

Meeting Agenda
Skokie Appearance Commission
Wednesday, October 11, 2023 at 7:30 P.M.
Village of Skokie
5127 Oakton Street
Skokie, IL 60077

I. Call to Order

II. Roll Call

III. Approval of Minutes from September 13th Meeting

IV. New Business

a. Consideration of a Certificate of Appropriateness for Residential Properties:

2023-032A – 7525 Lowell Ave. Applicant: Kendall & Nicole Meyer Owner: Kendall & Nicole Meyer Request: New Detached Garage
2023-036A – 8951 Lincolnwood Dr. Applicant: Mark Golan Owner: Allen & Edie Chernoff Request: 1 st and 2 nd Floor Residential Addition
2023-038A – 9015 Keeler Ave. Applicant: Dani Alexa Owner: Judy Daniels Request: New Detached Residence

b. Consideration of a Certificate of Appropriateness for Non-Residential Properties:

2023-035A – 4605 Golf Rd. Applicant: Enrique Castel Owner: Golf Medical LLC Request: Non-Residential Facade
2023-037A – 5110 Brown St. Applicant: Edward Yung Owner: Avram Bogojel Request: 2 nd Floor Residential Addition
2023-039A- 4043 Main St. Applicant: Mohammed Haseeb Owner: Tsant LLC Request: Commercial Facade

V. Old Business

a. Consideration of a Certificate of Appropriateness for Residential Properties:

2022-067A – 4600 Main St.

Applicant: Arie Crown Hebrew Day School

Owner: Luz & Associates #1LLC

Request: New Residential Development

VI. Public Comment (for non-agenda items)

VII. Adjourn

Appearance Commission Meeting Minutes

Date: September 13, 2023

A motion was made by Commissioner Maschek to approve the minutes of the April 26, 2023 meeting and seconded by commissioner Naumiak. All members voted aye.

Case 2023-031A – 9248 Karlov Ave- Façade & Roof Alteration

Discussion and Interested Parties

Commissioner DaMario read Staff comments into record.

Architect, Nathan Kriska, said that the picture window will be removed and converted to new garage door. The roof line will continue from the existing house and materials will match existing. The trellis and deck in the front will have a similar one added to the back.

Mr. Kriska is requesting two options for approval.

Commissioner Maschek thanked the architect for not creating a huge house and overall liked the improvements.

Recommendation and Voting

A motion was made to grant a Certificate of Appropriateness to approve as Presented with the option to add the covered porch expansion in the rear if desired. The vote was unanimous.

Motion: Maschek Second: Naumiak

Ayes: 7

Nays: 0

Absent: 0

Case 2023-033A – 9100 Kenton Ave- 1st & 2nd floor Addition

Discussion and Interested Parties

Commissioner DaMario read Staff comments into the record.

EJ Fernandez is the architect and was present.

Mr. Fernandez stated that the street facing elevation has stone masