TOROK
	manufactruered units once the setting bed mortar has sufficiently cured. 1. Site-Mixed: ASTM C270, Type N or Type S, using the Proportion Method as specified	C.	Door Casing and Trim: 1. Species: Kiln-dried White Oak.	Reg. No.: 001.018042 Date: 07-21-2023
).	in Section 04 0511. Accessory Materials:		 Cut: Plain sliced. Texture: Smooth surfaced. 	Design Firm Reg. No. : F 5993-562-3
	 Weather Resistive Barrier: See Section 07200 - Air Barriers. Metal Lath with Rainscreen Drainage Material: Factory-assembled combination of mesh drainage 		 Style: BH 1730; 3/4 x 3-1/2 inch (19 x 90 mm). Finish: Factory-applied, TR-4 Latex Acrylic; Water-Based. 	
	 a. Diamond Mesh Metal Lath: ASTM C847, galvanized, self-furring. 		 a. Match existing wood stain color. Basis of Design: Brainerd Hardwoods, Inc.; www.brainerdhardwoods.com 	WILLEY A. YOU
	 Draining weight: To suit application, comply with deflection criteria, and as specified in ASTM C841 for framing spacing. 		 a. Substitutions: See Section 01600 - Product Requirements. For any product not identified as the "Basis of Design", submit information as specified for substitutions. 	
	 b. Rainscreen Drainage Mesh: 90 percent open non-woven polyester mesh. 1. Thickness: 1/4 inch (6 mm). 	D.	Shelving and Clothes Rods: 1. Made from one of the following materials, 3/4 inch (19 mm) thick. Do not use particleboard or MDF	LICENSED
	c. Basis of Design: Mortar Net Solutions; LathNet. www.mortarnet.com.		containing urea formaldehyde.	ARCHITECT * =
	 Substitutions: See Section 01600 - Product Requirements. For any product not identified as the "Basis of Design", submit information as specified for substitutions. Easteners: Calvanized staples, pails or screwe of size, spacing and type as recommended by 		 a. Melamine faced particle board with square front edge. 2. Shelf Brackets: Painted, metal, cantilevered type adjustable bracket. 3. Shelf Standards: Painted, surface mounted, metal shelf standard for nominal 1" (25 mm). 	STATE OF ILLINOIS
	 Fasteners: Galvanized staples, nails or screws of size, spacing and type as recommended by manufacturer. 		 Shelf Standards: Painted, surface mounted, metal shelf standard for nominal 1" (25 mm) adjustments. 	CIOUD MULT
4800	- MASONRY ASSEMBLIES	E.	Fasteners: Hot-dipped galvanized, for exterior and high humidity locations, untreated elsewhere.	ARCHITECT *
А. В.	Perform work in accordance with ACI 530.1-2005. Coursing, Bonding, and Anchoring:	F. G.	Fabrication: Shop assemble items to greatest possible extent. Finishing: Shop finish using system as indicated.	DOCUMENT SIGNED LICENSE EXPIRES
	 All Masonry: Running bond; three units and three mortar joints to equal 8 inches (200 mm), concave joints. 		PLASTIC FABRICATIONS	07 - 21 - 2023 11- 30 - 2024
	Single-Wythe Walls: 1. Install horizontal joint reinforcement 16 inches (400 mm) on center. Place joint reinforcement	Α.	Cast Plastic Fabrications: 1. Resin: Polyester type, with integral coloring, resistant to staining by household cleaners and	
).	continuous in first and second joint below top of walls. Manufactured Thin Brick:		chemicals. 2. Polishing Cream: As recommended by manufacturer.	
	 Where required by manufactured masonry manufacturer's instructions, NCMA (AMSV), NCMA TEK 20-01, ASTM C1780 or ICC-ES AC51, install 2 layers of water-resistive barrier or roll-on air water 		 Core Framing: Softwood lumber, clear and free of knots. Locations: 	
	barrier in accordance with water-resistive barrier manufacturer's instructions. Integrate water- resistive barrier with all flashing accessories, adjacent water-resistive barriers, doors, windows,		 a. Window Sills: (01) Edge Style: Square edged; Eased corners. 	│ ┺┻-┛ │
	 penetrations, and cladding transitions. Install manufactured thin brick using thick set method installation according to manufacturer's 		 (01) Edge Style: Square edged; Eased corners. (02) Colors and Finish: As selected from manufacturer's standard colors. 5. Cure components prior to shipping. 	
	instructions and Brick Industry Technical Notes 28C:		6. Fabrication: Fabricate tops in one piece to the greatest extent possible with shop applied	
	a. Attach reinforcing lath or mesh to substrate and apply scratch coat of mortar or modified mortar in one or two layers to a nominal thickness of 1/2-inch to 3/4-inch (13 to19 mm). To scratch coat, apply bond coat of mortar or modified mortar to nominal thickness 1/8 inch (3 2)		backsplashes as required by drawings. Fabricate window sills in the longest practical lengths.	
	scratch coat, apply bond coat of mortar or modified mortar to nominal thickness 1/8-inch (3.2 mm) and groove with notched trowel.		 Basis of Design: Creative Marble Inc.; www.creativemarble.com Substitutions: See Section 01600 - Product Requirements. For any product not Statistication of Design and Section 1. 	
_	b. Fill mortar joints with mortar using a grout bag, mortar gun or other approved method. Tool joints concave when thumbprint hard.		identified as the "Basis of Design." submit information as specified for substitutions.	
	Vertical Reinforcement: 1. Lay masonry units with core cells vertically aligned and cavities between wythes clear of mortar and			
	unobstructed. 2. Install reinforcing bars and grout in masonry cores and cavities.	Α.	Insulation: Thickness and required insulating value as indicated on drawings. 1. Batt Insulation: Glass fiber, without facing, for friction-fit installation.	
	 Support and secure reinforcing bars from displacement; maintain position within 1/2 inch (13 mm) of dimensioned position. 		 a. R-Value: As indicated on the drawings. 2. Foamed-In-Place Insulation: Closed cell, polyurethane foam meeting ASTM E84, ASTM C518, 	
	 Fill spaces containing vertical reinforcement that are less than 2 inches (50 mm) in width with fine grout using low lift grouting techniques; grout spaces 2 inches (50 mm) or greater in width with 		ASTM E96/E96M and have a flame spread index of 25 or less with a smoke-developed index of 450 or less.	
	coarse grout using high or low lift grouting techniques.		a. Foamed-in-place insulation to have a maximum density between 1.5 to 2.0 pcf (24 to 32	
•	Masonry Flashings: 1. Install flashings horizontally at foundation walls, above lintels, at bottom of walls, and and as indicated on the drawings		kg/m3). b. R-Value: As indicated on the drawings. 3. Composite Polyisocyanurate Board Insulation Faced with Oriented Strand Board (OSB) or Plywood	
3 .	indicated on the drawings. Grouting: 1. Place and consolidate grout fill without displacing reinforcing		 Composite Polyisocyanurate Board Insulation Faced with Oriented Strand Board (OSB) or Plywood: Rigid cellular foam, complying with ASTM C1289; Type V, oriented strand board (OSB) one face, glass fiber mat face one side. Crade 2 	
	 Place and consolidate grout fill without displacing reinforcing. At bearing locations, fill masonry cores with grout for a minimum 12 inches (300 mm) both sides of 		glass fiber mat face one side, Grade 2. a. Top Layer Material: 7/16 inch (11 mm) oriented strand board (OSB).	
ł.	opening. Control and Expansion Joints:		 b. Board Size: 48 x 96 inch (1220 x 2440 mm) nominal. c. Composite Insulation Board Thickness: 1.5 inch (38 mm). 	
	 Install preformed control joint device in continuous lengths. Seal end, butt, and corner joints. Form control joints with special block shapes. Use building paper as bond breaker. 		d. Thermal Resistance: R-value of 6.3. e. Board Edges: Square.	
	 Parging: 1. Dampen masonry walls prior to parging. 		f. Manufacturers: 1. Hunter Panels, LLC; H-Shield NB: www.hpanels.com.	
	 Scarify each parging coat to ensure full bond to subsequent coat. Parge masonry walls in two uniform coats of mortar to a total thickness of 1/2 inch (12.7 mm). 		 Substitutions: See Section 01 6000 - Product Requirements. Membrane Roofing Insulation: Rigid polyisocyanurate boards, with facing on both sides. ASTM 	
			1289-06, type II class 1, grade 2, tapered as required to meet designed slope. a. R-Value: As indicated on the drawings.	
5100	METALS		 a. R-value. As indicated on the drawings. 5. Foundation Insulation: Rigid extruded polystyrene boards, without facing. ASTM C578, Type IV. a. R-Value: As indicated on the drawings. 	
۸.	- STRUCTURAL METAL FRAMING Structural Steel: 1. Rolled Shapes: Shapes. ASTM A36/A36M-2005.	В.	Exterior Insulation and Finish System (EIFS): Type PB, weather-resistant coating over rigid	ш —
	 Rolled Shapes: Shapes. ASTM A36/A36M-2005. Wide Flange Shapes: ASTM A992/A992M-2006a. Anchor Bolts: ASTM A307-2007b, non-headed type. 		 polystyrene insulation board, with 1 layer of standard reinforcing mesh. 1. Attachment: Both adhesive and mechanical fastening. 2. Water-resistive barrier over sheathing, under insulation board, with drainage mechanism. 	
	4. Threaded Fasteners: ASTM A307-2007b, Grade A, hex hex heads and nuts, unfinished.		3. Finish Coating Top Coat: Water-based air curing, acrylic or polymer-based finish with integral color	
	 Welding Electrodes: AWS Code. Preparation for Priming: Drimetry Enclosed and and and and and and and and and an		and texture. a. Color: As selected from manufacturer's standard color selections. b. Texture: Fine	
	7. Primer: Fabricator's standard.		 b. Texture: Fine. 4. Base Coat: Manufacturers standard fiber reinforced, acrylic or polymer-based product compatible 	
۸.	- METAL FABRICATIONS Gratings: Welded steel complying with NAAMM MBG 531-2000.		with insulation. a. Insulation: Expanded polystyrene (EPS) board insulation complying with ASTM C578 with	
	1. Manufacturers: a. Neenah Foundry; R-4990-CX series unbolted trench grate - 12 inch (305 mm) wide by		grooved vertical channels. 1. Thickness: As indicated on drawings.	
	 1.1/2 inch (38 mm) deep. 1. Type A grate openings. 		 Air / Water Resistive Barrier: As indicated in Air Barriers. Use air barrier type as required for warranty requirements. 	
3.	 b. Substitutions: See Section 01 6000 - Product Requirements. Other Fabricated Items: As indicated on drawings. 		 A single requirements. A installation Details: As instructed and recommended by system manufacturer. Basis of Design: Sto Corporation; Sto-Therm-ci; www.stocorp.com 	
) .	Fabrication: Shop assemble items in largest sections practical for delivery. 1. Ease exposed edges to small uniform radius.		 a. Substitutions: See Section 01600 - Product Requirements. For any product not identified as the "Basis of Design", submit information as specified for substitutions 	് ല് ഗ
	 Ease exposed edges to small uniform radius. Make exposed joints butt tight, flush, and hairline. Grind exposed joints flush and smooth with adjacent finish surface. 	C. D.	Air Barrier, Fluid Applied: Vapor semi-permeable, elastomeric waterproofing.	ZŞ¥
	4. Welding: Comply with AWS D1.1/D1.1M-2006; use welding materials appropriate for materials		1. Air Barrier Coating:	
	 being welded. Preparation for Priming and Painting: SSPC-SP 1-1982(Ed.2004) and -SP 2-1982(Ed.2004), 		 a. Material: Acrylic. b. Air Permeance: 0.004 cfm/sq ft (0.02 L/(s sq m)), maximum, when tested in accordance with ASTM E0179 	
	minimum. a. Clean surfaces of rust, scale, grease, and foreign matter prior to finishing.		ASTM E2178. c. Water Vapor Permeance: 11 perms (629 ng/(Pa s sq m)), minimum, when tested in	
	 Primer: SSPC-Paint 25 or SSPC-Paint 25BCS, as appropriate; all fabrications primed unless otherwise indicated. 		accordance with ASTM E96/E96M using Procedure B - Water Method, at 73.4 degrees F (23 degrees C).	
	 Do not prime surfaces in direct contact with concrete, where field welding is required, and items to be covered with sprayed fireproofing. 		d. Ultraviolet (UV) and Weathering Resistance: Approved by manufacturer for up to 90 days of weather exposure. Element of the approximation of the	
	WOOD AND PLASTICS		 Elongation: 300 percent, minimum, when tested in accordance with ASTM D412. f. Surface Burning Characteristics: Flame spread index of 25 or less, smoke developed index of 	Т Ш Т
۸.	- ROUGH CARPENTRY Lumber Standards:		450 or less, Class A when tested in accordance with ASTM E84. g. Comply with NFPA 285 requirements for wall assembly.	
	 Comply with PS 20-2005 and grading rules of Southern Pine Inspection Bureau (SPIB). Mark each piece of lumber with grade stamp, identifying agency, species, grade, moisture content, 		 h. Nail Sealability: Pass, when tested in accordance with ASTM D1970/D1970M. i. Sealants, Tapes and Accessories: As recommended by coating manufacturer. 	
	and mill, except provide certificates for exposed lumber.Provide dressed lumber, S4S, unless rough lumber is specifically indicated.		 j. Products: 1. DuPont de Nemours, Inc; Tyvek Fluid Applied WB+ with Tyvek Fluid Applied Flashing 	
3.	4. Moisture content 19 percent maximum. Concealed Dimension Lumber:		and Joint Compound, Sealant for Tyvek Fluid Applied System, and StraightFlash: building.dupont.com/#sle.	
	1. Studs: a. Species: Provide Spruce-Pine-Fir.		 Parex USA, Inc; Parex USA WeatherSeal Spray & Roll-on: www.parexusa.com/#sle. Sto Corp; Sto Gold Coat: www.stocorp.com/#sle. 	
	 b. Grade: No. 2 or Btr. 2. Joists, Rafters, Posts, and Small Beams (Sizes Up to 4 x 16): 		 Substitutions: See Section 01 6000 - Product Requirements. 	
	a. Species: Provide Spruce-Pine-Fir. b. Grade: No. 2 or Btr.	07500	MEMBRANE ROOFING	
	 c. Machine stress-rated (MSR) as indicated in structural notes. 3. Miscellaneous Blocking: 	Α.	Membrane Roofing on Essentially "Flat" Roofs: 1. Warranty:	۲ <u>ــــــــــــــــــــــــــــــــــــ</u>
	a. Species: Any allowed under grading rules. b. Grade: No. 2 or Standard Grade.		 a. By Manufacturer on Materials: 20 years, minimum. b. By Manufacturer on Installation and Workmanship: 20 years, minimum. 	REVISIONS
	4. Laminated Veneer Lumber: a. As indicated in structural notes.		 Thermal Resistance: R - Value of 35 R (6.16 SI). Slope: Minimum 1/4 inch per ft (1:48), no slope provided by deck construction. 	Issue ID Issue Issue Date
	 b. Machine stress-rated (MSR) as indicated in structural notes. Composite Boards: See Section 06600 - Plastic Fabrications 	В.	Elastomeric Membrane Roofing: 1. Membrane Material: EPDM, ASTM D4637-2010, non-reinforced, 0.060 inch (1.5 mm), black.	
).	Construction Panels: 1. Structural:		 Seaming: As specified by membrane manufacturer; provide factory-seamed sheets as large as is possible. 	
	a. APA Rated Subflooring: 3/4 inch (19 mm),Exposure Class 1; 24 in (610 mm) o.c.with tongue and groove edges. Each panel shall be identified with the APA rated Sturd-I-Floor		 Attachment: Fully adhered. Other Materials: As required by manufacturer for warranty specified. 	
	grade trademark of the American Plywood Association and shall meet the requirements of the DOC Product Standard (PS-1). Application and nailing of plywood shall be in		 a. Provide materials as necessary to patch existing roof membrane. 5. Basis of Design: Carlisle-SynTec; Sure-Seal Fully Adhered Roofing System. 	
	accordance with the recommendations of the American Plywood Association unless noted		 a. Substitutions: See Section 01600 - Product Requirements. For any product not identified as the "Basis of Design", submit information as specified for substitutions. 	
	otherwise on construction documents. b. Structural plywood low slope roof decking shall be 3/4 inch (19 mm), 40/20, Exposure 1.		FLASHING AND SHEET METAL	
	Each panel shall be identified with the rated sheathing grade trademark of the American Plywood Association and shall meet the requirements of the Doc Product Standard (PS 1) Application and pailing of plywood shall be in appared and with the	Α.	Galvanized Steel Sheet: ASTM A653/A653M-2007, G90/Z275 galvanized. 1. Heavyweight: 24 gage 0.024 inch (0.6 mm) thick. 2. Eastrong Einight Sillegating advector against again and a selected.	
	(PS-1). Application and nailing of plywood shall be in accordance with the recommendations of the American Plywood Association unless noted on constructions depresent the second seco	В.	 Factory Finish: Siliconized polyester coating; color as selected. Sheet Metal Scuppers and Downspouts: Prefinished galvanized steel sheet, heavyweight as 	SHEET TITLE SPECIFICATIONS
	documents. Contractor's option to use an approved structural oriented strand board (OSB) in Use of closer of declaration and use the structural oriented strand board to the identified		specified above. 1. Scupper Size: As indicated on the drawings.	
	lieu of plywood for roof decking and wall sheathing. Each panel shall be identified with the rated sheathing grade trademark of the American Plywood Association,		 Downspout Style: Rectangular, open faced. Downspout Size: 4 x 4 inch (102 x 102 mm). 	DRAWN BY: DATE: PROJ. NO.
	shall be the same thickness and bond classification as specified for plywood and shall meet the requirements of the Doc Product Standard (PS-2). Application and		 Joints: Sealed with silicone sealant. Provide anchors and straps as required for a full and complete installation. 	SJG /BAT 7/21/23 32249
	nailing of the OSB shall be in accordance with the recommendations of the American Plywood Association unless noted otherwise on the construction	C.	Sheet Metal Flashing and Trim: Prefinished galvanized steel sheet, medium weight as specified above.	
	documents. c. APA Rated Wall Sheathing: 7/16 inch (11 mm), Exposure Class 1, span rating of 32/16 in		 Joints: Sealed with silicone sealant; with bayonet or hooked interlocking seams providing movement at maximum 10 feet (3050 mm) on center. 	SHEET NO.
	(810/405 mm).	D.	Architectural Sheet Metal Manual.	
				A-601

			
	 JOINT SEALERS Seal the following joints with joint sealer whether so indicated on drawings or not: 1. Expansion and control joints in exterior walls, copings, parapets. 	 4. Grade: a. Doors with closers: Grade 1, heavy weight, anti-friction bearing. b. Other exterior doors: Grade 1, heavy weight, anti-friction bearing. 	10. Door Hardware Set No. 5. Door No.(s) as indicated in the door schedule, each to have the following: SPECIALTIES
	 Joints between exterior metal panels. Joints between door and window frames and adjacent materials, in exterior walls only. 	 c. Heavy interior doors: Grade 2, standard weight, anti-friction bearing. d. Interior doors without closers: Grade 3, standard weight, plain bearing. 	10250 - SERVICE WALLS NO. ITEM DESCRIPTION MANUFACTURER FINISH A. Wall Paneling (FRP).
	 Joints between cabinets and countertops and walls. Control joints in interior partitions, including portion above ceilings. Expansion and control joints in solid exterior soffits. 	 e. Residence entry doors: Grade 2, standard weight, anti-friction bearing. f. All other doors: Grade 2, standard weight, anti-friction bearing. 5. Quantity: 	 HANGING DEVICE AS REQ'D HAGAR 605 (US3) OPERATING TRIM ALX 50PD SCHLAGE 605 (US3) Plastic sheet will covering, embossed, semi-rigid, high impact resistant PVC or acrylic-modified vinyl plastic sheet with integral color throughout. a. Thickness: 0.093 inches (1.5 mm)
-	 Control joints in interior ceilings and soffits. Control joints in ceramic tile flooring. 	 a. Doors up to and including 90 inches (2286 mm): 3 hinges. b. Doors 90 inches (2286mm) through 120 inches (3048 mm): 4 hinges. 	08800 - GLAZING b. Color and Texture: Pebbled finish; White. c. Mounting: Adhesive.
	 Open joints in concrete paving. Joints between dissimilar exterior materials. Precast to precast panel joint assemblies. 	 Provide one additional hinge for every additional 30 inches (762 mm) in heights over 120 inches. Configurations: 	 A. Use glass types as follows: 1. Exterior Windows: Insulating glass; gasket glazed with supplementary sealant. 2. Exterior Doors and Sidelights: Fully tempered insulating glass; gasket glazed.
В. С.	At horizontal surfaces use pourable type if available; at all other surfaces use non-sag type. Apply continuous bead of joint sealer in the following locations during installation of materials	a. Full Mortise: A0100 series. 7. Manufacturers:	 3. Interior Door Lights: Safety glazing as specified; dry glazed. 4. Interior Windows: Single pane float glass, safety glazing where required; dry glazed. 4. Walk-in Cooler: American Mortuary walk-in mortuary morgue cooler model #0810 with 26 ga.
	specified elsewhere:1. In lap joints of exterior sheet metal construction.2. Between end stud of partition and adjacent construction.	 a. Hagar Companies. b. Stanley Commercial Hardware; A Division of the Stanley Works. c. PBB, Inc. 	 B. Insulating Glass: Sealed insulating glass units, with glass to elastomer seal; with independent certification showing compliance with ASTM E2190-2010. 1. Outer Pane: 6 mm annealed float glass; untinted. embossed galvalume wall finish, insulated floor and vapor proof light and globe. 1. Size: Size: 7'-6 1/2" H. x 8'-0" H. x 10'-0" L. (2.30 m H. x 2.44 m W. x 3.05 m L.). 2. Compressor: Manufacturer's standard compressor with 95-degree ambient temperature (max).
	3. Under exterior door sills. 4. Under sill flashing at exterior window sills. Exterior Joint Sealers:	 Substitutions; See Section 01600 - Product Requirements. Locks and Latches: Locking Functions: As indicated in Hardware Groups. 	 Inner Pane: 6 mm annealed float glass; untinted. Low-E Coating: Colorless, on No.2 surface. Seal: Polyurethane. Door Size: 3'-0" W. x 6'-9" W. (0.91 m W. x 2.06 m H.). Left-hand reverse swing. Cooler racking: By Owner.
	 For All Locations, Unless Otherwise Indicated: Silicone nonsag gunnable elastomeric sealant, complying with ASTM C920-2011, Class 25, single-component, Uses NT, M, and A. 	 Locksets and Latchsets: Cylindrical (bored), except where otherwise indicated. Provide a lock on every pair of doors and every single door, unless otherwise indicated. 	 Warranty: 5 years, no fogging due to seal failure. Muntins: Integral within glazing, color matching frames where indicated on the drawings.
	 a. Color: To match adjoining materials. 2. Concrete Paving: Polyurethane, pourable, elastomeric sealant, complying with ASTM C920-2011, F Class 25, single-component, Uses T and M. 	4. Where a lock is specifically not required, provide positive latching, unless otherwise indicated.	a. See Section 08500 for profile. 7. SHGC: 0.45 max. 8. Manufacturers:
	 a. Color: Concrete gray. 3. Concealed Sealant in Low Movement Joints: Butyl or polyisobutylene, non-setting, non-hardening 	 Single Exterior Doors: Rim type device. Single Interior Doors: Rim type device. 	 a. Old Castle Building Envelope. b. PPG Industries.
,	 sealant. Precast to Precast Panel Sealant: Polyurethane, nonsag gunnable sealant, complying with ASTM C920-2011, Type M, Use NS, class 50, multi-component, chemically curing. 	 4. Manufacturers: a. Von Duprin; An Ingersoll-Rand Company. b. Yale Commercial Locks and Hardware; An ASSA ABLOY Group Company. 	c. Pilkington North America, Inc C. Float Glass: ASTM C1036-2006, Quality Q3; heat strengthened and fully tempered also complying with ASTM C1048-2004.
	a. Color: Gray.b. Product: Tremco; Dymeric 240 FC.	 c. Dorma Architectural Hardware. d. Substitutions; See Section 01600 - Product Requirements. G. Locksets: Cylindrical (bored) type. 	 D. Safety Glazing: 6 mm fully tempered float glass complying with ASTM C1048-2004. E. Glazing Accessories: Follow recommendations of GANA Glazing Manual, 2004 and FGMA Sealant Manual, 1990.
Ε.	Interior Sealers: 1. For Joints Exposed to View, Unless Otherwise Indicated: Acrylic latex, water-based, single part,	1. Grade: Complying with ANSI/BHMA A156.2-2003. a. Exterior Doors: Grade 1.	 Gaskets: Resilient silicone rubber, complying with ASTM C864-2005; black. Setting Blocks: Neoprene, 80-90 Shore A hardness.
	 paintable sealant; white. Joints in Floors: Polyurethane, pourable, elastomeric sealant, complying with ASTM C920-2011, Class 25, single-component, Use T and M. 	 b. Other Interior Doors: Grade 2. 2. Trim: Lever in the following design. a. Grade 2 Locksets: Athens design by Schlage. 	 Do not use non-curing sealant tape without cover of a curing sealant. Exterior Glazing Sealant: Silicone, acid-curing, complying with ASTM C920-2011, Class 25, Grade NS, Uses NT, A and G; install in accordance with ASTM C1193 -2005 and GANA's FGMA
	a. Color: Color to match adjoining materials. Backer Rods:	 Manufacturers: a. Grade 2 Locksets; Schlage ALX Series. 	Sealant Manual-1990. G. Interior Glazing Sealant: Clear silicone.
	 For All Locations, Unless Otherwise Indicated: Closed cell polyurethane; Denver Foam; manufactured by Bay Industries - www.bayindustries.com unless noted otherwise. Joints More than 1-1/2 inches (38 mm) Wide: Precompressed polyurethane foam seal. 	 Pushbutton Locks: Manually programmable, stand alone, battery operated electronic lock. 1. Grade: Complying with ANSI/BHMA A156.5-2001 Grade 1. Strikes: 	FINISHES 09200 - PLASTER AND GYPSUM BOARD
	a. Color: Black. J DOORS AND WINDOWS	1. Dustproof: Cast housing. J. Miscellaneous Bolts and Latches: 1. Magnetic Catch.	A. Gypsum Board: ASTM C1396/C1396M-2006a. 1. Gypsum Wallboard: a. Core: Standard - incombustible.
	- METAL DOORS AND FRAMES K Steel Doors:	 K. Door Člosers: 1. Use surface mounted type except where otherwise indicated. 	 b. Backing: Paper-backed. c. Thickness: As indicated.
	1. Grade: ANSI A250.8-1998. L a. Exterior Doors: Level 3, Model 2, Seamless (16 gage). b. Interior Doors: Level 1, Model 2, Seamless (20 gage).	 L. Surface Mounted Closers: Complying with ANSI/BHMA A156.4-2000. 1. Functional Features: a. Exterior Doors: Grade 1. 	d. Edge Configuration: beveled. 2. Gypsum Ceiling Board: Incombustible, 5/8 inch (15.8 mm) thick; tapered edge. 3. Water-Resistant Gypsum Backing Board (Greenboard):
	 Finish: Prime painted, unless otherwise indicated. a. Exterior Doors: Galvanized G60/Z180 per ASTM A653/A653M-2007. 	 Hold-open. (01) Where indicated in the Schedule. 	a. Core: Standard (water-resistant). b. Thickness: 5/8 inch (15.9 mm).
	 Core: Polyurethane foam Thermal Resistance: U Value Factor of 0.41 minimum. Door Face Sheets: Embossed. 	 Additional adjustable closing force of 15 percent (PT4A) above force required for size. Adjustable hydraulic backcheck (PT4D 	c. Edge Configuration: Tapered. B. Glass Mat Water-Resistant Gypsum Backing Panel: ASTM C1178/C1178M-2006. 1. Core: Standard (water-resistant).
	 4. Thickness: As indicated on the drawings. b. Interior Doors: Galvanized G40/Z120 per ASTM A653/A653M-2007. 1. Door Face Sheets: Flush. 	 Adjustable delayed action closing (PT4F). Built-in factory dead stop at 90-110 degrees (PT4G). Hydraulic fluid suitable for use at up to minus 40 degrees F (minus 40 degrees C), 	2. Thickness: 1/2 inch (12.7 mm). 3. Thickness: As indicated.
	 Thickness: As indicated on the drawings. Finish: Prime painted, unless otherwise indicated. 	without adjustment or replacement. b. Interior Doors: Grade 1.	C. Gypsum Board Assemblies: 1. Gypsum Panel Partitions:
	 Factory-prepare and reinforce for hardware specified in accordance with Standard; coordinate with Door Hardware Schedule. a. Provide SDI-111-2000 High Frequency Hinge Preparation on frames at entrances. 	 Hold-open, where indicated, except for fire doors. Adjustable hydraulic backcheck (PT4D Adjustable delayed action closing (PT4F). 	 a. Non-Rated Wood Stud Partitions: 1. Studs: Full height and ceiling height, as indicated, spaced at as indicated. 2. Infill: Fiberglass sound batts at sound-rated walls where indicated.
	 Install in accordance with ANSI A250.6-1997 and ANSI A250.11-2001. Basis of Design: Steelcraft, an Ingersoll-Rand Company, L-Series (Flush); CE-Series (Embossed). 	 Built-in factory dead stop at 90-110 degrees (PT4G). Closing Force: As specified in ANSI/BHMA A156.4-2000 for size required. 	 Furring: Resilient steel furring channels spaced at 24 inches (610 mm) oc. for sound-rated walls where indicated.
В.	 a. Substitutions: See Section 01600 - Product Requirements. For any product not identified as the "Basis of Design", submit information as specified for substitutions. Steel Door Frames: Knock-down field assembled type except where noted otherwise. 	 3. Interior Door Closer Sizes: a. Doors over 34 inches (864 mm) and up to 38 inches (965 mm) wide: Size III. b. Doors over 38 inches (965 mm) and up to 48 inches (1219 mm) wide: Size IV. 	 Gypsum Panel Ceilings: a. Non-Rated Wood Framed Ceilings: 1. Framing: Spaced as indicated.
	1. Grade: ANSI A250.8-1998, gage as required by standard for the grade steel door specified; provide anchors as specified by standard.	 Doors over 48 inches (1219 mm) wide or subject to strong drafts: Size V or VI, whichever is suitable. 	er 2. Infill: Fiberglass sound batts where indicated. b. Non-Rated Wood Truss Framed Ceilings:
	 a. Exterior Frames for Level 3 Doors: 14 gage. b. Interior Frames for Level 1 Doors: 18 gage. 2. Comply with other requirements specified for specific doors. 	 4. Exterior Door Closer Sizes: a. Doors over 36 inches (914 mm) and up to 42 inches (1067 mm) wide: Size V. b. Doors over 42 inches (1067 mm) wide or unusually heavy weight: Size VI. 	 Framing: Spaced at as indicated. Infill: Blown insulation, where indicated. Non-Rated Steel Framed Walls, Ceilings and Soffits:
	 Finish: Prime painted, unless otherwise indicated. a. Exterior Door Frames: Galvanized G60/Z180 per ASTM A653/A653M-2007. 1. Fill with polyurethane foam. 	 Mounting: On hinge (pull) side of door, unless otherwise indicated. a. Where closer would be exposed in corridor or other public space, mount on room side, regardless of door swing. 	 Framing: Steel non-loadbearing studs, suspended and/or braced as required, spaced at 24 inches (610 mm) on center maximum, installed in accordance with ASTM C754-2007.
	 Frame Type: Fully Welded. Interior Door Frames: Galvanized G40/Z120 per ASTM A653/A653M-2007. 	b. Use arms that project as little as possible.c. Use slide track arm mounting.	 Infill: Fiberglass sound batts where indicated. Gypsum Board Accessories:
	 Fill with sound batt insulation unless noted otherwise. Factory-prepare and reinforce for hardware specified in accordance with Standard; coordinate with Door Hardware Schedule. 	 Covers: Manufacturer's standard, full rectangular style. Manufacturers: LCN Closers; An Ingersoll-Rand Company. 	 Acoustic Insulation: ASTM C665-2006, preformed, friction-fit, unfaced. Acoustic Sealant: Non-hardening, non skinning, for use in conjunction with gypsum board. Corner Beads and Trim: Galvanized steel.
	 a. Provide SDI-111-2000 High Frequency Hinge Preparation on frames at entrances. 5. Silencers: As specified in Section 08700 - Hardware. Resilient rubber, fitted into drilled holes. 	 b. Dor-O-Matic; An Ingersoll-Rand Company. c. DORMA Architectural Hardware; A member of the DORMA Group North America. 	 Finishing System: ASTM C475/C475M-2002 (Reapproved 2007); ready-mixed vinyl-based joint compound; finish in accordance with ASTM C840-2007, Level 4 finish.
	 a. Provide three on strike side of single door, three on each side of center mullion of paired doors, and two on head of paired doors without center mullion. 6. Manufacturers: Same as for hollow steel doors. 	 d. Substitutions; See Section 01600 - Product Requirements. M. Door Stops: Complying with ANSI/BHMA A156.16-2002 Grade 2, with concealed or inconspicuous fasteners. 	 Screws: ASTM C1002-2007. Nails: ASTM C514-2004 (Reapproved 2009)e1. Wood Adhesive: ASTM C557-2003 (Reapproved 2009)e1.
	a. Substitutions; See Section 01600 - Product Requirements.	 Wall Stops: Round convex bumper (L02100). Manufacturers: 	09500 - CEILINGS
Α.	- WOOD AND PLASTIC DOORS Stile-and-Rail Wood Doors: 1. Grade: AWI/AWMAC (AWS) Custom Grade, Heavy-Duty performance.	 a. Ives Hardware; An Ingersoll-Rand Company. b. Hiawatha Inc c. Stanley Commercial Hardware; A division of The Stanley Works. 	 A. Grid-Supported Acoustical Ceilings: Standards:
	2. Construction: a. Stiles and Rails: Solid lumber. b. Panels: Raised Rim Banded Panel.	 d. Substitutions; See Section 01600 - Product Requirements. N. Push And Pull Hardware: Material and finish as specified under "General Requirements"; styles as specified in ANSI/BHMA A156.6-2005. 	of ASTM E1264-2008e1. b. Suspension Systems: Comply with ASTM C635-2007. 2. Panel System Type:
	c. Sticking: Ovolo. 3. Species: White Oak.	 Combination Push/Pull Bars: Pull Plates: As indicated in hardware groups 	a. Acoustical Panels (ACT-1) : Type III, painted mineral fiber, and as follows: 1. Size: 24 by 24 inch (609 by 609 mm).
	 a. Veneer Cut: Flat cut (plain sliced). b. Veneer Matching: Book match in veneer pieces; balance matching on face. 4. Transparent Finish: Factory-applied, TR-9; UV cured, acrylated polyurethane. 	 Push Plates: As indicated in hardware groups. Manufacturers: 	 Thickness: 3/4 inch (19 mm). Composition: Form 2, nodular. Density: Minimum 0.92 lb/sq ft (4.4 kg/sq m).
	 a. Color: Match existing door / trim stain color. 5. Door Style: As indicated in the door and frame schedule and elevations. 6. Accessories: As indicated on drawings, including wood glazing stops. 	a. Ives Hardware; A Division of Ingersoll-Rand Company.b. Hiawatha.	 5. Light Reflectance: Minimum 0.87. 6. Noise Reduction Coefficient (NRC): Minimum 0.55. 7. Edge Detail: Shadowline Tapered (SLT).
	 Basis of Design: VT Industries; Eggers Stile and Rail Collection; Style E115 and E209. www.vtindustries.com 	 c. Burns Manufacturing Incorporated. d. Substitutions; See Section 01600 - Product Requirements. O. Sound and Light Seals: 	8. Color: White. 9. Surface Pattern: CDFI - Lightly textured.
R	 Substitutions: See Section 01600 - Product Requirements. For any product not identified as the "Basis of Design", submit information as specified for substitutions. Wood Door Frames: 	 At Door Bottoms: Automatic door bottom. At Door Frame: Compression type, UL listed and labeled for use on sound-rated doors; provide as indicated. 	10. Suspension System: GD-1.
	1. Species: White Oak. P 2. Finish: Same as for doors. P	P. Weatherstripping for Swinging Doors: Compression-type, unless otherwise indicated; neoprene.	(01) Substitutions: See Section 01600 - Product Requirements. For any product not identified as the "Basis of Design", submit information as specified for
	 Profile: Double rabbet; uncased Casing: See Section 06200 - Finish Carpentry 	 Retainers: Aluminum of finish matching door finish. Fasteners: Tamperproof. Provide at each exterior door unless otherwise indicated. 	substitutions. b. Lay-In Panels: (VT-1); Vinyl faced, gypsum core with the following characteristics: 1. Size: 24 by 48 inch (609 by 1219 mm).
Α.	- SPECIALTY DOORS Sectional Overhead Doors: Galvanized steel panel, factory primed; torsion spring, counterbalanced, power operation, embossed wood texture complete with manufacturers	 a. At Jambs and Head: Bulb type adjustable after installation. b. At Bottom of Door at Flat Saddles: Flexible sweep that makes contact with threshold when door is closed, but does not drag on floor. 	 Thickness: 1/2 inch (19 mm). Edge Detail: Square (SQ). Color: White.
	standard seals. 1. Panel Thickness: 2 inches (51 mm).	4. Manufacturers: a. Reese Enterprises.	 Suspension System: GD-2. Location: Prep Room 104 (patching if required).
	 Exterior: U-value of 05; weatherstripping on both jambs, sill, and at head; no exposed insulation on either side. a. Embossed raised colonial style panel design with insulated glass glass window in top section. 	 b. Pemko Manufacturing Company. c. Hagar Companies. d. Substitutions; See Section 01600 - Product Requirements. 	 Basis of Design: USG Corporation; Sheetrock Brand - Clima Plus. (01) Substitutions: See Section 01600 - Product Requirements. For any product not identified as the "Basis of Design", submit information as specified for
	Window design as selected. 3. Exterior: Designed to withstand 20 psf (0.57 kPa) positive and 10 psf (0.48 kPa) negative wind	 Install so air leakage is minimized, while allowing free operation and low-pressure closing of door. Thresholds: Comply with ANSI/BHMA A156.21-2006, of configurations as indicated. 	substitutions. b. Suspension System:
	 pressure without damage. Tracks and Guides: 2 inch (51 mm) galvanized steel. Normal headroom lift unless specifically noted below. 	 Material: Aluminum with fluted surface. Material: Cast abrasive. Height Above Finish Floor: 3/8 inch (9.5 mm) high maximum, beveled, with no slope greater than 	 Type GD-1: Exposed, hot-dipped galvanized painted steel, non-fire rated, intermediate duty, and as follows: (01) Construction: Single web.
	 a. Low Headroom Clearance: At locations indicated. 5. Galvanizing: ASTM A653/A653M-2007 G90/Z275 or equivalent. 6. Finish Color: To be selected from manufacturer's standard selections. 	 1:2. Width: As indicated, or as required to cover floor openings and provide necessary weather seal. Provide at each exterior door unless otherwise indicated. 	(02) Profile: Tee. (03) Width: 15/16 inch (24 mm). (04) Finish: Baked enamel; White.
	 Windows: 4-over-4, square, 3/16-inch (4.8 mm), satin, insulated glass. Power Operator Controls: Standard Control Hoist with remote control and wall mounted 3-button 	a. At Entrance Doors: Flat saddle type.6. Manufacturers:	(05) Basis of Design: USG Corporation; Donn DX / DXL. Substitutions: See Section 01600 - Product Requirements. For any
	 momentary contact control device activation. a. Safety Edge: Located at the bottom of the door, full width, electro-mechanical sensitized type, wired to stop and reverse door direction upon striking an object. 	a. Reese Enterprises.b. Pemko Manufacturing Company.c. Hagar Companies.	product not identified as the "Basis of Design", submit information as specified for substitutions. 2. Type GD-2: Exposed, extruded aluminum grid and cap, non-fire rated, intermediate
	 Basis of Design: Raynor Worldwide; Aspen AP-200LV-LuxeVue series. a. Substitutions: See Section 01600 - Product Requirements. For any product not identified F 	d. Substitutions; See Section 01600 - Product Requirements.	duty, and as follows: (01) Construction: Single web.
	as the "Basis of Design", submit information as specified for substitutions. S	1. Door Hardware Set No. 1.	 (02) Profile: Tee. (03) Width: 15/16 inch (24 mm). (04) Finish: Baked enamel; White. (05) Besister Levient Levier Data DXLA
Α.	 Windows: Factory-assembled, fixed and operating units, of tubular PVC, complete with frame, weatherstripping, operating hardware, and anchors. 1. Configuration: As indicated on drawings. 	Door No.(s) as indicated in the door schedule, each to have the following: NO. ITEM DESCRIPTION MANUFACTURER	(05) Basis of Design: USC Corporation; Donn DXLA. Substitutions: See Section 01600 - Product Requirements. For any product not identified as the "Basis of Design", submit information as
	 Window Product Type: FW - Fixed window, in accordance with AAMA/WDMA/CSA 101/I.S.2/ A440. 	FINISH - HANGING DEVICE AS REQ'D (NRP) HAGAR 605 (US3)	specified for substitutions. 3. Installation:
	 Color: White. Frame Depth: 3-1/4 inch (83 mm), minimum. Mounting Flange: Integral to frame assembly, providing weather stop at entire perimeter of frame. 	1 SECURING DEVICE CD 99 L - 07 VON DUPRIN 605 (US3) 1 CYLINDER 1 CLOSING DEVICE AS REQ W/H.O. LCN BRASS	 a. Suspension System: Comply with ASTM C636/C636M-2006, and manufacturer's instructions. b. Acoustical Units: Install in accordance with manufacturer's instructions.
	 a. Setback 1-3/8 inch (35 mm). 6. Glass Stops: Same material and color as frame, sloped for wash, factory applied. 	1 EA. ACCESSORIES REESE THRESHOLD WEATHERSTRIP'G	09600 - FLOORING A. Resilient Base:
	 Operating Type: Casement. Screen: Tight fitting, aluminum screen mesh in matching frame; required at all operating sash. Locking: Manual interior latching. 	WEATHERSTRIP'G SWEEP	 Base Type V: Provide rubber or vinyl, top set coved design; height of 4 in (100 mm); satin finish; maximum possible lengths; color as selected.
	 Factory-installed glazing. High-Performance insulated double pane, annealed glass, clear, dual coating of low-E coated, argon filled, with glass thicknesses as recommended by manufacturer for 	 Door Hardware Set No. 2. Door No.(s) as indicated in the door schedule, each to have the following: 	 Accessories: Premolded external corners and end stops. Color: Silver Gray. Basis of Design: Tarkett Corporation; 55 Silver Gray WG; www.tarkettna.com
	specified wind conditions. b. Muntin Grilles:	NO. ITEM DESCRIPTION MANUFACTURER FINISH	a. Substitutions: See Section 01600 - Product Requirements. For any product not identified as the "Basis of Design", submit information as specified for substitutions.
	 Grille Pattern: 3/4 inch (19 mm) wide flat profile and set between the glass panels, pattern as indicated on drawings. U-Factor: 0.27 (NFRC Certified Total Unit Performance) 	- HANGING DEVICE AS REQ'D (NRP) HAGAR 605 (US3) 1 SECURING DEVICE CO-100CY50 SCHLAGE 605 (US3) 1 CYLINDER	 B. Carpet Tile: Tufted textured loop, solution-dyed nylon. 1. Size: 24 x 24 inch (609 x 609 mm). 2. Pattern: Quarter Turn.
	12. SHGC: 0.33 (NFRC Certified Total Unit Performance) 1 13. Basis of Design: Thermo-Tech; Classic Series: www.ttwindows.com. 1	1 CLOSING DEVICE AS REQ W/H.O. LCN BRASS 1 EA. ACCESSORIES REESE	 Basis of Design: Bently Mills; Himitsu San - Cryptic 403762; www.bentlymills.com Substitutions: See Section 01600 - Product Requirements. For any product not identified as
	 a. Substitutions: See Section 01600 - Product Requirements. For any product not identified as the "Basis of Design", submit information as specified for substitutions. - HARDWARE General Peruirements: Provide bardware listed on attached Schedule 	THRESHOLD WEATHERSTRIP'G SWEEP	the "Basis of Design", submit information as specified for substitutions. 09900 - PAINTS AND COATINGS A Materials:
	General Requirements: Provide hardware listed on attached Schedule. 1. Material and Finish: As indicated in Hardware Groups, complying with ANSI/BHMA A156.18-2006. a. Hinges: As specified.	5. Door Hardware Set No. 3.	 A. Materials: 1. One Manufacturer per System: Provide fillers, undercoats, primer, and finish coats for any one surface by same manufacturer. Do not combine products by different manufacturers on same
	 b. Items Permitted to be Steel: Equivalent finish on steel. c. Exposed Door Closer Covers and Arms at Aluminum Doors in Aluminum Frames: Painted 	Door No.(s) as indicated in the door schedule, each to have the following:	substrate. 2. Quality Level: Provide manufacturer's best quality paint of each of the types specified, in containers
в.	d. Other Exposed Door Closer Covers: Manufacturer's closest matching painted finish.	NO. ITEM DESCRIPTION MANUFACTURER FINISH - HANGING DEVICE AS REQ'D HAGAR 605 (US3) 1 EA PUSH PLATE 8200 - 4X16 IN. IVE 605 (US3)	that are fully labeled with manufacturer's complete product identification. 3. Manufacturers: a. Sherwin-Williams.
	 Key to new grand master key system. Cylinders: Minimum 6-pin tumbler type with removable, interchangeable cores. 1	- PULL PLATE 8303-8 - 4X16 IN. 1 CLOSING DEVICE AS REQ W/ H.O. LCN BRASS	b. Benjamin Moore. c. PPG Pittsburgh Paints .
D.	 Hinges: Hang each door with suitable hinges or pivots, for free and easy operation. 1. Full mortise butt hinges unless otherwise indicated. Butt Hinges: Five-knuckle, complying with ANSI/BHMA A156.1-2006. ANSI numbering system 	7. Door Hardware Set No. 4.	d. Substitutions; See Section 01600 - Product Requirements. B. Interior Opaque Coating Systems: 1. Gypsum Wallboard: 2. Example Anglia Enamel Einight:
	 is used only to indicate configuration; comply with all requirements of standard and of specification. 1. Style: Concealed bearing. 	Door No.(s) as indicated in the door schedule, each to have the following: NO. ITEM DESCRIPTION MANUFACTURER FINISH	 a. Eggshell Acrylic Enamel Finish: 1. Primer: One coat latex interior primer. 2. Finish: Two coats low luster or eggshell latex interior enamel.
	 Dimensions: Complying with ANSI/BHMA A156.7-2003; sizes as recommended by manufacturer for application. 	- HANGING DEVICE AS REQ'D HAGAR 605 (US3) 1 OPERATING TRIM CO-100CY50 SCHLAGE 605 (US3)	2. Zinc-Coated Metal: a. Semigloss Alkyd Enamel Finish:
	 a. 1-3/4 inch (44 mm) thick doors: Minimum 4-1/2 inch (114 mm) by 4-1/2 inch (114 mm). 1. Material: Steel, plated with specified finish. a. Exception for doors with hinge barrel exposed to outdoors: Brass or bronze with specified 	1 CLOSING DEVICE AS REQ W/H.O. LCN BRASS 1 STOPS & HOLDS WS 407 CVX IVES 605 (US3)	 Primer: One coat galvanized metal primer. Undercoat: One coat alkyd interior enamel undercoater. Finish: One coat semigloss alkyd interior enamel.
	finish (plated if necessary) or stainless steel.		

10 - SPECIFICATIONS : Plotted on 7/24/23 at 4:21 PM - /Volumes/Mike Keim's Public Folder/Miller Projects/32249-Haben Funeral Home/Design Drawings and Datas/Haben FH DN-5 CA.pln

ARCHITECTURE, INC. 320.251.4109 320.251.4693 fx 3335 West St Germain Street P0 Box 1228 St Cloud, MN 56302 I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Architect under the laws of the State of ILLINOIS. Signature BRADLEYA. TOROK Reg. No. : 01.018042 Date : 07-21-2023 Design Firm Reg. No. : F5993-562-3
DOCUMENT SIGNED LICENSE EXPIRES 07 - 21 - 2023 11- 30 - 2024
HABEN FUNERAL HOME BUILDING ADDITION 8057 NILES CENTER ROAD 8057 NILES CENTER ROAD SKOKIE, ILLINOIS 60077 SKOKIE, ILLINOIS 60077
Issue ID Issue Issue Date
SHEET TITLE SPECIFICATIONS
DRAWN BY: DATE: PROJ. NO. SJG /BAT 7/21/23 32249
SHEET NO. A-602 © Copyright, Miller Architecture Inc.

DESIGN LOADS:

INTERNATIONAL BUILDING CODE 2021 (2021 IBC) WITH LOCAL AMENDMENTS DESIGN CODE:

LOADS:

ROOF: SNOW LOAD: FRAMING: ROOFING:

25 PSF (OR 20 PSF + DRIFT) 15 PSF 5 PSF

WIND: $V_{ULT} = 107$ MPH, EXP B

GENERAL FOUNDATION NOTES:

- 1. ALL SOIL SUPPORTED FOOTINGS SHALL BE FOUNDED UPON UNDISTURBED, NATURAL SUBGRADE WITH A MINIMUM ALLOWABLE BEARING CAPACITY OF 1,500 PSF AS FIELD VERIFIED AND APPROVED BY THE OWNER'S SOIL TESTING LABORATORY. THE BOTTOM OF THE FOOTING ELEVATIONS AND SOIL BEARING CAPACITIES AS SHOWN ON THE DRAWINGS ARE ESTIMATED FROM THE SOIL BORING DATA. FINAL, EXACT ELEVATIONS AND SOIL BEARING CAPACITIES SHALL BE FIELD DETERMINED AND VERIFIED BY THE OWNER'S SOIL TESTING LABORATORY AND REVIEWED BY THE ARCHITECT / ENGINEER DURING CONSTRUCTION.
- 2. SOIL SUBGRADE FOR ALL FOOTINGS AND SLABS SHALL BE INSPECTED AND APPROVED BY THE OWNER'S SOIL TESTING LABORATORY IMMEDIATELY PRIOR TO PLACING FOUNDATION CONCRETE OR CONCRETE MUD SLABS.
- 3. ALL FOOTINGS SUBGRADES AS REQUIRED AND ALL SLAB SUBGRADES INCLUDING PIT SLABS SHALL BE COMPACTED TO 95 PERCENT OF MAXIMUM DENSITY AT OPTIMUM MOISTURE CONTENT BASED ON LABORATORY DESIGNATION ASTM D1557. ALL BACKFILL AROUND AND ABOVE ALL FOUNDATION ELEMENTS, FOOTINGS, CAPS, MATS AND PITS SHALL BE COMPACTED TO 90 PERCENT OF MAXIMUM DENSITY AT OPTIMUM MOISTURE CONTENT BASED ON LABORATORY DESIGNATION ASTM D1557.
- 4. ALL ORGANIC AND / OR OTHER UNSUITABLE MATERIALS SHALL BE REMOVED FROM SUBGRADE AND BACKFILL AREAS AND BACKFILLED WITH ACCEPTABLE GRANULAR FILL, COMPACTED TO 95 PERCENT OF MAXIMUM DENSITY. FILL SHALL BE PLACED IN LIFTS NOT TO EXCEED 12 INCHES IN LOOSE THICKNESS.
- 5. NO MUD SLABS, FOOTINGS OR SLABS SHALL BE PLACED INTO OR AGAINST SUBGRADE CONTAINING FREE WATER, FROST OR ICE. SHOULD WATER OR FROST ENTER A FOOTING EXCAVATION AFTER SUBGRADE APPROVAL, THE SUBGRADE SHALL BE RE-INSPECTED BY THE OWNER'S SOIL TESTING LABORATORY AFTER REMOVAL OF WATER OR FROST.
- 6. THE CONTRACTOR SHALL PROVIDE ALL NECESSARY MEASURES TO PREVENT ANY FROST OR ICE FROM PENETRATING ANY FOOTING OR SLAB SUBGRADE BEFORE AND AFTER PLACING OF CONCRETE AND UNTIL SUCH SUBGRADES ARE FULLY PROTECTED BY THE PERMANENT BUILDING STRUCTURE.
- 7. THE CONCRETE FOR EACH ISOLATED FOOTING SHALL BE PLACED IN ONE (1) CONTINUOUS PLACEMENT.
- 8. ALL SLAB AND FOOTING MUD SLABS SHALL BE THOROUGHLY CLEANED IMMEDIATELY PRIOR TO THE FOUNDATION CONCRETE PLACEMENT.
- 9. ALL SLABS-ON-GRADE SHALL BE PLACED OVER A VAPOR BARRIER AND A MINIMUM OF 6 INCH COMPACTED GRANULAR FILL MATERIAL INCLUDING SAND TOPPING OVER A COMPACTED SOIL SUBGRADE
- 10. ALL PERIMETER WALL AND COLUMN FOOTINGS SHALL BEAR A MINIMUM OF 3'-6" BELOW FINISHED GRADES SHOWN ON THE CIVIL DRAWINGS.
- 11. SEE PLUMBING DRAWINGS FOR UNDER FLOOR DRAINAGE SYSTEM AND SPECIAL GRANULAR FILL MATERIALS.
- 12. SEE ARCHITECTURAL DRAWINGS FOR ALL WATERPROOFING AND DAMPROOFING DETAILS.
- 13. SEE SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS.

MISCELLANEOUS NOTES:

- STRUCTURAL DRAWINGS ARE INTENDED TO BE USED WITH ARCHITECTURAL AND MECHANICAL 1. DRAWINGS. CONTRACTOR IS RESPONSIBLE FOR COORDINATING THE REQUIREMENTS OF ALL DRAWINGS INTO THEIR SHOP DRAWINGS AND WORK.
- NO OPENINGS, OTHER THAN THOSE SHOWN ON DESIGN DRAWINGS AND APPROVED SHOP 2. DRAWINGS. SHALL BE MADE WITHOUT THE WRITTEN APPROVAL OF THE ARCHITECT.
- NO CHANGE IN SIZE OR DIMENSION OF STRUCTURAL MEMBERS SHALL BE MADE WITHOUT THE 3 WRITTEN APPROVAL OF THE ARCHITECT.
- OPENINGS OF 1'-4" AND LESS ON A SIDE ARE GENERALLY NOT SHOWN ON THE STRUCTURAL 4 DRAWINGS. REFER TO ARCHITECTURAL AND MECHANICAL DRAWINGS FOR LOCATIONS AND DIMENSIONS OF THOSE OPENINGS. PROVIDE REINFORCING AROUND OPENINGS PER TYPICAL DETAILS SHOWN ON STRUCTURAL DRAWINGS.
- 5. THE CONTRACTOR IS RESPONSIBLE FOR LIMITING THE AMOUNT OF CONSTRUCTION LOAD IMPOSED UPON STRUCTURAL FRAMING. CONSTRUCTION LOADS SHALL NOT EXCEED THE CAPACITY OF THE FRAMING AT THE TIME THE LOADS ARE IMPOSED.
- THE STRUCTURE IS DESIGNED TO FUNCTION AS A UNIT UPON COMPLETION. THE 6. CONTRACTOR SHALL FURNISH ALL TEMPORARY BRACING AND / OR SUPPORTS REQUIRED AS THE RESULT OF THE CONTRACTOR'S CONSTRUCTION METHODS AND / OR SEQUENCES.
- 7. DO NOT SCALE THESE DRAWINGS, USE DIMENSIONS.
- CONTRACTOR'S CONSTRUCTION AND / OR ERECTION SEQUENCES SHALL RECOGNIZE AND 8. CONSIDER THE EFFECTS OF THERMAL MOVEMENTS OF STRUCTURAL ELEMENTS DURING THE CONSTRUCTION PERIOD. EXPANSION JOINTS SHOWN ON THE DRAWINGS HAVE BEEN DESIGNED TO ACCOMMODATE ANTICIPATED THERMAL MOVEMENT AFTER THE BUILDING IS COMPLETE.
- THE CONTRACTOR SHALL INFORM THE ARCHITECT IN WRITING OF ANY DEVIATION FROM THE CONTRACT DOCUMENTS. THE CONTRACTOR SHALL NOT BE RELIEVED OF THE RESPONSIBILITY FOR SUCH DEVIATION BY THE ARCHITECTS APPROVAL OF SHOP DRAWINGS, PRODUCT DATA, ETC., UNLESS THE CONTRACTOR HAS SPECIFICALLY INFORMED THE ARCHITECT OF SUCH DEVIATION AT THE TIME OF SUBMISSION, AND THE ARCHITECT HAS GIVEN WRITTEN APPROVAL TO THE SPECIFIC DEVIATION.
- 10. ALL THING WHICH, IN THE OPINION OF THE CONTRACTOR, APPEAR TO BE DEFICIENCIES, OMISSIONS, CONTRADICTIONS AND AMBIGUITIES, IN THE PLANS AND SPECIFICATIONS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT. PLANS AND / OR SPECIFICATIONS WILL BE CORRECTED, OR A WRITTEN INTERPRETATION OF THE ALLEGED DEFICIENCY, OMISSION, CONTRADICTION OR AMBIGUITY WILL BE MADE BY THE ARCHITECT BEFORE THE EFFECTED WORK PROCEEDS.

CONCRETE NOTES:

- 1. ALL CONCRETE WORK SHALL CONFORM TO THE REQUIREME EDITIONS. THESE DOCUMENTS SHALL BE AVAILABLE IN TH
- 2. EXCEPT WHERE OTHERWISE INDICATED, CONCRETE TYPE AND MINIMUM 28-DAY COMPRESSIVE STRENGTHS SHALL BE NORMAL WEIGHT, 4,000 PSI CONCRETE.
- 3. CEMENT SHALL CONFORM TO ASTM C150 TYPE 1. USE ONLY ONE BRAND OF CEMENT FOR ALL EXPOSED TO VIEW CONCRETE. AGGREGATES SHALL CONFORM TO ASTM C33 (REGULAR WEIGHT). ALL CONCRETE SHALL CONTAIN AN APPROVED WATER REDUCING ADMIXTURE. ALL EXPOSED CONCRETE SHALL BE AIR-ENTRAINED. NO CALCIUM CHLORIDE SHALL BE USED IN ANY CONCRETE
- 4. REINFORCING BARS SHALL CONFORM TO ASTM A615, GRADE 60, ALL WELDED WIRE FABRIC SHALL CONFORM TO ASTM A185.
- 5. ALL CONCRETE REINFORCEMENT SHALL BE DETAILED, FABRICATED, LABELED, SUPPORTED AND SPACED IN FORMS AND SECURED IN PLACE IN ACCORDANCE WITH THE PROCEDURES AND REQUIREMENTS OUTLINED IN THE LATEST EDITION OF THE "MANUAL OF STANDARD PRACTICE FOR DETAILING REINFORCED CONCRETE STRUCTURES", ACI 315. BAR SUPPORTS IN CONTACT WITH EXPOSED SURFACES SHALL BE PLASTIC TIPPED.
- 6. CHECKED SHOP DRAWINGS SHOWING REINFORCING DETAILS, INCLUDING STEEL SIZES, SPACING AND PLACEMENT SHALL BE SUBMITTED TO THE ARCHITECT FOR REVIEW PRIOR TO FABRICATION.
- 7. THE CONTRACTOR SHALL SUBMIT DETAILED DRAWINGS SHOWING THE LOCATIONS OF ALL CONSTRUCTION JOINTS, REVEALS, CURBS, SLAB DEPRESSIONS, SLEEVES, OPENINGS, ETC.
- 8. ALL REINFORCING SPLICES SHALL CONFORM TO THE REQUIREMENTS OF ACI 318, LATEST EDITION, BUT IN NO CASE SHALL BE LESS THAN 36 BAR DIAMETERS, UNLESS NOTED OTHERWISE. ALL WELDED WIRE FABRIC SHALL BE LAPPED TWO (2) FULL MESH PANELS AND TIES SECURELY. WHERE REQUIRED, DOWELS SHALL MATCH SIZE AND NUMBER OF MAIN REINFORCING, UNLESS NOTED OTHERWISE.
- 9. ALL SLABS-ON-GRADE SHALL BE REINFORCED WITH AT LEAST ONE (1) LAYER OF 6x6 W2.9xW2.9 W.W.F., UNLESS NOTED OTHERWISE, PROVIDE ONE (1) LAYER OF 6x6 W1.4xW1.4 W.W.F. CONTINUOUS IN ALL CONCRETE FILLS OVER THE STRUCTURAL SLAB.
- 10. ADDITIONAL BARS SHALL BE PROVIDED AROUND ALL FLOOR AND WALL OPENINGS, AS SHOWN ON DETAILS.
- 11. ALLOW A MINIMUM OF THREE (3) HOURS BETWEEN PLACEMENT OF CONCRETE FOR COLUMNS, WALLS OR PIERS AND PLACEMENT OF CONCRETE ON THE ADJACENT FLOOR.
- 12. SEE FLOOR PLANS, SCHEDULES AND SPECIFICATIONS FOR CAMBER REQUIREMENTS.
- 13. UNLESS NOTED OTHERWISE, ALL MECHANICAL, PLUMBING AND ELECTRICAL EQUIPMENT PADS SHALL BE REINFORCED WITH AT LEAST ON (1) LAYER OF 6x6 W4xW4 W.W.F. SEE HVAC, PLUMBING AND ELECTRICAL DRAWINGS FOR ADDITIONAL REINFORCING REQUIREMENTS OF PADS.
- 14. PLACE ALL SLABS-ON-GRADE WITH AN APPROVED PATTERN AND SEQUENCE OF CONSTRUCTION AND CONTROL JOINTS TO MINIMIZE SHRINKAGE CRACKS. THE MAXIMUM SPACING BETWEEN JOINTS SHALL BE 15 FEET. A SUGGESTED ARRANGEMENT AND DETAILS ARE SHOWN ON THE DRAWINGS.
- 15. CONCRETE TESTING WILL BE PERFORMED BY THE OWNER'S TESTING LABORATORY IN ACCORDANCE WITH ACI 301 LATEST EDITION CHAPTER 16, EXCEPT AS FOLLOWS: FOR COMPRESSIVE STRENGTH TEST, TAKE ONE SET OF FOUR (4) SPECIMENS FOR EACH 50 CUBIC YARDS OR FRACTION THEREOF OF EACH CONCRETE CLASS PLACED IN ANY ONE DAY. TEST ONE (1) SPECIMEN AT 7 DAYS, TWO (2) SPECIMENS AT 28 DAYS, AND KEEP ONE IN RESERVE.

GENERAL STEEL NOTES

- 1. ALL STRUCTURAL STEEL WORK SHALL CONFORM TO THE AISC "SPECIFICATION FOR THE DESIGN, FABRICATION AND ERECTION OF STRUCTURAL STEEL FOR BUILDINGS", LATEST EDITION, AND THE AISC "CODE OF STANDARD PRACTICE FOR STEEL BUILDINGS AND BRIDGES". LATEST EDITION, EXCEPT AS MODIFIED BELOW OR IN THE SPECIFICATIONS.
- ALL STRUCTURAL STEEL W SHAPES SHALL CONFORM TO ASTM A572 OR A992 GRADE 50. ALL OTHER STRUCTURAL STEEL SHAPES, PLATES AND BARS SHALL CONFORM TO ASTM A36 GR 36. UNLESS NOTED OTHERWISE. COLD FORMED TUBING, INLCUDING PIPES, SHALL CONFORM TO ASTM A500 GRADE C. ANCHOR BOLTS SHALL CONFORM TO ASTM F1554 GRADE 36 AND BE COMPATIBLE WITH E70XX ELECTRODES.
- ALL WELDING SHALL BE DONE BY QUALIFIED WELDERS AND SHALL CONFORM TO AWS D1.1
- 4. THE CONTRACTOR SHALL FIELD VERIFY ALL MEASUREMENTS AND EXISTING CONDITIONS.
- 5. IF CONDITIONS VARY FROM THOSE ON THE DRAWINGS, THE ENGINEER SHALL BE NOTIFIED IMMEDIATELY.
- THE CONTRACTOR SHALL OBSERVE ALL SAFETY RULES DICTATED BY CODE AND GOOD PRACTICE.
- 7. SHOULD UNFORESEEN CONDITIONS OR OTHER CAUSE NECESSITATE THE CONSTRUCTION DETAILS TO BE MODIFIED, THE CONTRACTOR SHALL NOTIFY THE ENGINEER BEFORE PERFORMING THESE CHANGES.
- 8. CONTRACTOR SHALL SUBMIT SHOP DWGS FOR REVIEW PRIOR TO FABRICATION.

LINTEL NOTES:

- 1. LINTELS SHALL BE PROVIDED FOR ALL OPENINGS AS INDICATED ON THE DRAWINGS. IN ADDITION, LINTELS ARE REQUIRED FOR MECHANICAL, ELECTRICAL OR PLUMBING OPENING IN A MASONRY WALL WITH A WIDTH GREATER THAN 12".
- 2. LINTELS SHALL HAVE A MINIMUM BEARING OF 8 INCHES FOR SPANS UP TO 8'-0" AND 16" FOR SPANS GREATER THAN 8'-0" UNLESS NOTED. LINTELS IN NON-LOAD BEARING WALLS SHALL BE OF THE SIZES LISTED BELOW.
- 3. STEEL LINTELS SHALL BE USED FOR ALL BRICK OPENINGS. CMU OPENINGS IN NON-LOAD BEARING WALLS MAY BE SPANNED WITH EITHER A STEEL LINTEL OR MASONRY LINTEL BLOCK AT THE CONTRACTORS OPTION. MASONRY LINTEL INFORMATION LEFT BLANK INDICATES THAT A STEEL LINTEL IS REQUIRED. FOR OPENINGS 2'-0" OR LESS, PROVIDE 3/" PLATE x WALL THICKNESS LESS 1", BEAR 8" EACH END.

4" WALL SPAN	STEEL LINTEL
2'-0" - 4'-0"	∠ 3½×3½×5½6
4'-0" - 6'-0"	∠ 5x3½x⅔ (LLV)
6'-0" - 8'-0"	∠ 6x3½x⅔ (LLV)

WOOD FRAMING NOTES:

IEN	TS	OF	ACI	318	AND	ACI	301,	LATEST
ΗE	FIE	LD	OFFI	CE.				

"STRUCTURAL WELDING CODE", LATEST EDITION. ALL WELDING ELECTRODES SHALL BE E70XX.

FLOOR	<u>SPECIFICATIONS:</u> /ROOF JOISTS GWALLS STUDS: HEM FIR #2	Fb = 850 PSI E = 1,300,000 PSI
STUDS:	HEM FIR STUD	Fb = 675 PSI E = 1,200,000 PSI
LVL (M	IICRO LAM):	Fb = 2,600 PSI E = 1,900,000 PSI
PARALL	AM (WOLMANIZED):	Fb = 2,090 PSI E = 1,740,000 PSI
PARALL	AM (PSL COLS.):	Fb = 2,400 PSI Fc = 2,500 PSI E = 1,800,000 PSI
ARCHIT	ECTURAL GLULAM:	24F-V3 Fb = 2,400 PSI E = 1,800,000 PSI

2. PROVIDE $\frac{1}{2}$ " DIAMETER SILL ANCHOR BOLTS AT 4'-0" O.C. AND LOCATED NO FURTHER THAN 12" FROM BUILDING CORNERS. THERE SHALL BE A MINIMUM OF 2 BOLTS PER PLATE.

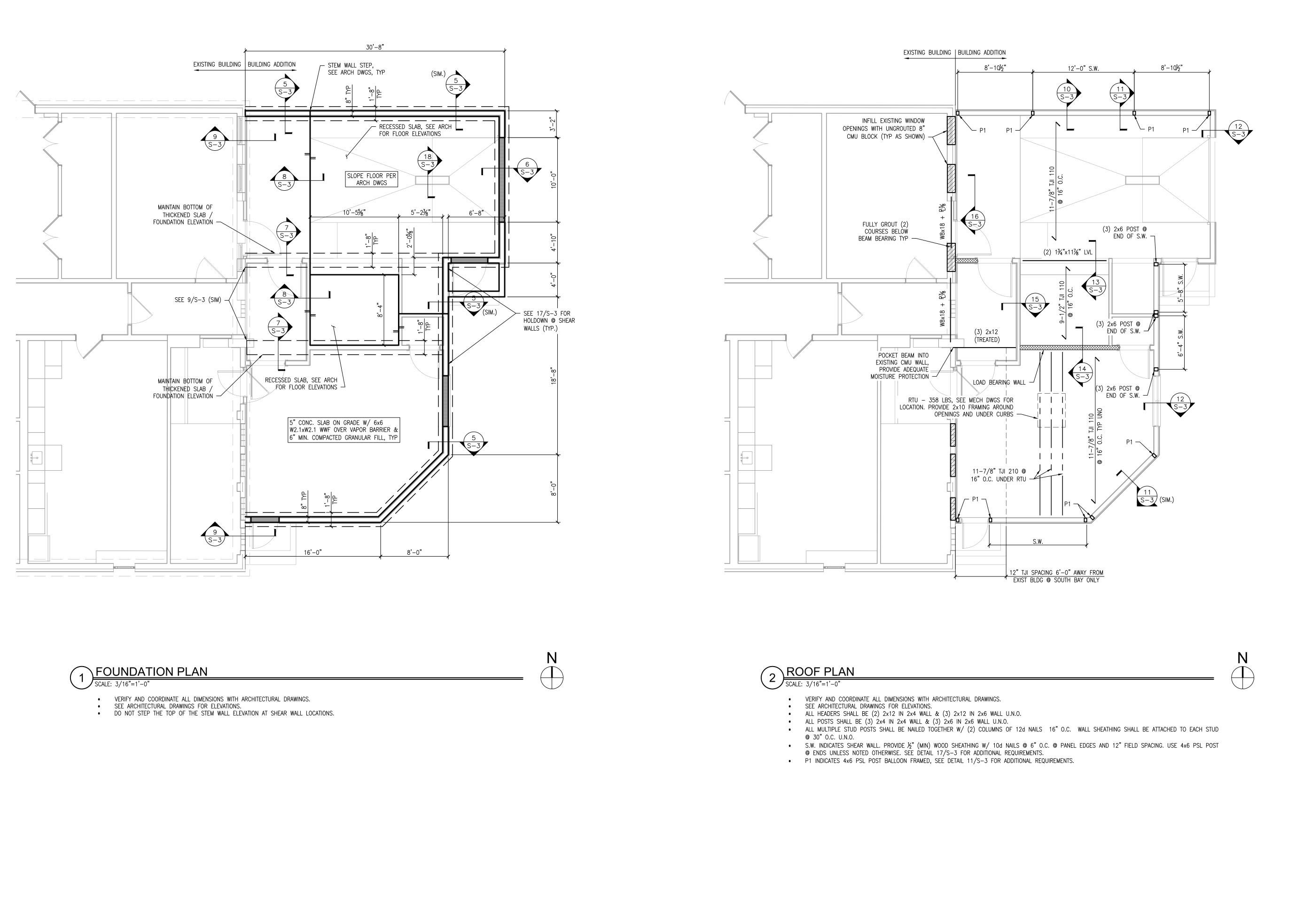
- 3. CUTTING, NOTCHING AND BORING OF STUDS SHALL COMPLY WITH THE REQUIREMENTS OF THE INTERNATIONAL BUILDING CODE (IBC). EXTERIOR OR LOAD BEARING WALLS WITH STUDS DRILLED WITHIN §" OF THE FACE OF THE STUD SHALL BE REINFORCED WITH A STRUCTURAL SHOE. CUTTING AND NOTCHING OF FLOOR AND CEILING JOISTS SHALL MEET WITH THE REQUIREMENTS OF
- 4. ALL HEADERS SHALL BE (2) 2x12's AT 2x4 WALL OR (3) 2x12's AT 2x6 WALL (HEM FIR #2) U.N.O. SEE LINTEL SCHEDULE FOR MASONRY. MINIMUM (3) - 2x STUD POSTS AT EACH END OF ALL WOOD BEAMS & HEADERS. SOLID BLOCKING SHALL BE PROVIDED AT ALL CONCENTRATED LOADS (I.E. POSTS) AS TO PROVIDE A CONTINUOUS LOAD TRANSFER TO FOUNDATIONS, BEAMS OR OTHER POSTS IN FLOORS BELOW.
- 5. ALL PLYWOOD SHEATHING IS TO BE APA APPROVED. FLOOR SHEATHING SHALL BE 3/4" MIN, ROOF SHEATHING SHALL BE $\frac{5}{8}$ " MIN. AND WALL SHEATHING SHALL BE $\frac{1}{2}$ " MIN.
- 6. EITHER LAP JOISTS OVER BEAMS PER IBC REQUIREMENTS, OR PROVIDE JOIST HANGERS.
- 7. ALL TIMBER CONNECTIONS (STUDS, JOISTS, RAFTERS AND PLYWOOD) SHALL MEET THE NAILING REQUIREMENTS OF IBC. 8. ALL DECK CONNECTORS AND THOSE CONNECTING TO PRESSURE TREATED LUMBER SHALL BE
- GALVANIZED PER ASTM A653 (I.E. SIMPSON ZMAX FINISH). ALL NAILS USED IN PRESSURE TREATED LUMBER AND DECK CONNECTORS SHALL BE GALVANIZED PER ASTM A153.
- 9. PROVIDE BRIDGING AND BLOCKING PER THE REQUIREMENTS OF NATIONAL FOREST PRODUCTS ASSOCIATION (NFPS) DESIGN SPECIFICATIONS.
- 10. WHERE TIMBER FRAMING IS SUPPORTED BY STEEL, A TIMBER PLATE SHALL BE FASTENED TO THE TOP FLANGE OF THE STEEL BEAM. HILTI POWDER ACTUATED FASTENERS (OR EQUIVALENT) SHALL BE USED @ 24" O.C. (MAX.)
- 11. ALL MULTIPLE STUD POSTS SHALL BE NAILED TOGETHER WITH (2) COLUMNS OF 12d NAILS @ 16" O.C.. WALL SHEATHING SHALL BE ATTACHED TO EACH STUD AT 30" O.C.
- 12. ALL STUD WALLS TO HAVE SINGLE 2x BOTTOM PLATE & DOUBLE 2x TOP PLATE U.N.O. THE CONTRACTOR SHALL VERIFY THE MOISTURE CONTENT IN THESE PLATES SHALL BE 15% OR LESS AT TIME OF INSTALLATION.
- 13. ALL WOOD IN CONTACT WITH CONCRETE OR MASONRY TO BE PRESSURE TREATED LUMBER.
- 14. PROVIDE FULL SOLID BLOCKING AT ALL POSTS AS TO PROVIDE CONTINUOUS SUPPORT TO FOUNDATION, BEAMS OR SUBSEQUENT POSTS IN FLOORS BELOW.
- 15. CUTS, NOTCHES AND HOLES BORED IN TRUSSES, LAMINATED VENEER LUMBER, GLUE-LAMINATED MEMBERS OR I-JOISTS ARE NOT PERMITTED UNLESS THE EFFECTS OF SUCH ARE SPECIFICALLY ADDRESSED.
- 16. EXTERIOR OR LOAD BEARING WALLS WITH PLATES CUT, DRILLED OR NOTCHED MORE THANT 50% OF THE WIDTH OF THE STUD SHALL HAVE A GALVANIZED METAL TIE, 16 GA. AND 1¹/₂" WIDE FASTENED TO EACH PLATE.
- 17. UNLESS NOTED OTHERWISE, KING STUDS AT EXTERIOR WALLS SHALL FOLLOW THE TABLE BELOW:

MAX HEADER SPAN	<u>KING STUDS EACH SIDE</u>
<i>u</i> ' o"	
4'-0"	1
6'-0"	2
8'-0"	2
10'-0"	3
12'-0"	3
14'-0"	3
16'-0"	4
18'-0"	4

MASONRY NOTES: 1. ALL MATERIAL AND WORKMANSHIP SHALL BE IN ACCORDANCE WITH "BUILDING CODE REQUIREMENTS FOR MASONRY STRUCTURES" ACI 530/ ASCE 5/ TMS 402 AND "SPECIFICATIONS FOR MASONRY STRUCTURES" ACI 530.1/ASCE 6/TMS 602, LATEST EDITION. 2. A. MASONRY UNITS: HOLLOW LOAD BEARING CONCRETE MASONRY UNITS SHALL CONFORM TO ASTM C90, GRADE N, TYPE 1, WITH A MINIMUM ULTIMATE STRENGTH OF 2150 PSI ON THE NET SECTION. B. MORTAR: MORTAR SHALL BE PORTLAND CEMENT / LIME TYPE N AND CONFORM TO ASTM C270. C. GROUT: GROUT FOR REINFORCED LOAD BEARING MASONRY SHALL CONFORM TO ASTM C476 AND SHALL HAVE A MINIMUM 28 DAY COMPRESSIVE STRENGTH OF 2500 PSI. D. REINFORCING BARS: REINFORCING BARS FOR REINFORCED MASONRY SHALL CONFORM TO ASTM A615, GRADE 60. 3. VERTICAL CELLS TO BE FILLED WITH GROUT SHALL BE ALIGNED TO PROVIDE A CONTINUOUS UNOBSTRUCTED OPENING OF THE DIMENSIONS SHOWN ON THE PLANS. CELLS WHICH WILL CONTAIN VERTICAL REINFORCEMENT SHALL HAVE A MINIMUM OF TWO (2) INCH CLEAR OPENING. 4. GROUT FOR FILLING REINFORCED OR NON-REINFORCED CELLS SHALL BE FLUID AND PLACED BY ACCEPTABLE PRESSURE GROUTING PROCEDURES. 5. GROUT FOR FILLING REINFORCED OR NON-REINFORCED CELLS SHALL BE PLACED IN A MAXIMUM FOUR (4) FOOT LIFTS AND CONSOLIDATED IN PLACE BY VIBRATION OR OTHER METHODS WHICH INSURE COMPLETE FILLING OF THE CELLS. ALL CELLS CONTAINING REINFORCING BARS AND / OR STUDS SHALL BE FULLY GROUTED. 6. HOLLOW UNITS SHALL BE LAID WITH FULL MORTAR COVERAGE ON HORIZONTAL AND VERTICAL FACE SHELLS EXCEPT THAT WEBS SHALL ALSO BE BEDDED WHERE THEY ARE ADJACENT TO CELLS TO BE REINFORCED AND / OR FILLED WITH GROUT, IN THE STARTING COURSE ON FOOTINGS AND SOLID FOUNDATION WALLS AND IN NON-REINFORCED OR GROUTED PIERS, PILASTERS AND COLUMNS. 7. SOLID MASONRY UNITS SHALL BE LAID WITH FULL HEAD AND BED JOINTS. 8. POINTS OF BEARING SHALL BE ON TWO (2) COURSES OF SOLID MASONRY OR TWO (2) COURSES OF HOLLOW MASONRY GROUTED SOLID 32" LONG UNLESS NOTED OTHERWISE. 9. ALL CUTTING AND FITTING OF MASONRY, INCLUDING THAT REQUIRED TO ACCOMMODATE THE WORK OF THE OTHER TRADES, SHALL BE DONE WITH MASONRY SAWS. 10. CHASES SHALL BE BUILT INTO NEW WALLS, NOT CUT IN. CHASES SHALL BE PLUMB AND SHALL BE A MINIMUM OF ONE (1) MASONRY UNIT LENGTH FROM JAMBS OF WALL OPENINGS. NO CHASES OTHER THAN THOSE SHOWN ON THE DRAWINGS SHALL BE CONSTRUCTED WITHOUT PRIOR REVIEW OF THE ARCHITECT / ENGINEER. 11. PROVIDE ADEQUATE, TEMPORARY BRACING AS REQUIRED DURING CONSTRUCTION TO WITHSTAND LATERAL LOADS AND THE PRESSURES OF FLUID GROUT. 12. CONCRETE MASONRY SHALL BE PROTECTED FROM ABSORBING MOISTURE AND WATER WHILE AT THE PLANT, DURING SHIPMENT AND AT THE SITE DURING CONSTRUCTION. 13. ANCHORS, WALL PLUGS, ACCESSORIES AND OTHER ITEMS TO BE BUILT IN SHALL BE INSTALLED AS MASONRY WORK PROCEEDS. 14. ALL MASONRY SHALL BE LAID IN RUNNING BOND UNLESS NOTED OTHERWISE.

REVISIONS:		BY: -
		SKOKIE, ILLINOIS 60077
LICENSTITU	$ \begin{array}{c} \text{ of } 1 \\ \text{ if } 0 \\ \text{ if } 1 \\ \text{ if } 0 $	
ENG	R TRANK INEERIN	
Te E-ma WEB S ©2023 HUT	Tmy Trail Road, Suite # Wayne, IL 60184 I: (630) 513–6711 iil: gen@htedesign.com ITE: www.htedesign.com	
SHEET TITLE:	RIGHTS RESERVED	
	OTES	
PROJECT NUMBER: DATE:	23087 07-21-23	
SCALE:	07-21-23 AS NOTED	
DRAWN BY:	JDR	
CHECKED BY:	JLT	
SHEET NO:	5-1	

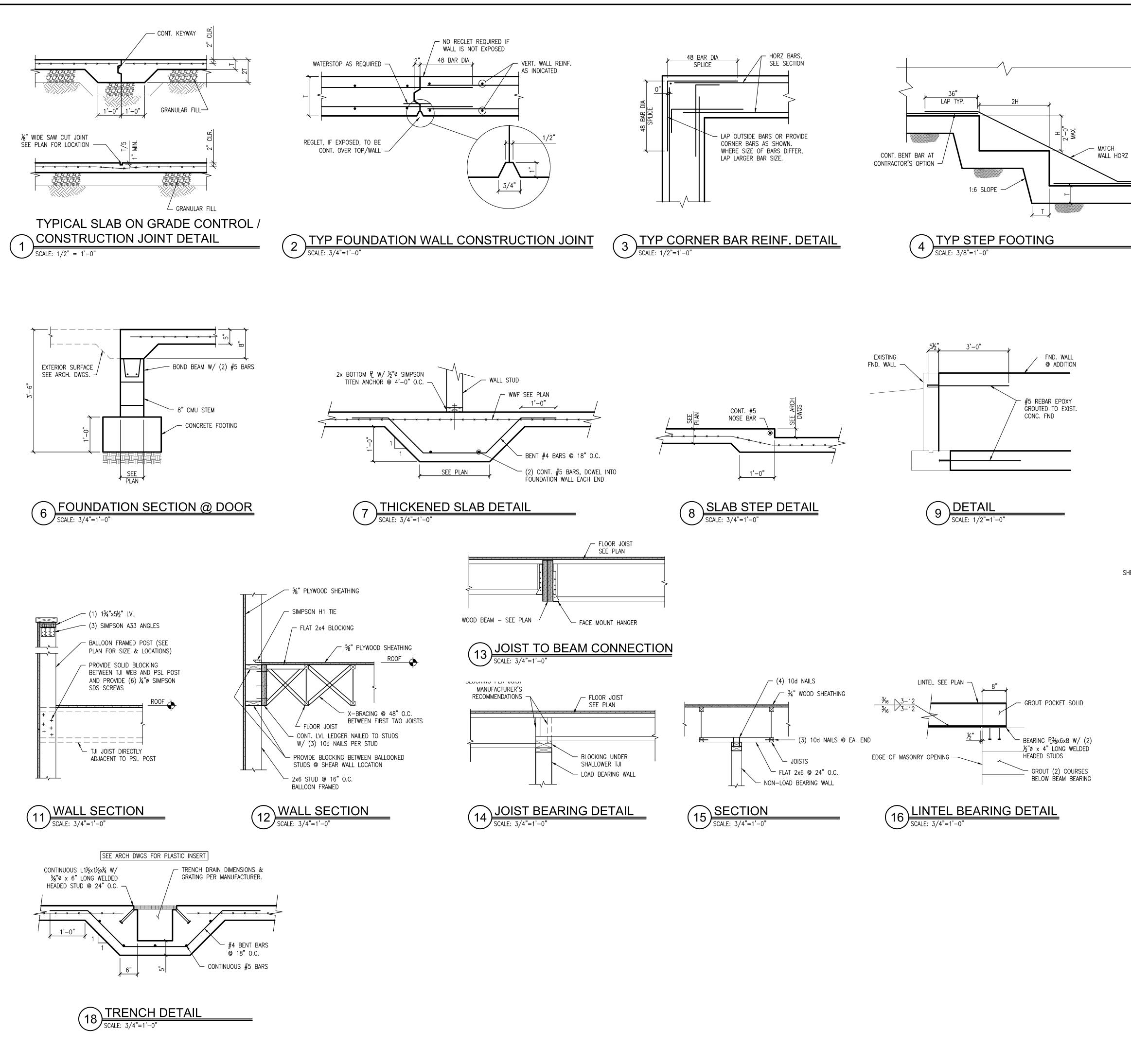
SHEET NO. <u>1</u> OF <u>3</u>



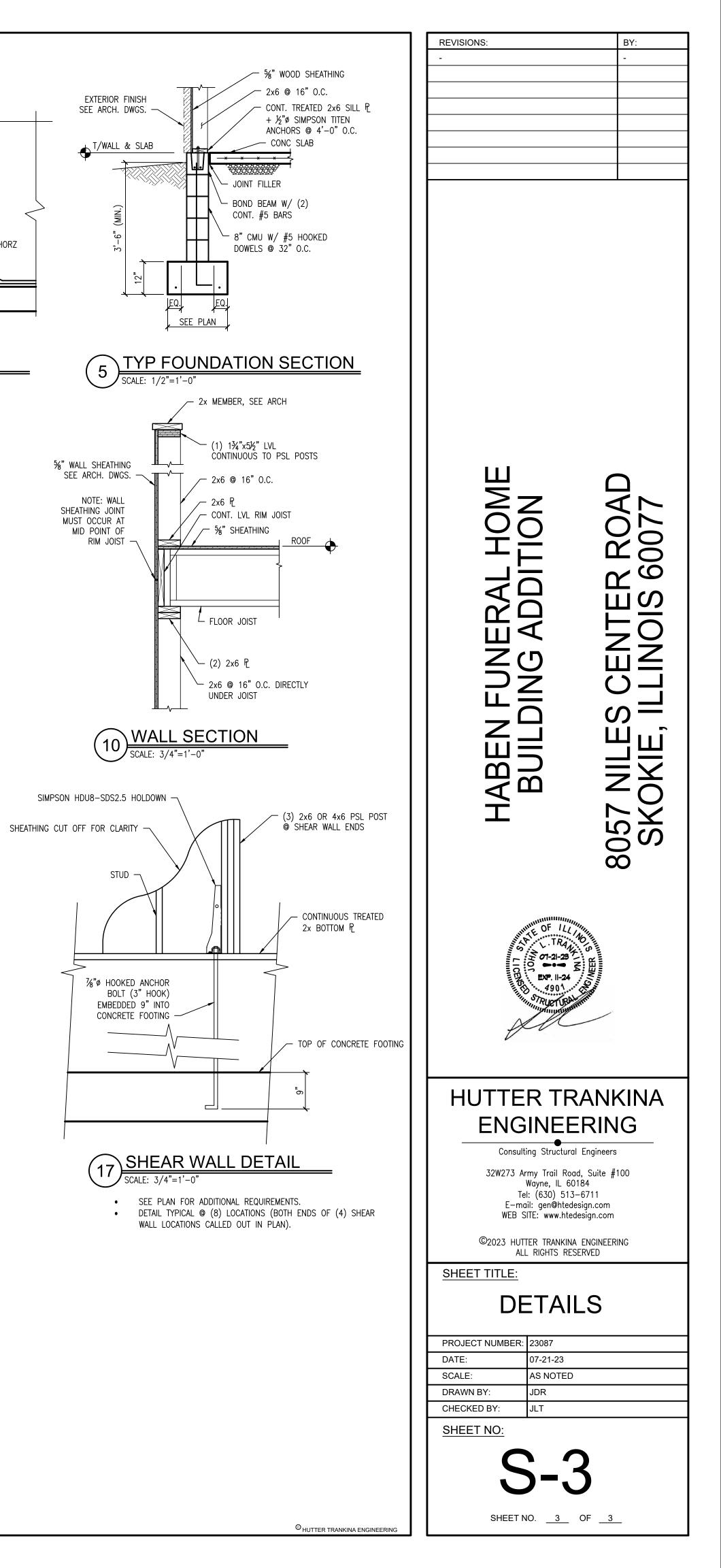


REVISIONS:	BY:
-	-
	Q
ZZ	AC
<u> </u>	000
수도	ЦОС
ABEN FUNERAL HOME BUILDING ADDITION	57 NILES CENTER ROAD SKOKIE, ILLINOIS 60077
20	
ШЧ	Z Z
<u>Z</u> O	μ
⊒ L	
	S =
	ЩщΪ
BD	
ĕm	ZŌ
エ	
	SS
	∞
uning OF 12/	
C = 0 = 1/2/ C = 0 = 1/2/ C = 0 = 1/2/ C = 0 = 0 = 0 EXP. II-24 EXP. II-24 EXP. II-24 EXP. II-24	
= 1 C	
TIN STRUCTURA	MMM
All	
HUTTER TR	
ENGINEE	
●	
Consulting Structural 32W273 Army Trail Roa	-
Wayne, IL 60 Tel: (630) 513	184 -6711
E-mail: gen@htede WEB SITE: www.hted	
©2023 HUTTER TRANKINA ALL RIGHTS RES	ENGINEERING
SHEET TITLE:	
PLAN	c
FLAN	S
PROJECT NUMBER: 23087	
DATE: 07-21-23 SCALE: AS NOTED	
DRAWN BY: JDR	
CHECKED BY: JLT SHEET NO:	
S-2	

© HUTTER TRANKINA ENGINEERING



FER TRANKINA ENGINEERING











Apr 27, 2023 at 2:53:19 PM 8057 Niles Center Rd Skokie IL 60077 United States



 LAGE OF SHOP	- SID
OUNTY IL	

Village of Skokie APPEARANCE COMMISSION APPLICATION

Community Development Department - Building & Zoning Division 5127 Oakton St. Skokie, IL 60077 Phone 847/933-8223 Fax 847/933-8230

The Appearance Commission meets the 2nd Wednesday of each month at 7:30 p.m.

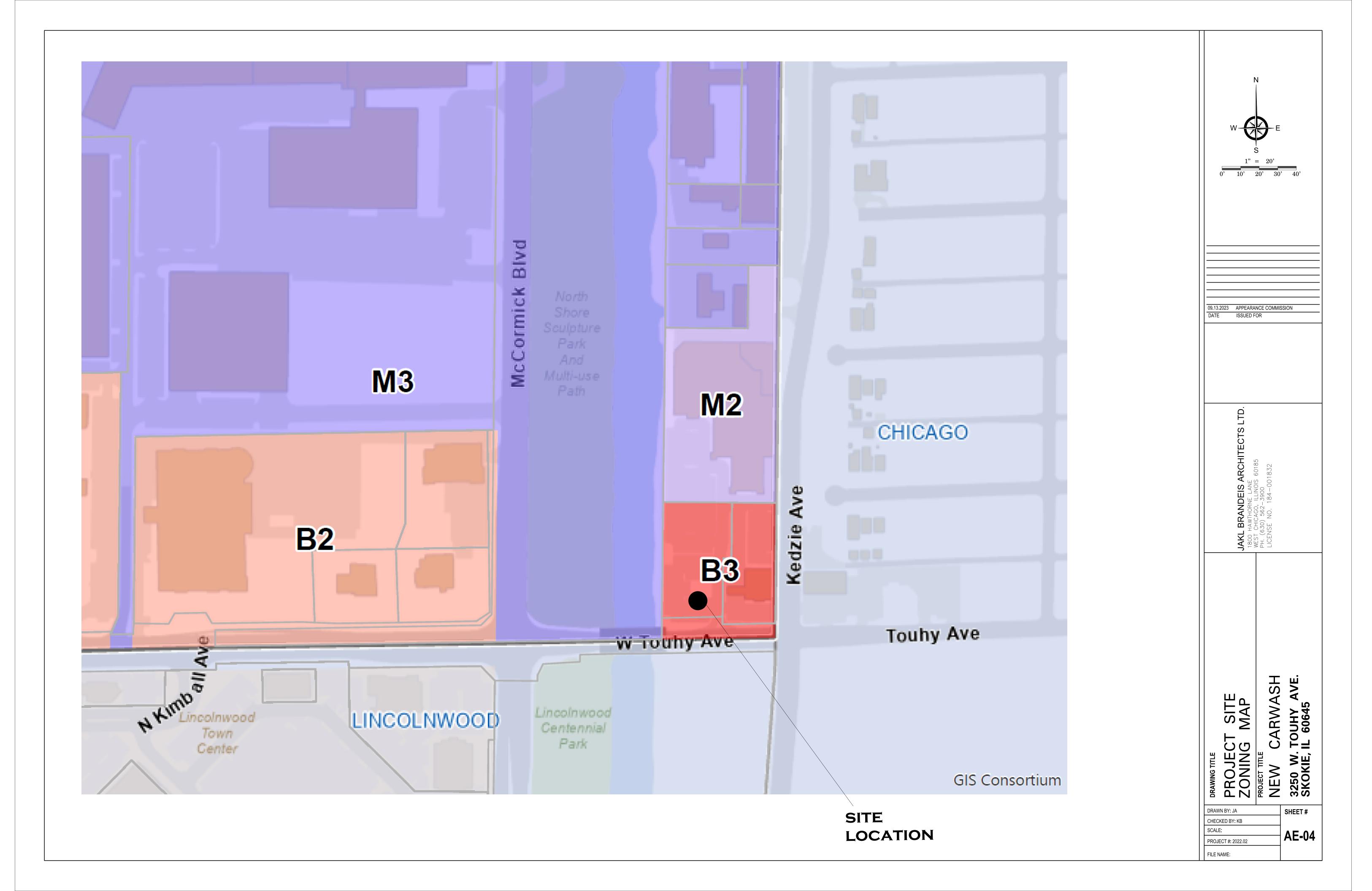
Until further notice, applications will only be accepted in a PDF format.

APPLICATION DATE: 8/2/2023	
APPLICATION TYPE (Please check all that apply): X New Construction 1 st Floor Addition 2 nd F	loor Addition 🔄 Façade 🔄 Signage 🗌 Other
LAND USE:	Mixed Use Commercial Industrial Other
SUBJECT ADDRESS: 3250 W Touhy Ave.	
OWNER INFORMATION: NAME(S):	Please print legibly.
ADDRESS: 1150 W Wisconsin Ave.	_ CITY, STATE ZIP: Chicago, IL 60614
PHONE# : 773-895-8989	EMAIL: 8958989@gmail.com
AGENT/PETITIONER INFORMATION (if other than owne NAME(S): Jameel Ahmed	r): DAYTIME PHONE #: <u>773-516-1235</u>
ADDRESS: 1222 Robin Dr	CITY, STATE ZIP: <u>Carol Stream</u> , IL 60188
EMAIL: contactjameel@gmail.com	SIGNATURE:
Please submit the following PDFs to appearance@skokie.o	rg to complete your digital-only application:
	1'-0" is preferred, but not required. If the file size is greater pearance Commission PDF" and the project's property evations or one color rendering is required.
2. Completed Zoning Information Worksheet (resident	ial projects only)
3. Photographs (all sides of the subject building and the	ne fronts of neighboring buildings)
 Excerpts of brochures and/or cut sheets of new materials and colors can be confirmed with 	terials and colors proposed for the project. Matching the submitted photographs.
5. Plat of Survey	
*** The Building, Zoning, will not take in or hold material of *** Visit <u>https://www.skokie.org/357/Appearance-Commis</u>	
Fee Schedule	
Residential Site (new) \$100 plus \$50.00	per unit
	per 1,000 square feet (based on square footage of building)
* Any non-residentially zoned site (Business, Industrial, Mixed-Use district Any Other Appearance Review (Additions, Façade, Sign Packag	•
If you have already paid for a preliminary plan review there is no	
For Office Use Only:	
Case Number Meeting Date	
Acct # NR Amt \$Cash / Credit	Gard/ Uneck #

Any required fees or monies owed by the applicant to the Village must be paid as a condition of approval.

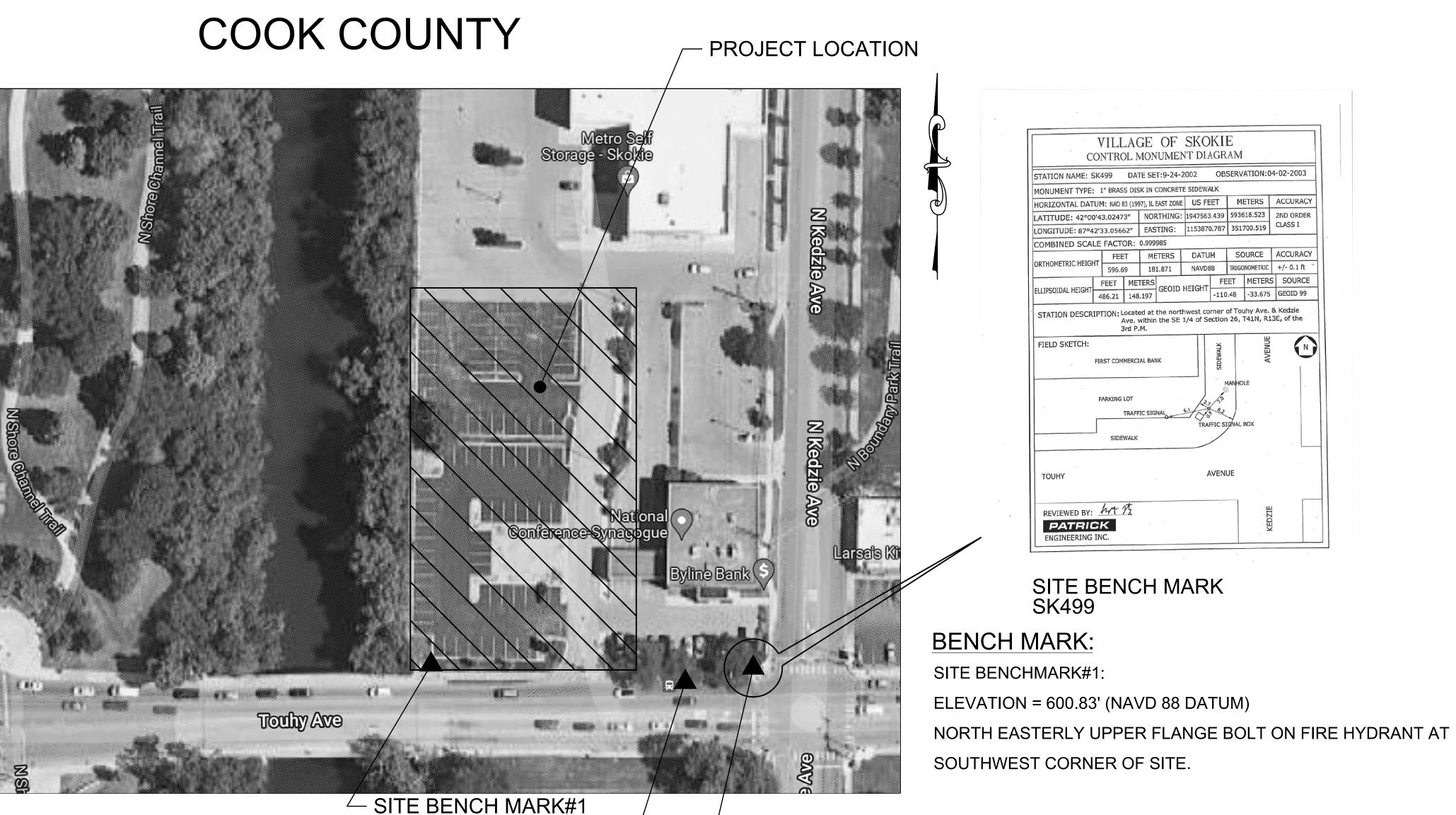
2023 Appearance Commission Schedule

	Meeting Date	Submittal Deadline
	January 11, 2023	December 28, 2022
	February 8, 2023	January 25, 2023
	March 8, 2023	February 22, 2023
	April 26, 2023	April 12, 2023
	May 10, 2023	April 26, 2023
	June 14, 2023	May 31, 2023
	July 12, 2023	June 28, 2023
_	August 9, 2023	July 26, 2023
	September 13, 2023	August 30, 2023
	October 11, 2023	September 27, 2023
	November 8, 2023	October 25, 2023
	December 20, 2023	December 6, 2023



	SHEETS		
S.NO.	SHEET NO.		
1.	G-00.	COVER SHEET	
2.	C-01.	GENERAL NOTES	
3. ₄	C-02.		^
4.	C-03.	TOPOGRAPHIC SURVEY	32
5.	C-04	REMOVAL PLAN	
6.	C-05.	EROSION CONTROL	
7.	C-06.	EROSION CONTROL DETAILS	
8.	C-07.	SITE PLAN	
9.	C-08.		
10.	C-09.	EXISTING UTILITY PLAN	
11.	C-10.	PROPOSED UTILITY PLAN	
12.	C-11.	PROPOSED STORM SEWER PLAN	
13.	C-12.	STANDARD DETAILS 1	
14.	C-13.	STANDARD DETAILS 2	
15.	C-14.	STANDARD DETAILS 3	
16.	C-15.	STANDARD DETAILS 4	2
17.	C-16.	STANDARD DETAILS 5	Me
18.	C-17	DRAINAGE AREA EXHIBIT	<u>e</u>
19.	LS-1.	LANDSCAPING PLAN	
20.	LS-2.	LANDSCAPING DETAILS	
21.	A-1.	FLOOR PLAN	N McCormick Elvd
22.	A-2.	ELEVATIONS	
23.	A-3.	SECTIONS	
24.	S-1.	GENERAL NOTES 1 OF 2	
25.	S-2.	GENERAL NOTES 2 OF 2	8
26.	S-3.	FOUNDATION & FIRST FLOOR PLAN	N McConnick Blvd
27.	S-4.	ROOF FRAMING & TOWER PLAN	
28.	S-5.	CANOPY PLAN	
29.	S-6.	STRUCTURAL DETAILS 1 OF 3	le l
30.	S-7.	STRUCTURAL DETAILS 2 OF 3	, <u> </u>
31.	S-8.	STRUCTURAL DETAILS 3 OF 3	i B
32.	S-9	SOIL BORING	
	S-9 S-10	SOIL BORING	
	S-10 M-1	MECHANICAL PLAN	4
34. 25			
35.	M-2	MECHANICAL DETAILS	
	E-1.	ELECTRICAL PLAN AND DETAILS	ouhy Ave
	E-2.	ELECTRICAL SITE PLAN	
	E-3.	ELECTRICAL SITE DETAILS	B
		PLUMBING SUPPLY AND WASTE DIAGRAM	協
	DING COE	JES: BUILDING CODE/2021	
2. INTE	RNATIONAL	FIRE CODE/2012	
3. INTE	RNATIONAL	MECHANICAL CODE/2021	
4. NATI	ONAL ELECT	RICAL CODE—NFPA 70/2020	
5 II I IN		NG CODE/ILLINOIS ADMINISTRATIVE CODE TIT	F 77 PART 890
		CONSERVATION CODE/ILLINOIS ADMINISTRA	
•	OIS ACCESS	IBILITY CODE/ILLINOIS ADMINISTRATIVE CODE	
0		50'	100'
USING REDU(TO ST/	STANDARD CED SIZED F ANDARD SC	2") PLANS HAVE BEEN PREPARED ENGINEERING SCALES. PLANS WILL NOT CONFORM ALES. IN MAKING MEASUREMENTS NS, THE ABOVE SCALES MAY BE USED.	

NEW CAR WASH 250 W. TOUHY AVE., SKOKIE, IL 60645 PIN# 10-26-401-090-0000 COOK COUNTY





SITE BENCH SK499 SITE BENCH MARK#2

DUTY TO INDEMNIFY:

PART 600

 THE CONTRACTOR SHALL DEFEND, INDEMNIFY, KEEP AND SAVE HARMLESS THE VILLAGE OF SKOKIE, OWNER, ARCHITECT AND ENGINEER, AND THEIR RESPECTIVE BOARD MEMBERS, REPRESENTATIVES, AGENTS AND EMPLOYEES, IN BOTH INDIVIDUAL AND OFFICIAL CAPACITIES, AGAINST ALL SUITS, CLAIMS, DAMAGES, LOSSES AND EXPENSES, INCLUDING ATTORNEY'S FEES, CAUSED BY, GROWING OUT OF, OR INCIDENTAL TO THE PERFORMANCE OF THE WORK UNDER THE CONTRACT BY THE CONTRACTOR OR ITS SUBCONTRACTORS TO THE FULL EXTENT AS ALLOWED BY THE LAWS OF THE STATE OF ILLINOIS AND NOT BEYOND ANY EXTENT WHICH WOULD RENDER THESE PROVISIONS VOID OR UNENFORCEABLE. THIS OBLIGATION INCLUDES BUT IS NOT LIMITED TO: THE ILLINOIS LAWS REGARDING STRUCTURAL WORK [IL. REV. STAT. CH. 48, PAR. 60 AT SEQ.] AND REGARDING THE PROTECTION OF ADJACENT LANDOWNERS [II. REV. STAT. CH. 17–1/2 PAR. 51 ET. SEQ.]. IN THE EVENT OF ANY SUCH INJURY [INCLUDING DEATH] OR LOSS OF DAMAGE, OF CLAIMS THEREFORE, OR CLAIMS THEREFORE, THE CONTRACTOR SHALL GIVE PROMPT NOTICE TO THE OWNER. SITE BENCHMARK#2:

SITE BENCH MARK _{ELEVATION} = 599.60' (NAVD 88 DATUM)

NORTH EASTERLY UPPER FLANGE BOLT ON FIRE HYDRANT LOCATED ON NORTH SIDE OF TOUHY AVENUE 77' +/- EAST OF SITE

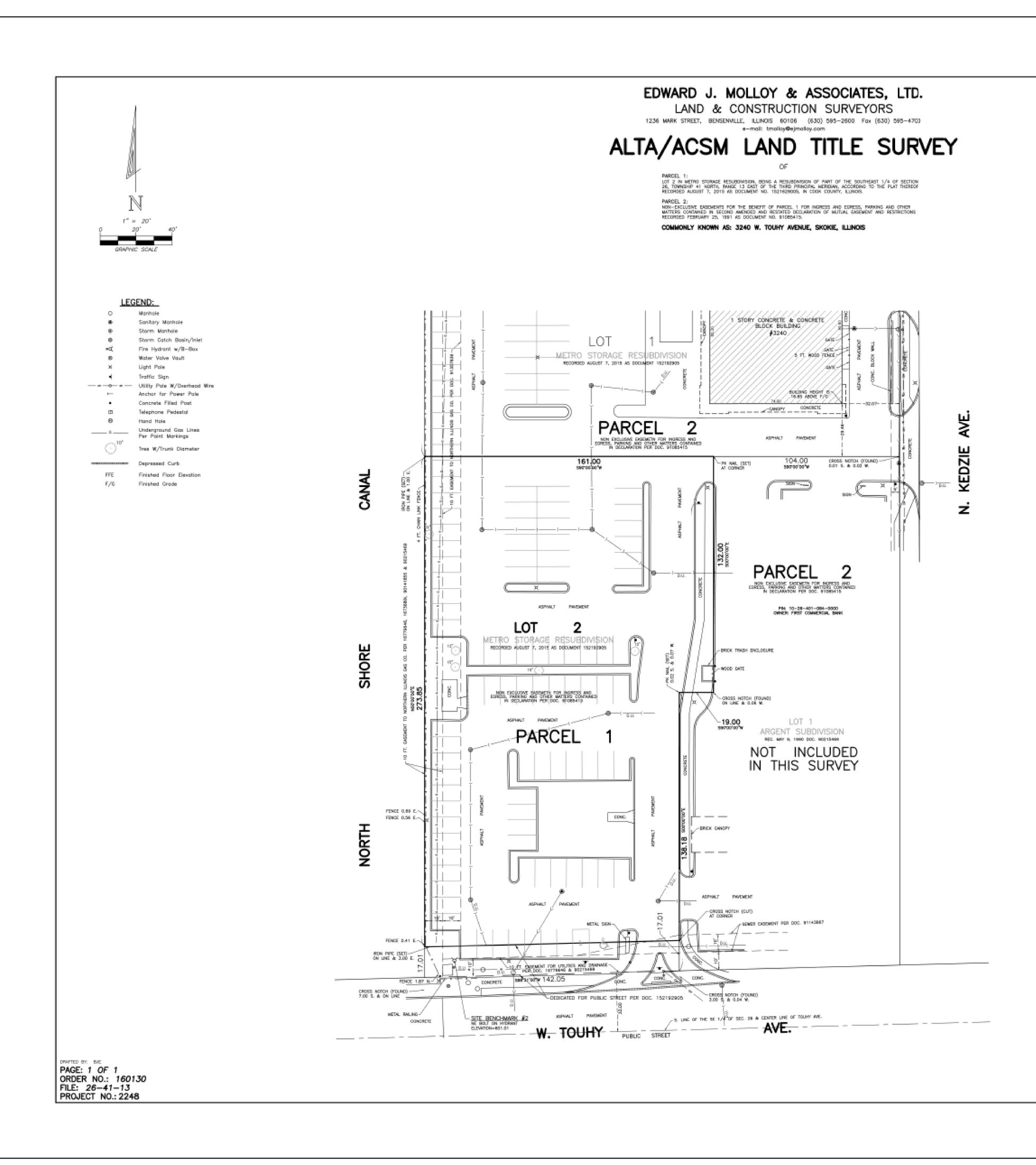
JAKL BRANDEIS ARCHITECTS LTD.

1800 HAWTHORNE LANE WEST CHICAGO, ILLINOIS 60185 PH. (630) 562-3900 LICENSE NO. 184-001832

> BEFORE YOU DIG CALL JULIE AT 1-800-892-0123 OR 811 (48 HOURS IN ADVANCE)









SURVEYOR'S NOTES <u>TITLE COMMITMENT</u>: THIS SURVEY REFLECTS CERTAIN MATTERS OF TITLE PERTAINING TO LOT 2, AS REFERENCED IN SCHEDULE B OF FIRST AMERICAN TITLE INSURANCE COMPANY COMMITMENT FOR TITLE INSURANCE FILE NUMBER NES-680249-CHE WITH A DATE OF POLICY OF AUGUST 21, 2015;

3. RIGHT TO LAY, MAINTAIN, OPERATE, RENEW AND REMOVE A GAS MAIN AND OTHER NECESSARY GAS FACILITES, TOGETHER WITH RENT OF ACCESS THERETO FOR SAID PURPOSES, IN, UPON, UNDER, ALDHG, AND ACRESS THE WEST 10 FEET AND THE SOUTH 10 FEET (EXCEPT THE WEST 10 FEET THEREOF), AS CREATED BY GRANT FROM ROLLED STEEL CORPORATION TO THE MOTIFICIAN ILLINOIS GAS COMPANY, BATED DECEMBER 8, 1986 AND RECORDED DECEMBER 13, 1956 AS DOCUMENT NO. 16779646. AS SHOWN ON THE SURVEY, (AFFECTS THE SOUTH SOURCE FEET) [PUTTED ON THE DRAWING]

7. EASEMENT FOR LAYING, MAINTAINING, ETC. GAS MAINS AND ANY NECESSARY GAS FACILITIES IN, UPON, LINDER, ALONG AND ACROSS THE WEST 10 FEET OF LOT 15 IN NATIONAL BRECK COMPANY'S INDUSTRIAL SUBOMISION RECORDED OCTOBER 25, 1996 AS DOCUMENT NO, 18738806 OF PART OF THE SOUTH EAST 1/4 OF SECTION 26, TOWNSHIP 41 NORTH, RANGE 13 EAST OF THE THIRD PRINCIPAL MERCIAN, IN COCK COUNTY, ILLING'S, ACEORDONG TO EASEMENT GRANT FROM AMERICAN MATIONAL BANK AND TRUST COMPANY OF CHICAGO, AS TRUSTER UNDER TRUST ACREEMENT DATED MAY 26, 1986 AND ISNOWN AS TRUST NUMBER 106643-01, TO THE NORTHERN ILLING'S COMPANY, RECORDED MARCH 30, 1990 AS DOCUMENT NO. 90141855, AS SHOWN ON THE SURVEY. (AFFECTS THE MEST TO FEET) [FLOTTED ON THE DRAMMC]

8. EASEMENT IN FAVOR OF NORTHEEN ILLINOIS GAS COMPANY, AND ITS/THEIR RESPECTIVE SUCCESSORS AND ASSIGNS, TO INSTALL, OPERATE AND MAINTAIN ALL EQUIPMENT NECESSARY FOR THE PURPOSE OF SERVING THE LAND AND DTHER PROPERTY, TOGETHER WITH THE REART OF ACCESS TO SAID EQUIPMENT, AND THE PROVISIONS RELATING THERETO CONTAINED IN THE GRANT RECORDED JULY 17, 1991 AS DOCUMENT NO. 91357836, AFFECTING THE EAST TO REET OF THE WEST 20 FEET OF LOT 2 LVING SOUTH OF A STRAIGHT LINE IMPRRECTING THE EAST LINE OF SECTION 26 OF THE LAND, AS SHOWN ON THE SURVEY. [PLOTTED ON THE DRAWING]

9. TERMS, PROVISIONS, OOVENAMES, CONDITIONS, AND RESTRICTIONS CONTAINED IN AND EASEMENTS, RIGHTS AND OBLIGATIONS GREATED BY SECOND AMENDED AND RESTATED DECLARATION OF MUTUAL EXEMENTS AND RESTRICTIONS RECORDED FEBRUARY 25, 1991 AS DOCUMENT NO. 91085415. [EASEMENTS NOTED ON THE DRAWING]

10. PLAT OF ARGENT SUBDIVISION RECORDED INFF 9, 1990 AS DOCUMENT NO. 93215469 DISCLOSES THE FOLLOWING EASEMENTS: (A) A 5 FOOT PUBLIC UTILITIES EASEMENT ALONG THE NORTHERLY LINE OF THE LAND BEGINNING AT THE MOST WESTERLY AND EXTENDED EAST TO THE EASTERLY LINE OF THE LAND; (E) A 5 FOOT PUBLIC UTILITIES EASEMENT ALONG THE MOST NORTHERLY LINE OF THE LAND; (C) A 10 FOOT PUBLIC UTILITIES EASEMENT LYING IN THE SOUTHERLY 10 FEET OF THE INFTHERLY 150 FEET OF THE LAND AS MERSURED ALONG THE EAST LINE; (D) A 20 FOOT EASEMENT FOR INGRESS A EXPRESS OVER THE SOUTHERLY 25 FEET OF THE LAND AS MEASURED ALONG THE EAST LINE; (E) A 10 FOOT PUBLIC UTILITIES AND DRIMAGE EASEMENT ALONG THE SOUTHERLY LINE OF THE LAND; AND (F) A 10 FOOT PUBLIC UTILITIES AND DRIMAGE EASEMENT ALONG THE SOUTHERLY LINE OF THE LAND; AND (F) A 10 FOOT EASEMENT TO MORTHERN ILLING'S IS GAS COMPANY ALONG THE WESTERLY LINE OF THE LAND; FOOT THE DRIMING]
11. EASEMENT IN FAVOR OF THE VILLAGE OF SKONE FOR THE MANTENANCE AND OPERATION OF A SEVER OVER.

11. EXSEMENT IN FAVOR OF THE VILLAGE OF SKONE FOR THE MAINTENANCE AND OPERATION OF A SEVER OVER, UNDER, AND ACROSS A PORTION OF LOT 2 AND OTHER PROPERTY ATTACHED AS EXHIBIT "A" TO RESOLUTION RECORDED APRIL 1, 1991 AS DOCUMENT NO. 91143867, AS SHOWN ON THE SURVEY. [PLOTTED ON THE DRAWING]

 TERMS, PROVISIONS, DOVENANTS, CONDITIONS, AND RESTRICTIONS CONTAINED IN VILLAGE OF SKORIE ORDINANCE NO. 15-5-2-4144 GRANTING APPROVAL FOR A PLANNED DEVELOPMENT OF THE LAND AS MORE FULLY SET FORTH IN NOTICE OF APPROVAL DATED WAY 18, 2015. AND RECORDED JUNE 2, 2015 AS DOCUMENT ND. 1515350043. [NOT PLOTTABLE]

13. TERMS, PROVISIONS, COVENANTS, CONDITIONS, AND RESTRICTIONS CONTAINED IN AGREEMENT FOR INSTALLATION AND MAINTENANCE OF LANDSCAPING BY AND BETWEEN STANDARD BANK & TRUST COMPANY, AS TRUSTEE UNDER TRUST NO. 18833 AND THE VILLAGE OF SNOKE DATED MAY 18, 2015, AND RECORDED JUNE 2, 2015, COMPANY, AND THE VILLAGE OF SNOKE DATED MAY 18, 2015, AND RECORDED JUNE 2, 2015, COMPANY, AND THE VILLAGE OF SNOKE DATED MAY 18, 2015, AND RECORDED JUNE 2, 2015, COMPANY, AND THE VILLAGE OF SNOKE DATED MAY 18, 2015, AND RECORDED JUNE 2, 2015, COMPANY, AND THE VILLAGE OF SNOKE DATED MAY 18, 2015, AND RECORDED JUNE 2, 2015, COMPANY, AND THE VILLAGE OF SNOKE DATED MAY 18, 2015, AND RECORDED JUNE 2, 2015, COMPANY, AND RECORDED AND RECO

2015 AS DOCUMENT NO. 1515380044. [NOT PLOTTABLE] 14. TERMS, PROVISIONS, COVENANTS, CONDITIONS, AND RESTRICTIONS CONTAINED IN VILLAGE OF SKOKIE ORDINANCE NO. 15-5-Z-4146 GRANTING A SPECIAL USE PERMIT TO ESTABLISH AND OPERATE A SELF-STORAGE

WAREHOUSE ON THE LAND AS MORE FULLY SET FORTH IN NOTICE OF APPROVAL DATED MAY 18, 2015, AND RECORDED JUNE 2, 2015 AS DOCUMENT NO. 1515350046. [NOT FLOTTABLE] TAX PARCEL PERMANENT_INDEX_NUMBER: 10-26-401-085-0000

ACCESS STATEMENT; THE PROPERTY HAS DIRECT PROFICIAL ACCESS TO AND FROM W. TOURY AVENUE AND ACCESS BY WAY OF PARCEL 2 TO AND FROM N. KEDDE AVENUE, BOTH LEGALLY OPENED AND PUBLICLY DEDICATED, USED AND WAIMINANED STREETS OR HIGHWAYS.

TABLE A - ITEM 1 STATEMENT AS TO MONUMENTS PLACED: SEE DRAWING FOR ALL MONUMENTS PLACED OR FOUND WHILE COMPLETING THE FIELD SURVEY. <u>TABLE A - ITEM 2 STATEMENT AS TO ADDRESS</u>: THE PROPERTY SURVEYED CONTAINS A PARKING LDT, NO ADDRESS OBSERVED.

TABLE A - ITEM 3 STATEMENT AS TO FLOOD ZONE CLASSIFICATION: OUR EXAMINATION OF THE FEDERAL EMERGENCY MANAGEMENT AGENCY (F.E.M.A.) FLOOD INSURANCE RATE WAP COMMUNITY-PANEL NO. 17031002655J WITH A MAP REVISED DATE OF AUGUST 19, 2008, SHOWS THAT THE MAJORITY OF THE PROPERTY DOES NOT FALL WITHIN A SPECIAL FLOOD HAZARD AREA AND THAT SAID PROPERTY DOES FALL WITHIN ZONE "X" DEFINED AS AREAS DETERMINED TO BE OUTSIDE OF THE 0.2X ANNUAL CHARGE FLOODPLAIN AND A SMALL PORTION OF THE PROPERTY ALONG THE MESTERLY BOUNDARY LINE FALLS WITHIN ZONE "A" DEFINED AS SPECIAL FLOOD DREAMS AND/A SUBJECT TO INMUNITION OF THE 16 ANNUAL CHARGE FLOODP WITH NO DASE FLOOD ELEVATIONS DETERMINED.

TABLE A - ITEM 4 STATEMENT AS TO CROSS LAND AREA: THE LAND SURVEYED HEREON CONTAINS 41,134 SQUARE FEET OR 0.9443 ACRES.

TABLE A - ITEM 608) STATEMENT REGARDING ZONING CLASSIFICATION AND RESTRICTIONS; SURVEYOR HAS NOT BEEN PROVDED WITH ZONING CLASSIFICATION OF RESTRICTIONS BY THE INSURER, OUR EXAMINATION OF THE OFFICIAL VILLAGE OF SKOKE ZONING MAP FINDS THE PROPERTY TO BE A SITE PLAN APPROVAL/PLANNED DEVELOPMENT IN ZONE "82" COMMERCIAL DISTRICT.

TABLE A - ITEM & STATEMENT AS TO SUBSTANTIAL FEATURES OBSERVED; SURVEYOR HAS SHOWN LOCATION OF FEATURES EXISTING ON THE SURVEYED PROPERTY AS DETERMINED BY OBSERVED EVIDENCE.

TABLE A - ITEM 9 STATEMENT AS TO PAINT STRIPTO PARKING SPACES; THE LAND SURVEYED HEREON CONTAINS A TOTAL OF BE DESTING PARKING SPACES INCLUDING 1 DESIGNATED HANDICAP PARKING SPACES. TABLE A - ITEM 11 STATEMENT REGARDING EXISTING UTILITIES; SURVEYED HANDICAP PARKING SPACES.

TABLE A - ITEM 13 STATEMENT REGARDING ADJOINING OWNERS; SEE DRAWING FOR NAMES OF ADJOINING OWNERS AS OBTAINED FROM THE COOK COUNTY TREASURER'S WEDISTE.

TABLE A - ITEM 14 STATEMENT REGARDING DISTANCE TO NEAREST INTERSECTING STREET: 98% ORIGING FOR THE DISTANCE TO THE NEAREST INTERSECTING STREET.

TABLE A - ITEM 16 STATEMENT REGARDING EARTH MOVING AND BUILDING CONSTRUCTION: SURVEYOR FINDS NO DESERVABLE EXDENCE OF EARTH MOVING OR BUILDING CONSTRUCTION.

TABLE A - ITEM 17 STATEMENT REGARDING CHANGES IN STREET RIGHT-OF-WAY LINES; SURVEYOR HAS NO KNOWLEDGE OF ANY CHANGES IN STREET RIGHT-OF-WAY LINES CONTEMPLATED OR PROPOSED AND FINDS NO OBSERVED EVIDENCE OF RECENT STREET OR SIDEWALK CONSTRUCTION OR REPARKS.

TABLE "A" ITEM 18 STATEMENT OF WETLAND AREAS: SURVEYOR FINDS NO INDICATION OF WETLAND AREAS AS DELINEATED BY APPROPRIATE AUTHORITIES ON THE PROPERTY. TABLE "A" ITEM 19 STATEMENT OF OFFSITE EASEMENTS; SURVEYOR FINDS NO OFFSITE EASEMENTS OR SERVITURES BENEFITING THE SURVEYED PROPERTY THAT ARE DISCLOSED IN THE RECORD DOCUMENTS.

TABLE A - ITEM 20 STATEMENT REGARDING PROFESSIONAL LABILITY INSURANCE: PROFESSIONAL LABILITY INSURANCE POLICY OBTAINED BY THE SURVEYOR IN THE MINIMUM AMOUNT OF \$1,000,000 TO BE IN DIFFECT THROUGHOUT THE CONTRACT TERM, CONTRICTE OF INSURANCE TO BE FURNESHED UPON REQUEST.

STATE OF ILLINOI	8)
COUNTY OF DUP	46E) ^{/ 66}
· THERE - I	

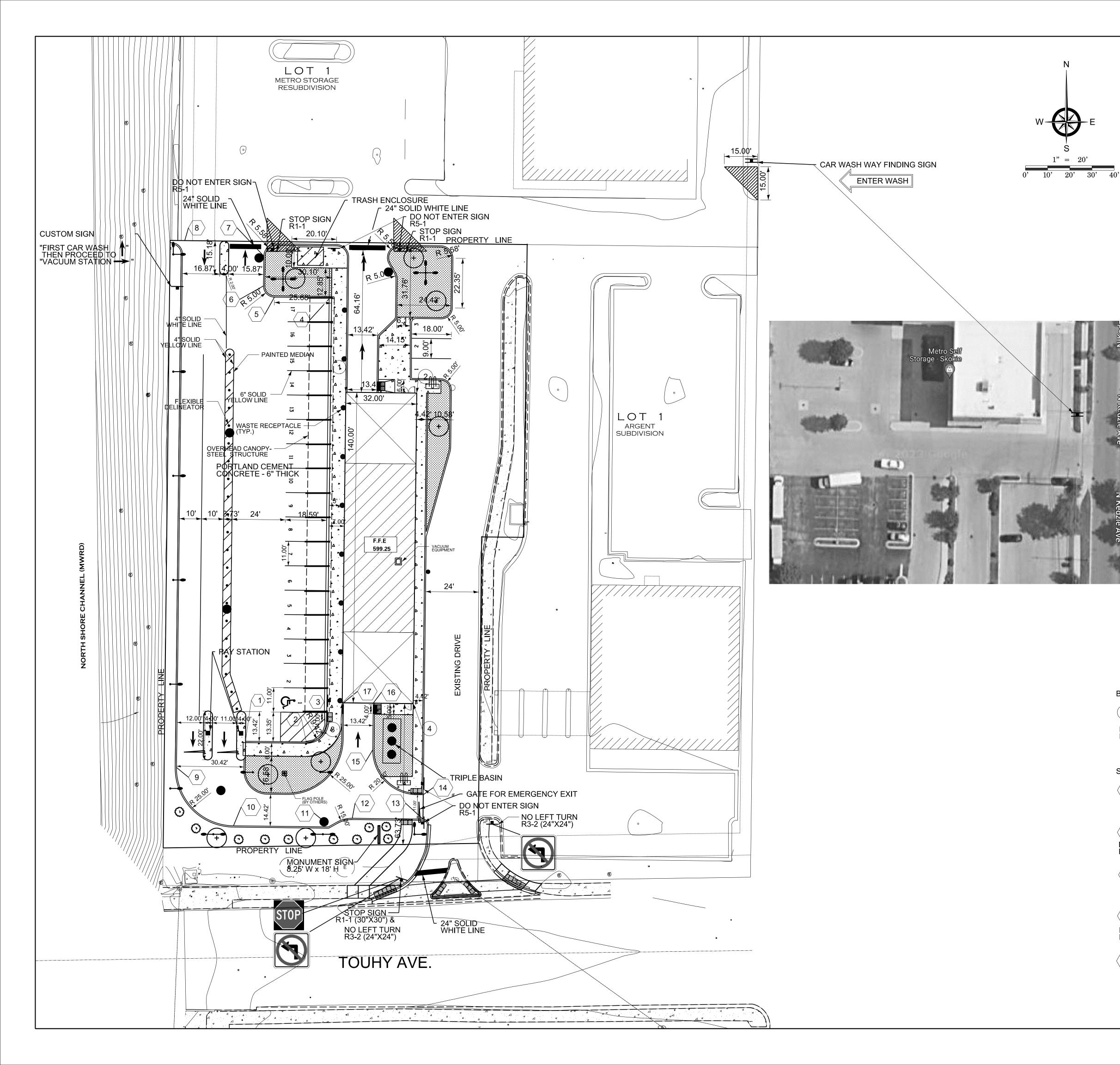
I, THOMAS A. MOLLOY, AN ILLINOIS PROFESSIONAL LAND SURVEYOR HEREBY CERTIFY TO METRO STORAGE SKONE LLC: FIRST AMERICAN TITLE INSURANCE COMPANY;

THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH 2011 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/ACSM LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ACOPTED BY THE AMERICAN LAND TITLE ACCOLUMIN (ALTA) AND THE NATIONAL SOCIETY OF PROFESSIONAL SURVEYORS (NSPS) AND INCLUDES ITEMS 1, 2, 3, 4, 5(b), 8, 9, 11, 13, 14, 15, 17, 18, 19 AND 20 OF THELE "A" THEREOF, THE HELD WORK WAS COMPLETED ON JUNE 21, 2016, DIMENSIONS ARE SHOWN IN FEET AND DECIMAL PARTS THEREOF.

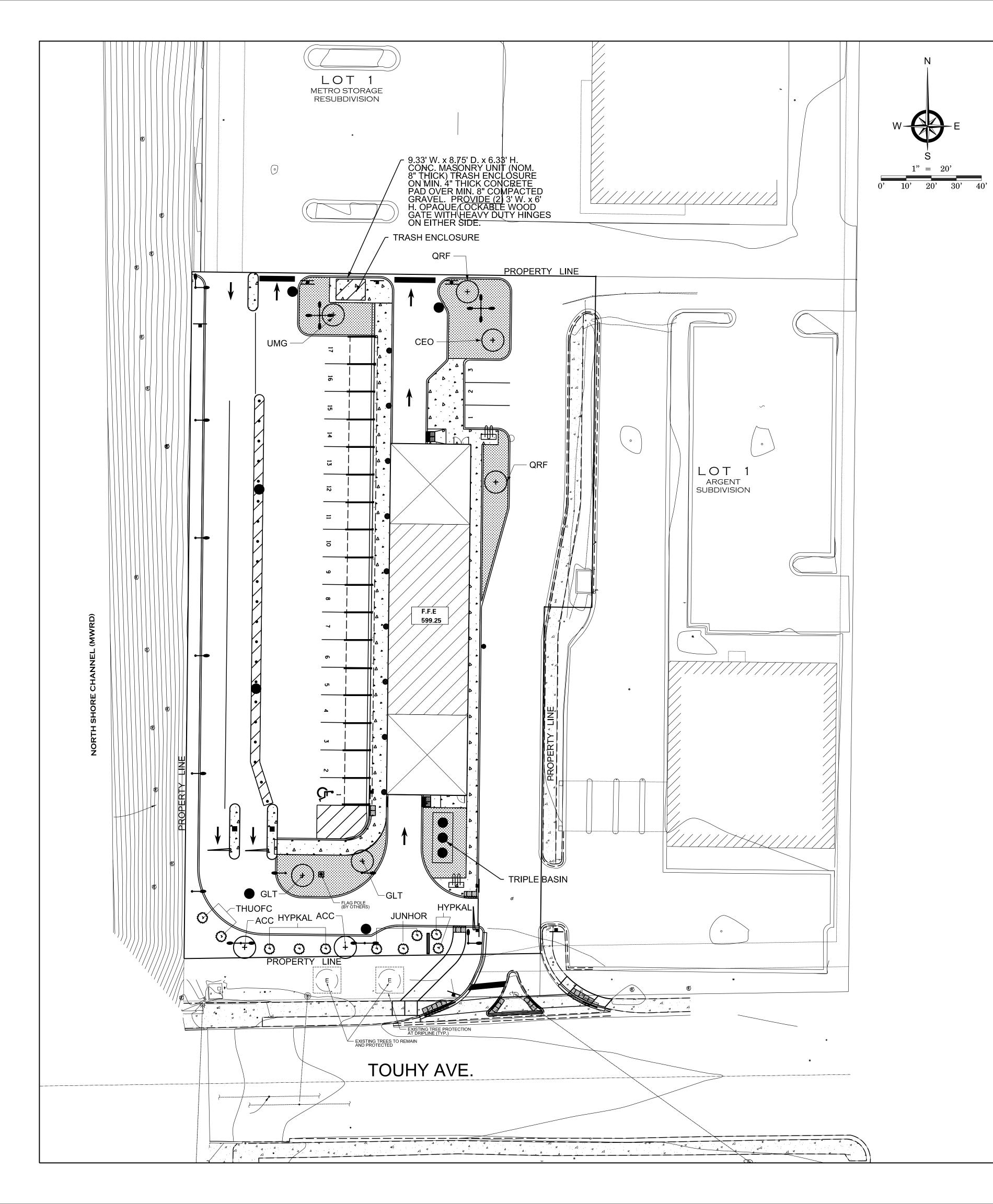
SIGNED AT BENSENVILLE, ILLINDIS THIS 11TH DAY OF JULY . A.D. 2016 EDWARD J. MOLLOY AND ASSOCIATES, A DIVISION OF THOMAS A. MOLLOY, LTD. AN ILLINDIS PROPESSIONAL DESIGN PIPM - LICENSE NO. 184-004840

ann Mith THOMAS A. MOLLOY ILLINDIS PROFESSIONAL LAND SURVEYOR NO. 35-408 VALID ONLY WITH EMBOSSED SEAL (EXPIRES NOVEMBER 30, 2016 AND IS RENEWABLE)

09.13.2023 APPEARANCE COMMISSION DATE ISSUED FOR S CT Щ Ц Ц ARCI BRANDEIS ₹d SH ш A ß RV \square <u>≻ 4</u> UH/ 606 S く 0 \mathbf{O} ⊢⊒ \cap KIE 250 KOI Ш Z N m DRAWN BY: JA SHEET # CHECKED BY: KB SCALE: **C-02** PROJECT #: 2022.02 FILE NAME:



		PROPOSED BUILDING (4,480 SQ FT) LANDSCAPED AREA (7,507 SQ FT) NEW CONCRETE DRI SIDEWALK - 5" THICK (2,582SQ FT ON PROF NEW CONCRETE PAV (18,892 SQ FT) SIGN CLEANOUT STRUCTU CATCH BASIN - 4' DIA	VEWAY - 8" THICK PERTY) /EMENT - 6" THICK JRE		
N Kedz		GREASE TRAP			
	ſ	TRAVEL DIRECTION	SPACE	09.13.2023 APPEAR	
N Kedzie Ave		BIKE RACK - 2'x6' LIGHT POLE			
°		WASTE RECEPTACLE VACUUM STATION VEHICULAR GATE			S ON II/30/2023
N Kedzie Ave	<u> </u>	PAY STATION CANOPY STRUCTURE	Ξ	ARCHITECTS LTD.	
e Ave	15' SIGHT DISTANCE TRIANGLE				60185 1832
	\sim	EXISTING TREE		DEIS ,	.0, ILLINOIS 52-3900 . 184-001
	0	NEW SHRUBS			WEST CHICAG PH. (630) 56 LICENSE NO
BUILDING 1 N=1947776.18 E=1153685.75	2 N=1947775.8 E=1153717.74	3 1 N=1947636.19 4 E=1153684.13	(4) N=1947635.82 E=1153716.13		
SITE (1) N=1947618.27 E=1153640.51	2 N=1947618.54 E=1153667.93	3 4 N=1947627.86 3 E=1153676.45	4 N=1947818.77 E=1153678.65		VASH Y AVE. 45
<pre> 5 N=1947819.05 E=1153653.56 9 </pre>	<pre></pre>	<pre></pre>	\[AN	CARWA Touhy A
N=1947607.05 E=1153609.37	N=1947580.75 E=1153635.07 (14) N=1947594.70 E=1153720.66	 E=1153677.67 15 N=1947615.03 	N=1947584.13 E=1153688.65 16 N=1947636.03 E=1152608.12	DRAWING TITLE SITE PL/	PROJECT TITLE NEW C, 3250 W. TO SKOKIE, IL
(17) N=1947636.18	E=1153720.66	6 E=1153697.89	E=1153698.13	DRAWN BY: JA CHECKED BY: KB	SHEET #
E=1153684.71				SCALE: PROJECT #: 2022.02 FILE NAME:	C-07



		PLANT SC
CODE	QTY	BOTANICAL NAME
THUOFC	2	THUJA OCCIDENTALIS 'CONC
JUNHOR	3	JUNIPERUS HORIZONTALIS 'I
HYPKAL	3	HYPERICUM KALMIANUM
ACC	2	ACER CAMPESTRA
CEO	1	CELTIS OCCIDENTALIS
GLT	1	GLEDITSIA TRIACANTHOS
UMG	1	ULMUS 'MORTON GLOSSY'
QRF	1	QUERCUS ROBUR 'FASTIGIA'

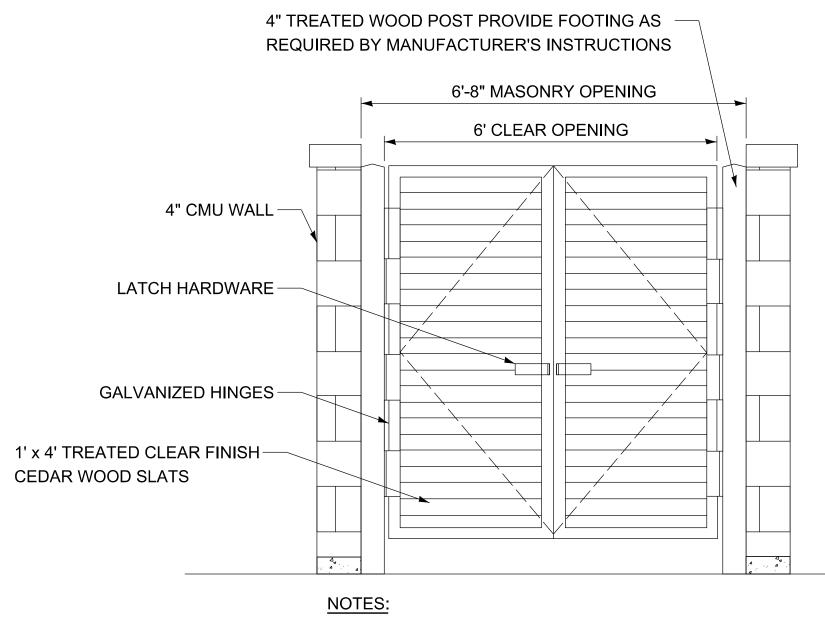
Ν

1" = 20'

	LEGEN	<u>D</u>				
	+	SHADE TREE	Θ	NATIVE SHRUB		
	E)	EXISTING TREE	\otimes	EVERGREEN HEDGE		
		SOD WITH 4" TOP SOIL		12' X 12' SIGHT TRIANGLE		
		TREE PROTECTION AT DRIPLINE		MONUMENT SIGN		
- 1. 2. 3.	ALL SH TO PL/ TREES FOR PI	ROWTH TO BE OVER 12" W HRUBS SHALL BE PLANTE ANT SCHEDULE FOR SIZE 5, SHRUBS, GROUND COV LANTING SHALL BE ACCL EW TREES SHALL BE MINI	ED 3' OFF ES OF ALI ER AND IMATED	CENTER. REFER L SHRUB SPECIES. OTHER PLANTS SELECTED TO NORTHERN ILLINOIS		ARANCE COMMISSION
CHEDULE	СОММС	ON NAME	BALL	SIZE		
IGABE'	FIRE CH HORIZO KALM S HEDGE HACKB HONEY TRIUMF	HIEF ARBORVITAE ONTAL JUNIPER ST. JOHSWORT MAPLE ERRY LOCUST	BALL CONT/B CONT/B BB BB BB	3B 36" 3B 1 GAL - 30" HIGH MIN.	JAKL BRANDEIS ARCHITECTS LTD.	1800 HAWTHORNE LANE WEST CHICAGO, ILLINOIS 60185 PH. (630) 562-3900 LICENSE NO. 184-001832
					NAMN BILIAN BRAWN BY: JA CHECKED BY: KB SCALE: PROJECT #: 2022.02	PROJECT TITLE PROJECT TITLE NEW CARWASH SECO W. TOUHY AVE. SKOKIE, IL 60645 SKOKIE, IL 60645

GENERAL NOTES:

- 1. PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION ACTIVITIES THE CONTRACTOR SHALL NOTIFY DIGGER AT (312)-644-7000 TO DETERMINE THE LOCATION OF ANY UNDERGROUND UTILITIES WHICH MAY AFFECT PROPOSED SITE WORK.
- 2. CONTRACTOR SHALL NOTIFY LANDSCAPE ARCHITECT/OWNER IMMEDIATELY OF ANY DISCREPANCIES, OBSTACLES AND/OR PROBLEMS.
- 3. VERIFICATION OF DIMENSIONS AND GRADES, BOTH EXISTING AND PROPOSED, SHALL BE THE CONTRACTOR'S RESPONSIBILITY PRIOR TO COMMENCEMENT OF WORK. THE CONTRACTOR SHALL NOTIFY THE OWNER OF ANY DISCREPANCIES.
- 4. ALL SURFACE DRAINAGE SHALL BE DIRECTED AWAY FROM STRUCTURES. SURFACE DRAINAGE SHALL BE DIRECTED TO EXISTING, AND/OR NEW CATCH BASINS DESIGNATED FOR THE COLLECTION OF SURFACE RUNOFF. UPON EXCAVATION OF TREE PIT ZONES, PERFORM A TEST OF PERCOLATION AND IF IT DOES NOT DRAIN, CONTACT LANDSCAPE ARCHITECT FOR DIRECTION IN INSTALLATION OF DRAINAGE PIPES.
- 5. CONTRACTOR SHALL NOTIFY OWNER OF ANY UNDESIRABLE DRAINAGE CONDITIONS AND RECOMMEND SUITABLE SOLUTIONS.
- 6. LANDSCAPE CONTRACTOR SHALL REPAIR IN KIND ALL AREAS DAMAGED AS A RESULT OF LANDSCAPE OPERATIONS.
- 7. ALL TREE AND SHRUB BEDS TO RECEIVE A MINIMUM 3" OF SHREDDED HARDWOOD MULCH. ALL PERENNIAL BEDS TO RECEIVE A MINIMUM 2" OF COMPOSTED LEAF MULCH.
- 8. LANDSCAPE CONTRACTOR SHALL WARRANTY ALL TREES, SHRUBS, GRASSES, VINES AND GROUNDCOVERS UNDER THIS CONTRACT WILL BE HEALTHY AND IN FLOURISHING CONDITION OF ACTIVE GROWTH ONE YEAR FROM DATE OF FINAL ACCEPTANCE.
- 9. SOIL TO BE USED FOR THE PLANTING MEDIUM FOR THE PROJECT SHALL BE FERTILE, WELL DRAINED, OF UNIFORM QUALITY, FREE OF STONES OF 1" DIA., STICKS, OILS, CHEMICALS, PLASTER, CONCRETE AND OTHER DELETERIOUS MATERIALS.
- 10. LANDSCAPE CONTRACTOR SHALL STAKE THE LOCATION OF ALL TREES AND PLANTING BED LINES AND HAVE LAYOUT APPROVED BY LANDSCAPE ARCHITECT/OWNER PRIOR TO PLANTING.
- 11. WATER ALL PLANTS IMMEDIATELY AFTER PLANTING. FLOOD PLANTS TWICE DURING FIRST 24-HOUR PERIOD AFTER PLANTING.
- 12. ALL NEW TRANSPLANTED PLATS TO BE SPRAYED WITH AN ANTIDESSICANT WITHIN 24 HOURS AFTER PLANTING. ANTI-TRANSPIRANT SHALL BE EQUAL TO "WILTPRUF."
- 13. ALL MUD SHALL BE REMOVED FROM ALL TIRES BEFORE LEAVING THE SITE AND ROADS SHALL BE KEPT CLEAR OF MUD AND DEBRIS AT ALL TIMES.

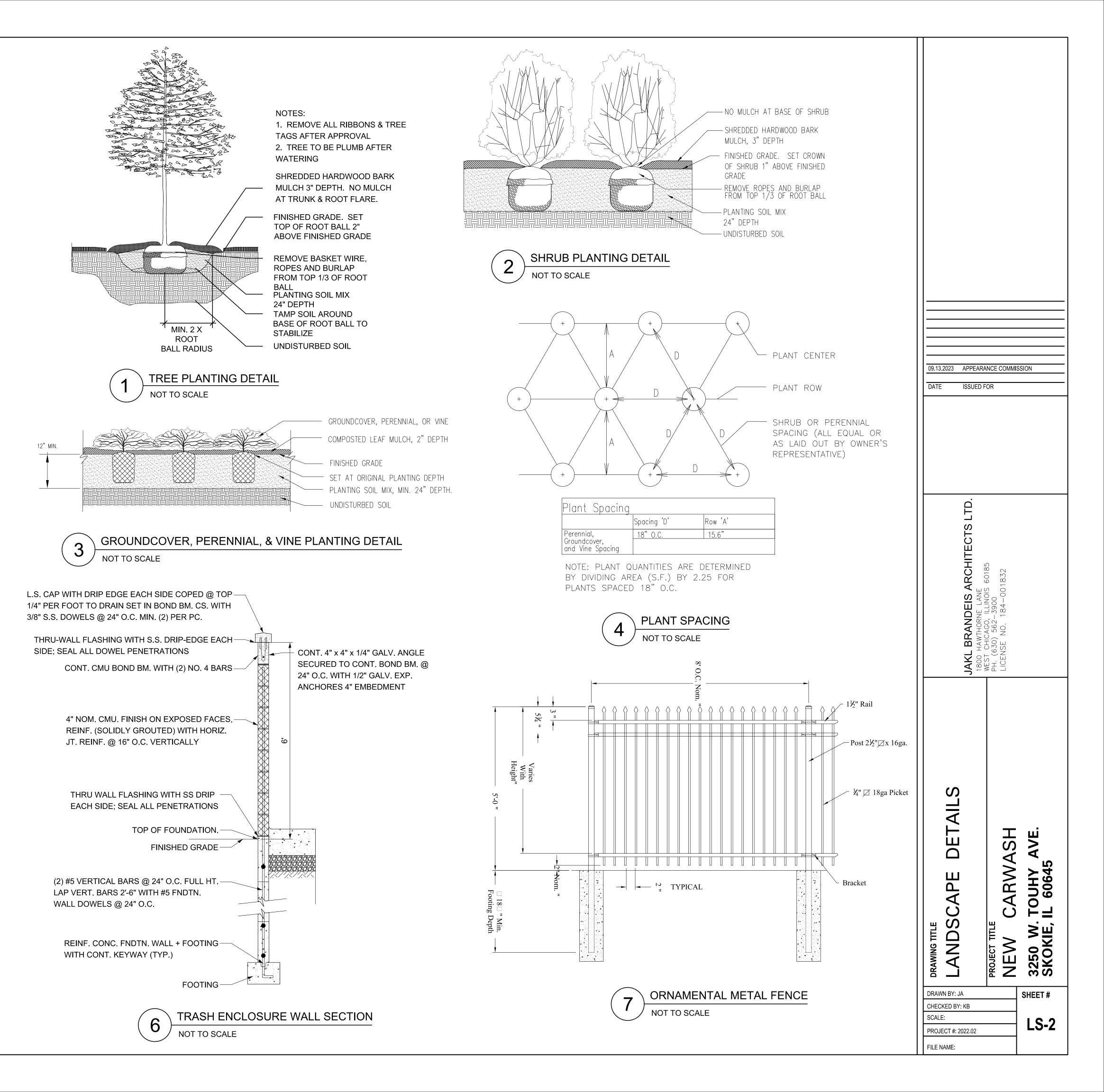


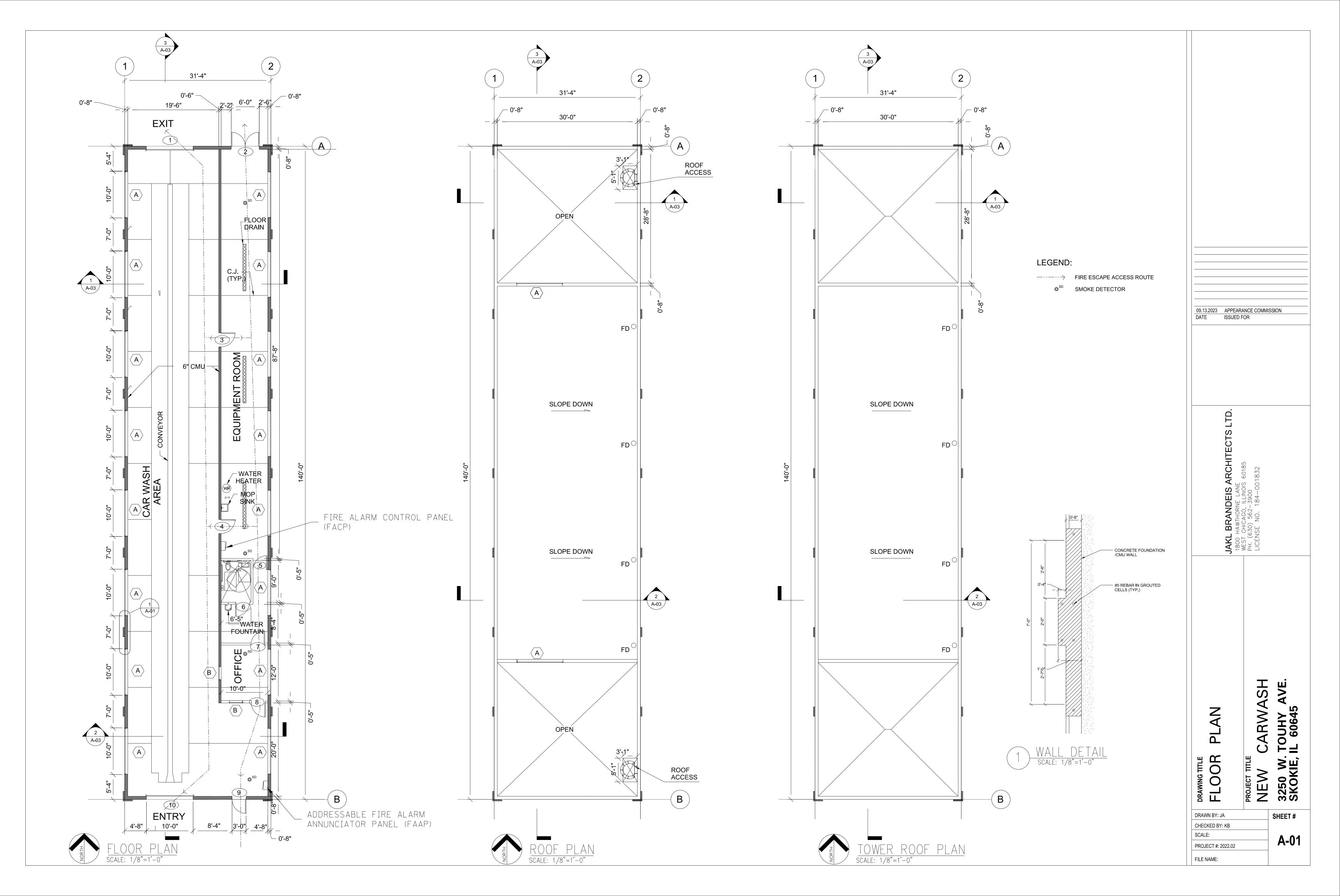
-ALL BOARDS TO BE FASTENED WITH GALVANIZED SCREWS. -SEE SITE PLANS FOR GATE LOCATIONS -ALL MASONRY TO BE SEALED

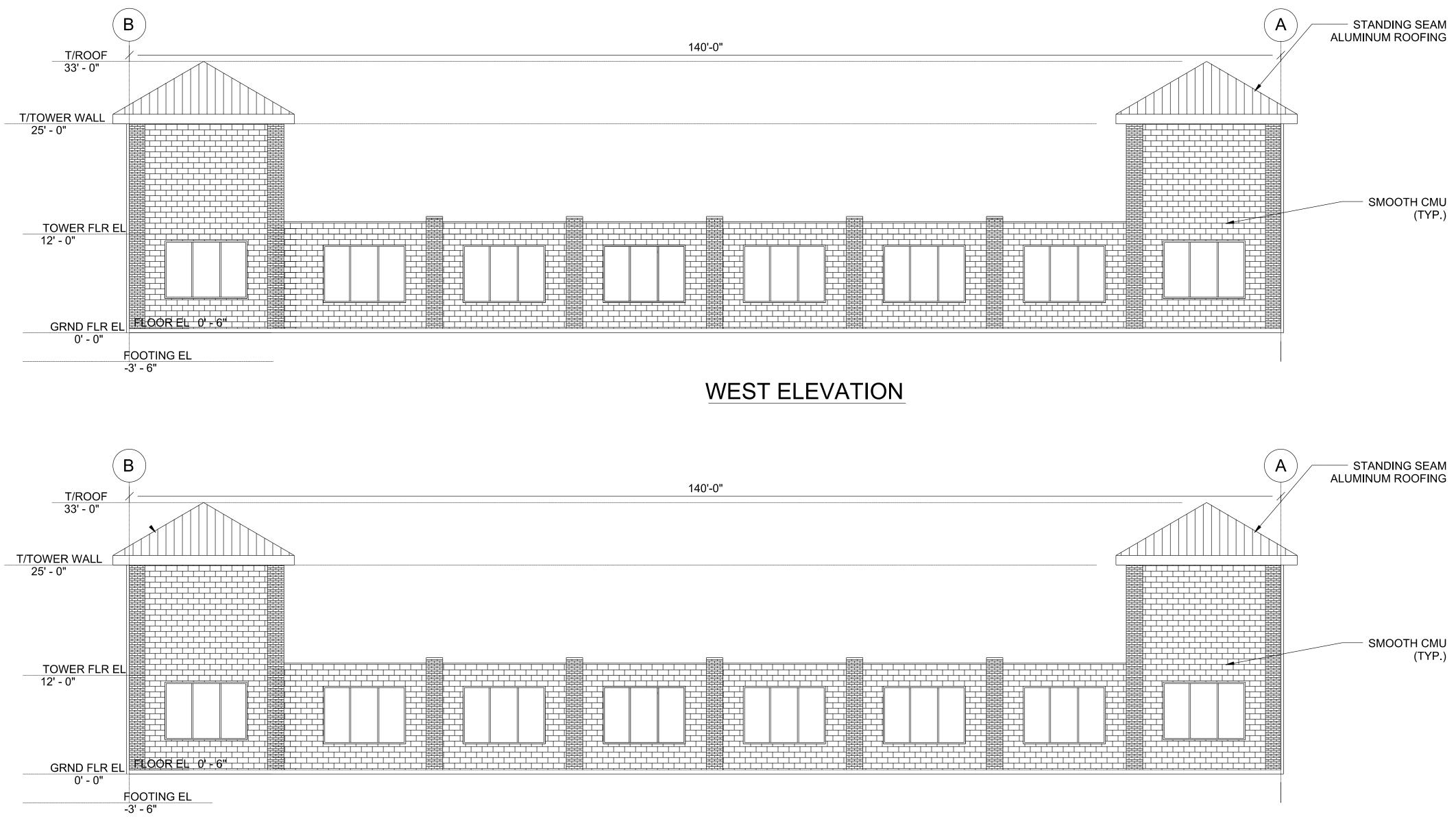


TRASH ENCLOSURE ELEVATION

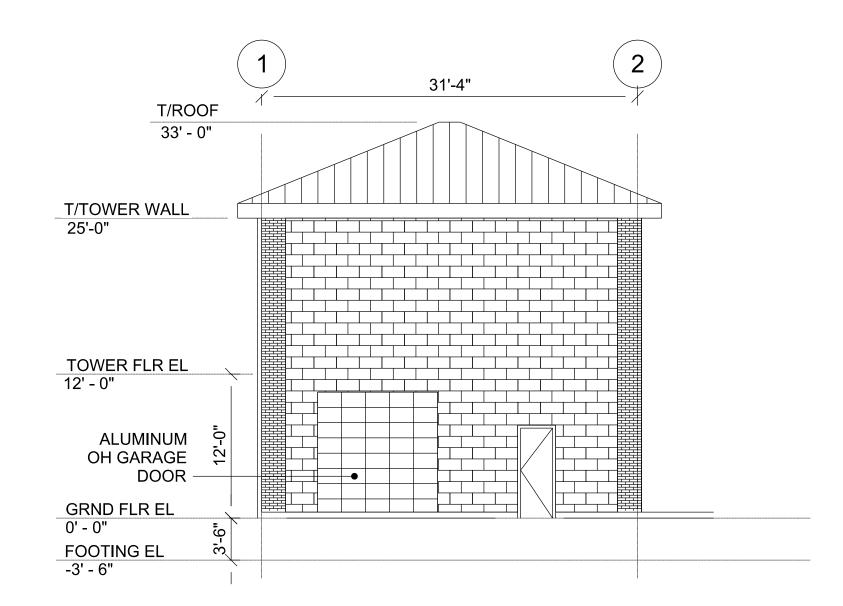
NOT TO SCALE

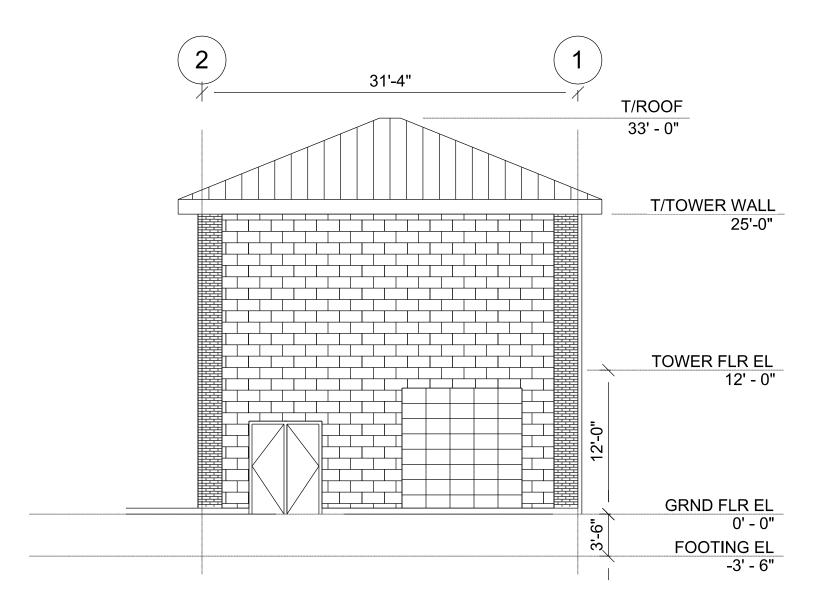






SOUTH ELEVATION

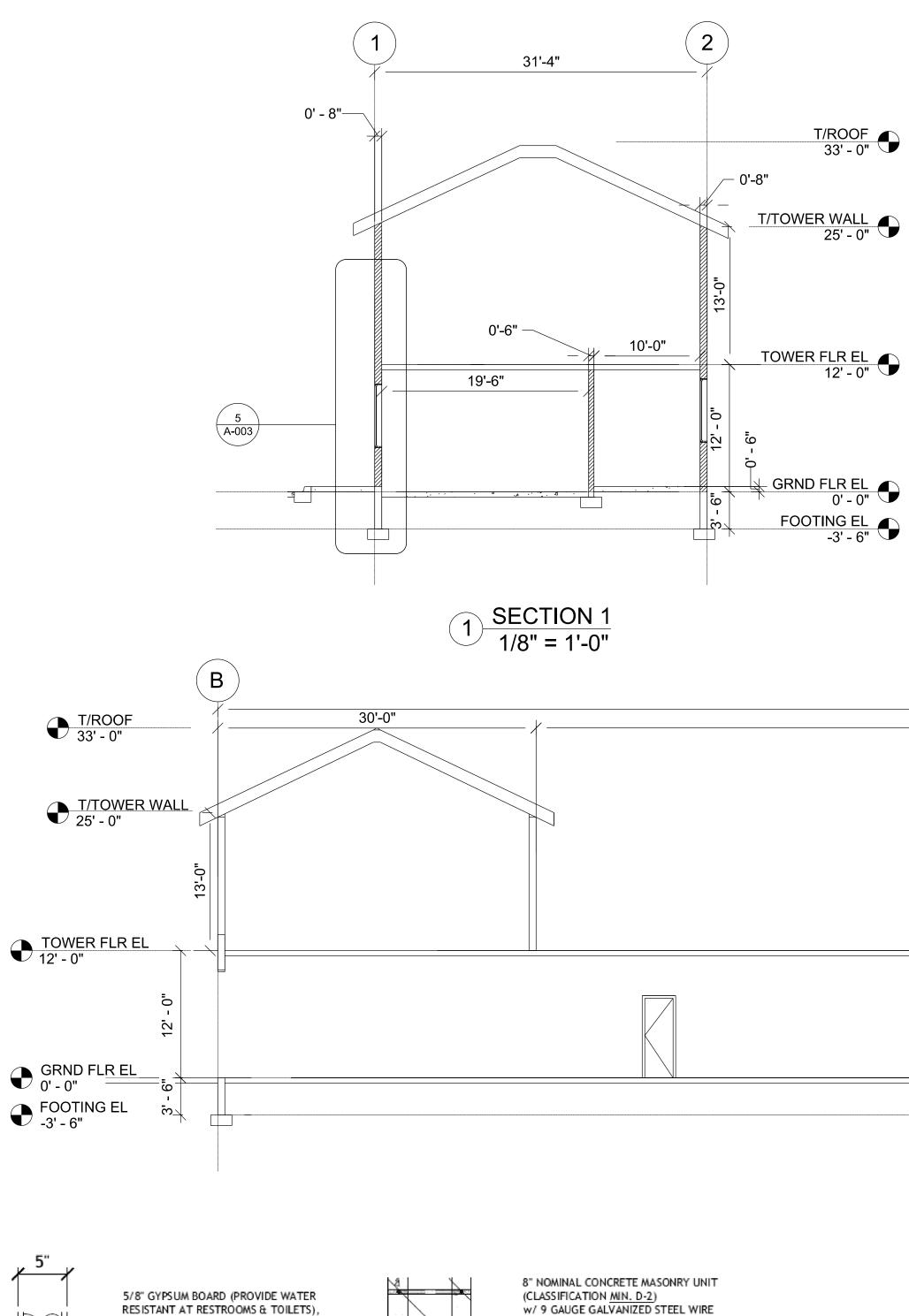


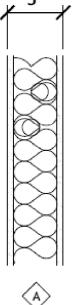




EAST ELEVATION

09.13.2023 APPEARA DATE ISSUED F	NCE COMMIS OR	SSION
JAKL BRANDEIS ARCHITECTS LTD. 1800 HAWTHORNE LANE	PH. (630) 562-3900 LICENSE NO. 184-001832	
ELEVATIONS	PROJECT TITLE NEW CARWASH	3250 W. TOUHY AVE. SKOKIE, IL 60645
DRAWN BY: JA CHECKED BY: KB SCALE:		SHEET #
PROJECT #: 2022.02 FILE NAME:		A-02





 $\langle A1 \rangle$

MAX. MIN. 3 1/2" SOUND ATTENUATION FIRE BLANKETS (SAFB), FULL HT., WHERE SHOWN 5/8" GYPSUM BOARD (PROVIDE WATER RESISTANT AT RESTROOMS & TOILETS), PAINTED UP TO UNDERSIDE OF FLOOR / DECK ABOVE,

NON-RATED, AS SHOWN

REPLACE 3 5/8" STUDS IN ASSEMBLY "A" WITH

FOLLOWING (@ PLUMBING WALLS, TYPICAL; U.N.O.): 6" x 25 GA. GALV. METAL STUDS @ 16" OC MAX.

ASSEBMLY TYPES

TYPICAL (U.N.O.)

NON-BEARING WALL, U.N.O.

SCALE: NTS

3 5/8" x 25 GA. GALV. METAL STUDS @ 16" OC

PAINTED

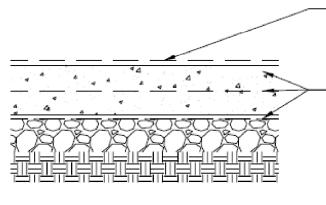
RESISTANT AT RESTROOMS & TOILETS),

 $\langle N \rangle$

TRUSS-TYPE JOINT REINFORCEMENT @ 16" OC VERTICALLY - TO GO UP TO FLOOR ABOVE, TYPICAL - PROVIDE VERTICAL RE-BARS AS SHOWN ON STRUCTURAL PLANS IN A FULLY GROUTED SOLID CELLS, FULL HEIGHT - PROVIDE <u>MIN. ONE (1) COAT</u> OF CONCRETE BLOCK PRIMER & <u>AT LEAST TWO</u> (2) COATS OF PREMIER GRADE ELASTOMERIC COATING ON CONCRETE BLOCK AFTER MIN. OWNERSHIP, TYP.

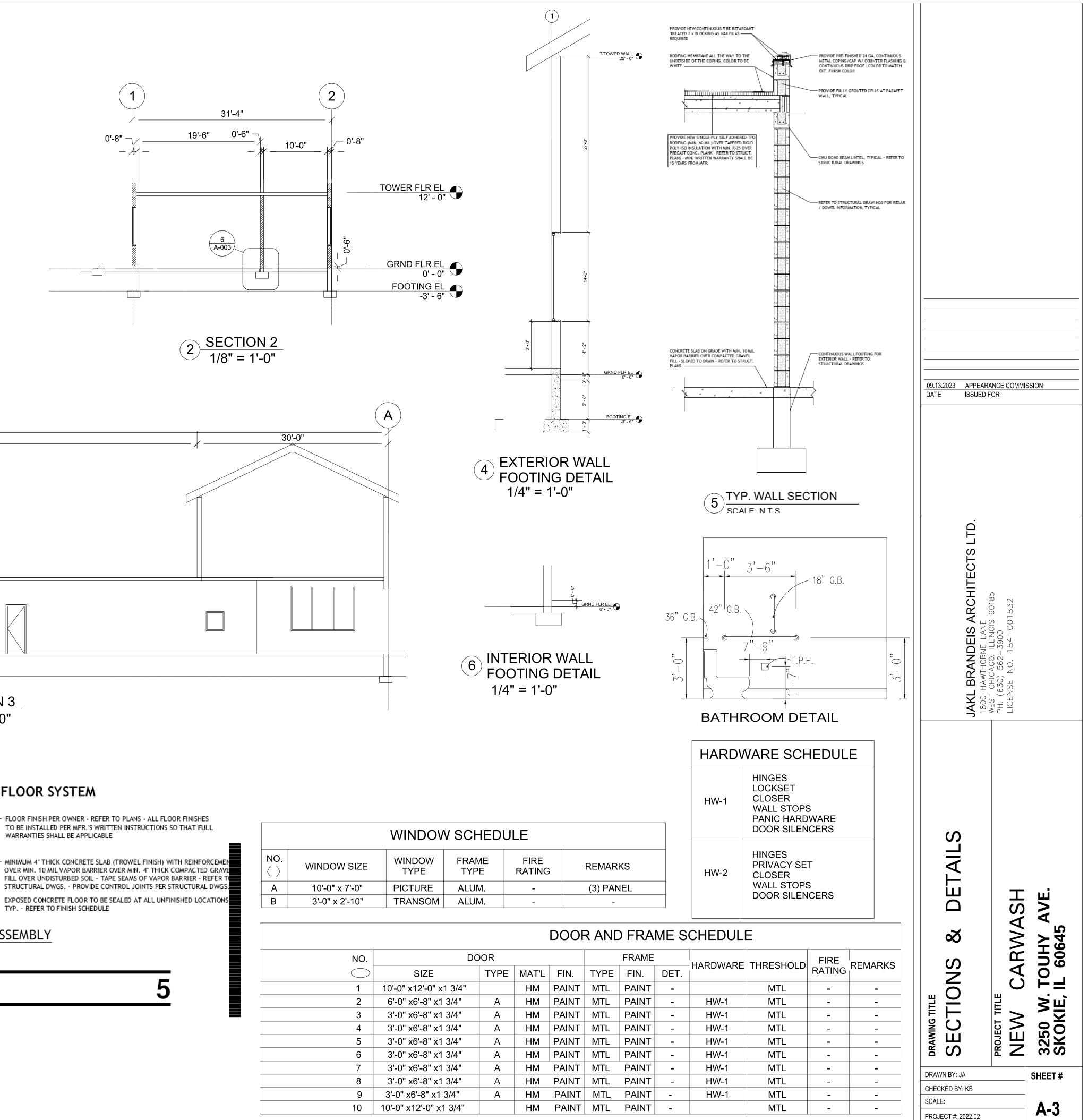
28 DAYS OF CURING - TYPICAL ON EXTERIOR -FINAL FINISH & COLOR TO BE VERIFIED WITH

1 HR. RATED, AS SHOWN (SEE STRUCTURAL PLANS FOR FOOTING) U.L. DESIGN NO.: U905, SIM. LOAD-BEARING OR NON-BEARING WALL



140'-0" 80'-0"

FL1



FILE NAME:

3 SECTION 3 1/8" = 1'-0"



FLOOR FINISH PER OWNER - REFER TO PLANS - ALL FLOOR FINISHES TO BE INSTALLED PER MFR.'S WRITTEN INSTRUCTIONS SO THAT FULL WARRANTIES SHALL BE APPLICABLE

OVER MIN. 10 MIL VAPOR BARRIER OVER MIN. 4" THICK COMPACTED GRAV FILL OVER UNDISTURBED SOIL - TAPE SEAMS OF VAPOR BARRIER - REFER STRUCTURAL DWGS. - PROVIDE CONTROL JOINTS PER STRUCTURAL DWGS EXPOSED CONCRETE FLOOR TO BE SEALED AT ALL UNFINISHED LOCATION

MAIN FLOOR ASSEMBLY CONCRETE SLAB ON GRADE

WINDOW SCHEDULE				
NO.	WINDOW SIZE	WINDOW TYPE	FRAME TYPE	FIRE RATING
A	10'-0" x 7'-0"	PICTURE	ALUM.	-
В	3'-0" x 2'-10"	TRANSOM	ALUM.	-

				DC	
NO.	DOOR				
	SIZE	TYPE	MAT'L	FI	
1	10'-0" x12'-0" x1 3/4"		HM	PA	
2	6'-0" x6'-8" x1 3/4"	A	HM	PA	
3	3'-0" x6'-8" x1 3/4"	A	HM	PA	
4	3'-0" x6'-8" x1 3/4"	A	HM	PA	
5	3'-0" x6'-8" x1 3/4"	A	HM	PA	
6	3'-0" x6'-8" x1 3/4"	A	HM	PA	
7	3'-0" x6'-8" x1 3/4"	A	HM	PA	
8	3'-0" x6'-8" x1 3/4"	A	HM	PA	
9	3'-0" x6'-8" x1 3/4"	A	HM	PA	
10	10'-0" x12'-0" x1 3/4"		HM	PA	

EXHIBIT C

Depiction of Existing Metro Sign

(See Attached)

.

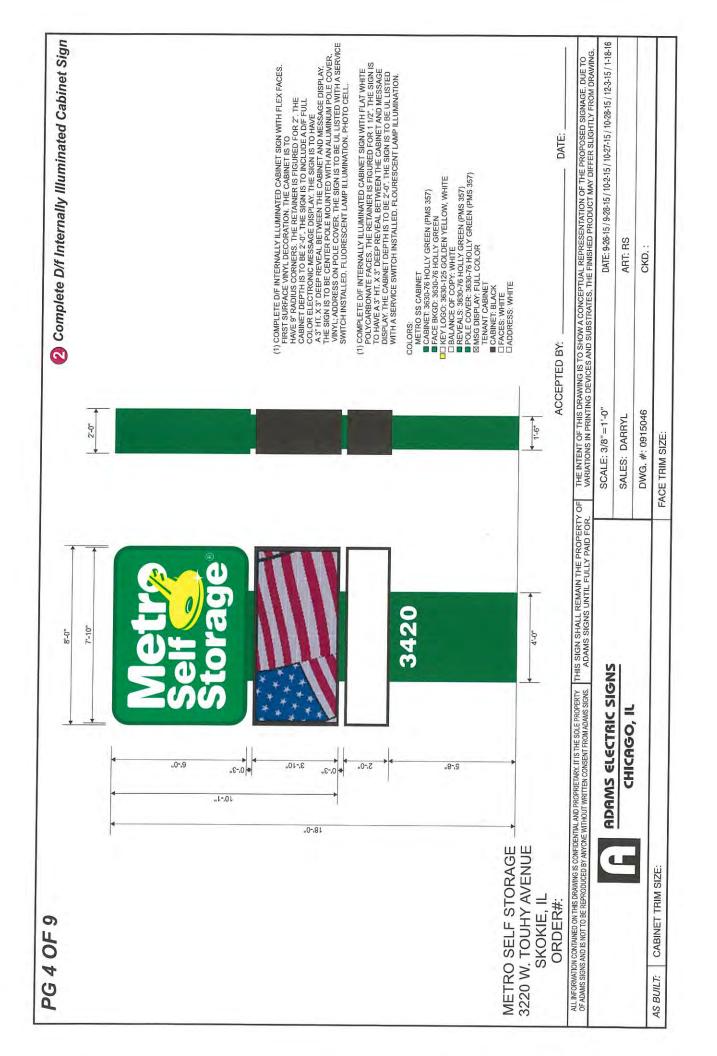


EXHIBIT D

Nappa Car Wash Signage Plan

(See Attached)

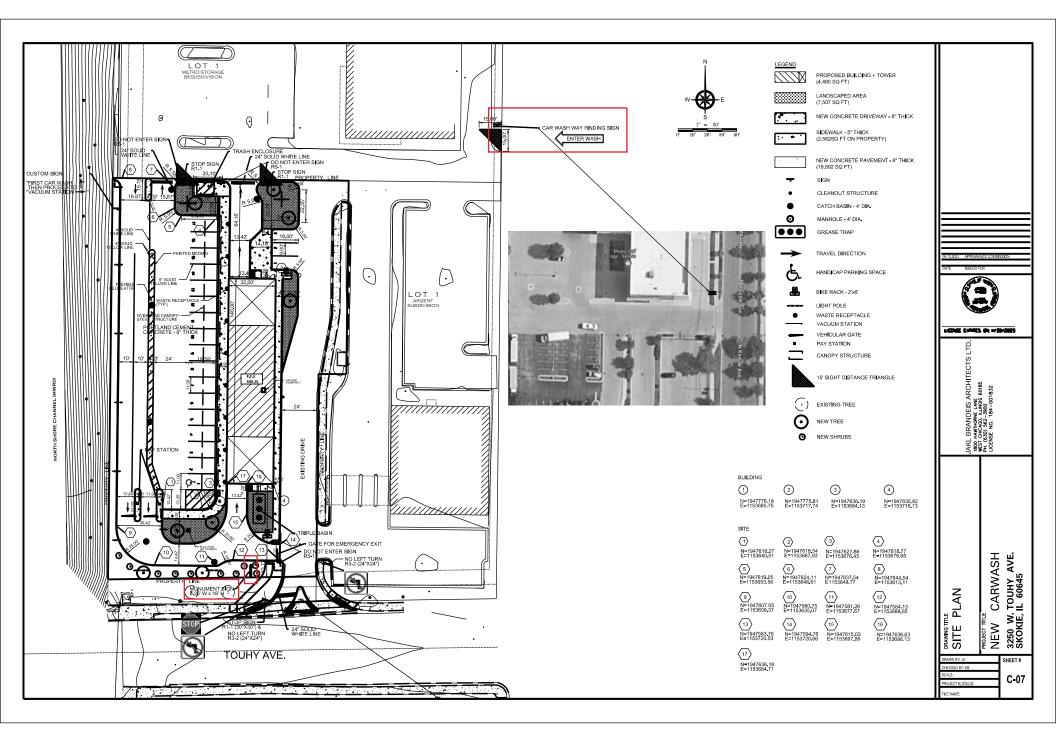


EXHIBIT E

Depiction of New Monument Sign

(See Attached)

EchibilA Nappa Car Wash - Monument 99 in-Merrio Self in 60 IN Storage Actual display area is 96" x 72" 216 in 77 in 48 sq ft electronic display center Nappa Car Wash 73 in

Signature:

Date:



define and Luist received area for the for an end of the device of the Consected devices of the source end of the consected of the source of t

Drawing monument revA Project Wash U Skokie Date 6/19/2018 1.0 rjsjr

EXHIBIT F

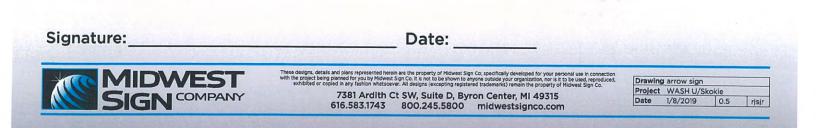
Depiction of Directional Sign

(See Attached)

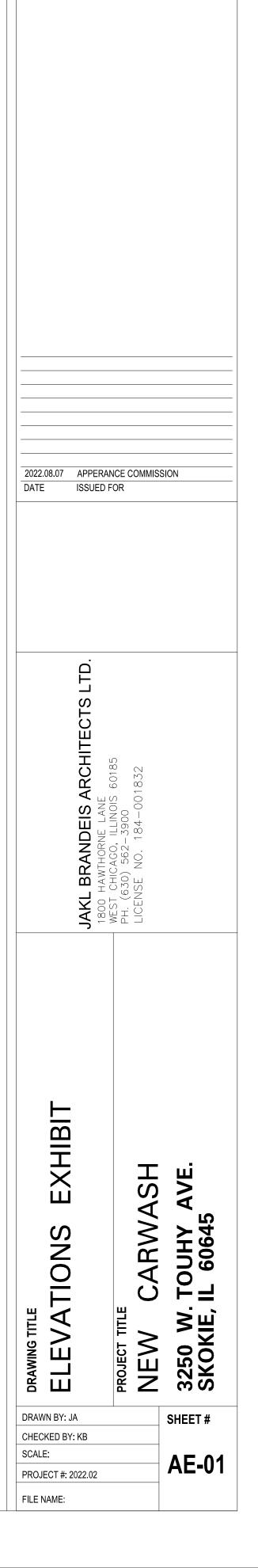
.



2-sided internally illuminated sign, 4 sf









TOWER ELEVATION



BUILDING ELEVATION

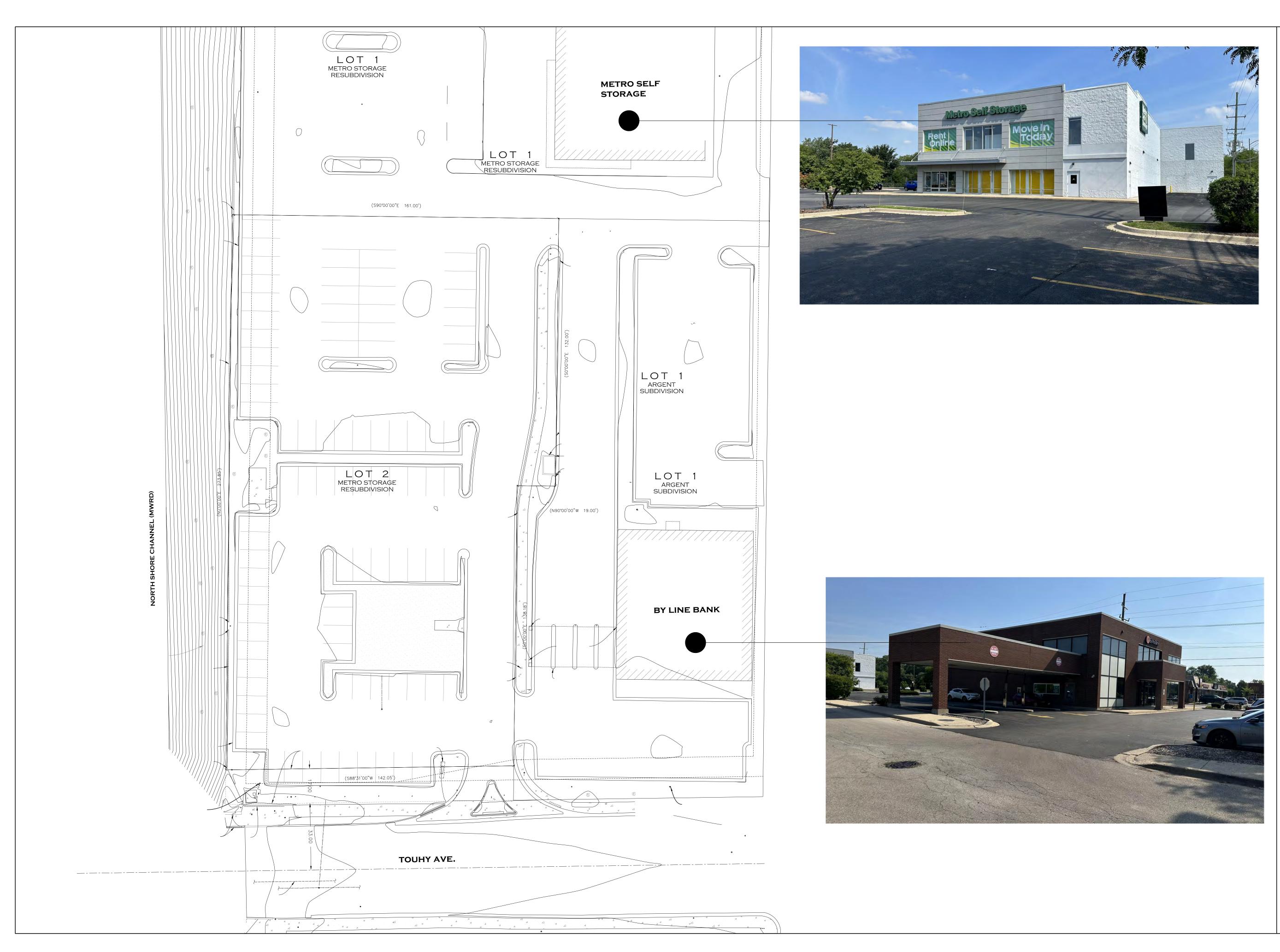


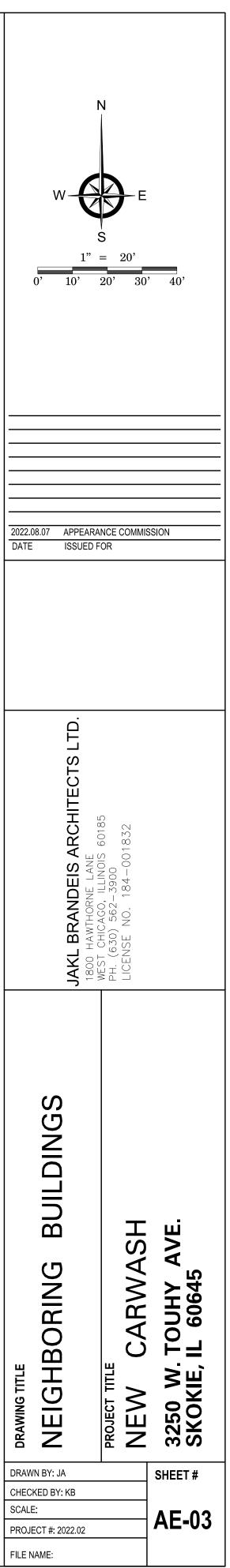
VACUUM STATION

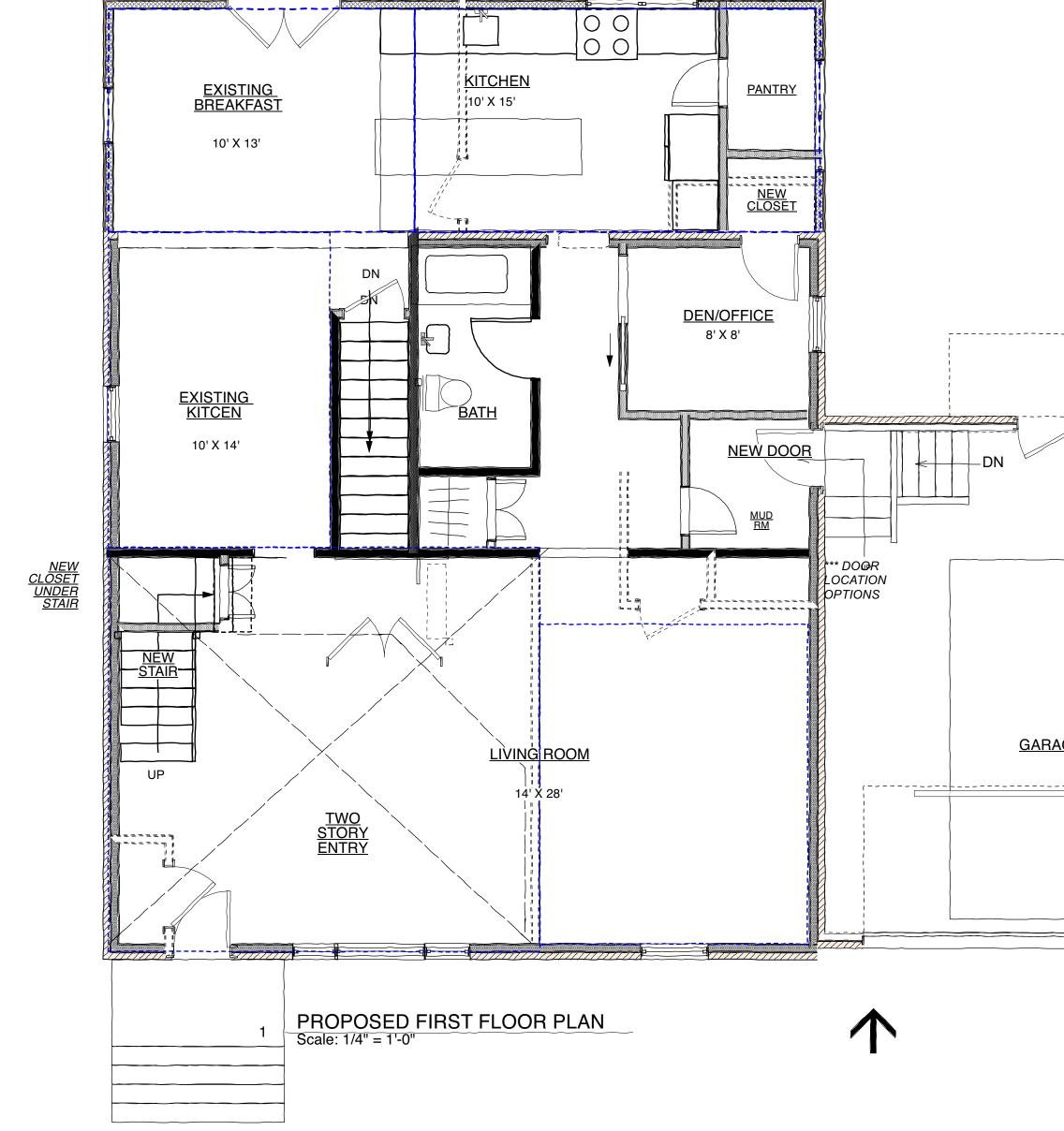


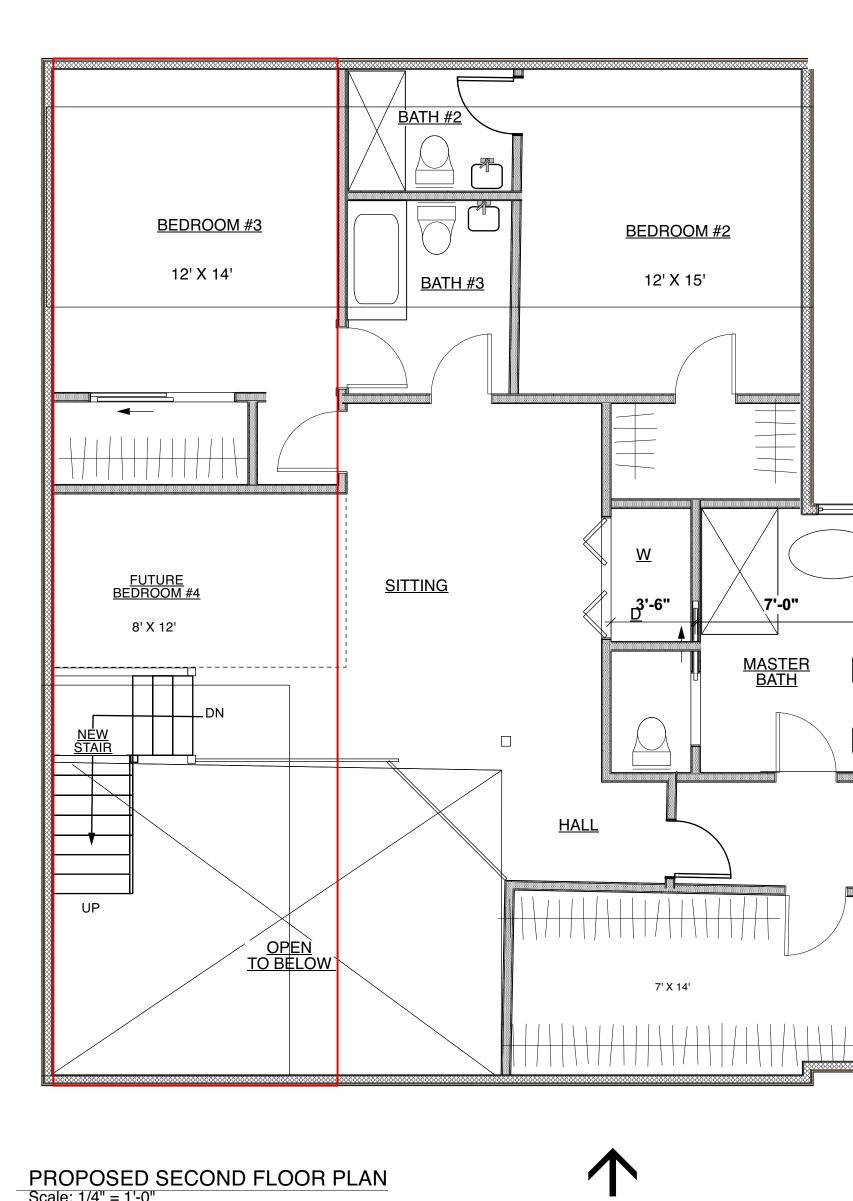
VACUUM STATION

BRANDEIS ARCHITECTS LTD. BRANDEIS ARCHITECTS LTD. AWTHORNE LANE AMTHORNE LANE AMTHORNE LANE AMATHORNE LAN		
JAKL BAR BRAMN BY: JA CHECKED BY: KB SCALE: PROJECT #: 2022.02 FILE NAME:	PROJECT TITLE NEW CARWASH	3250 W. TOUHY AVE. * SKOKIE, IL 60645 * TETHE

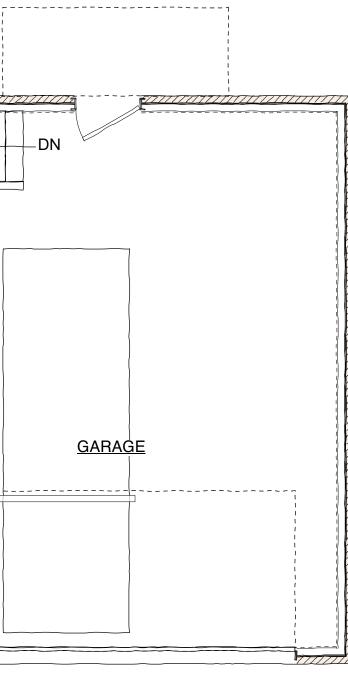


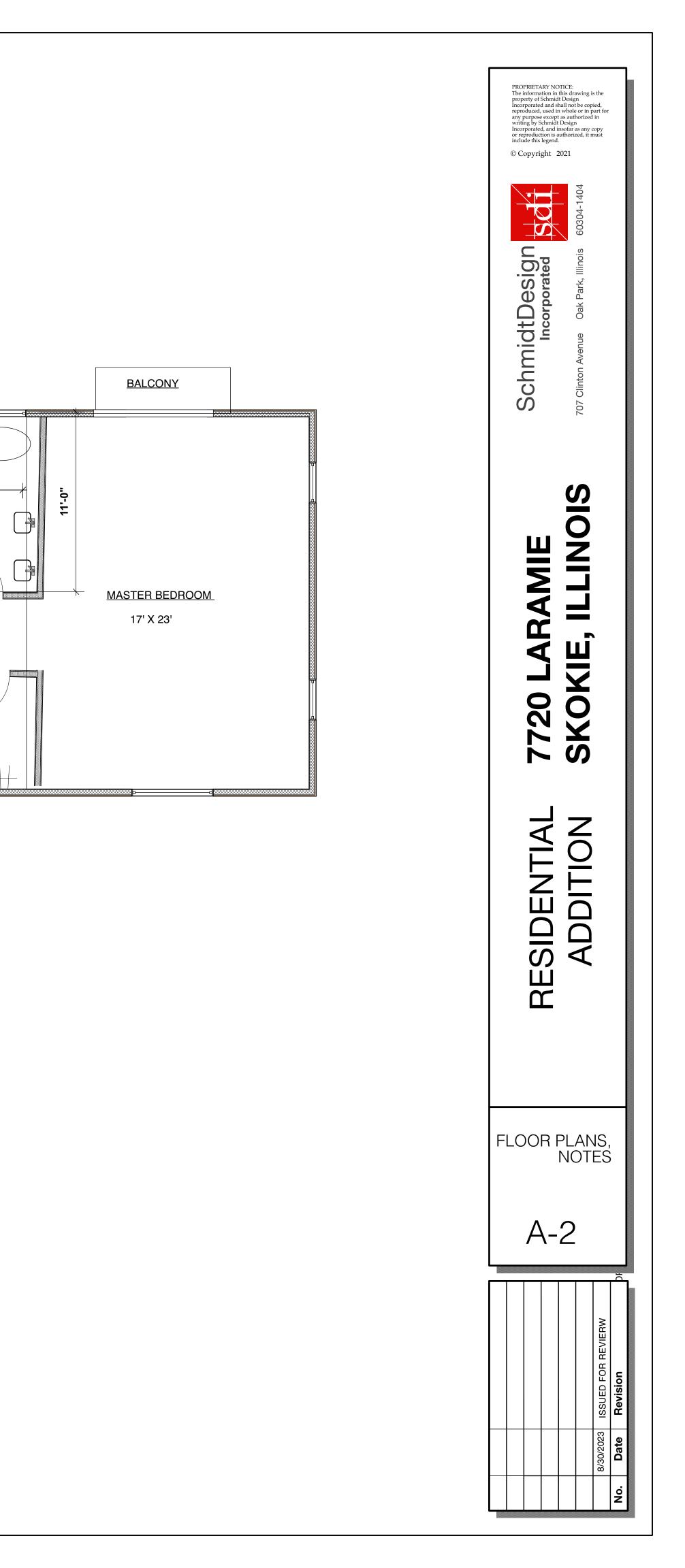






2 PROPOSED SECOND FLOOR PLAN Scale: 1/4" = 1'-0"













STREET VIEW

STREET CORNER VIEW



PROJECT ADDRESS :

7720 LARAMIE SKOKIE, ILLINOIS

SITE PHOTOS



STREET VIEW

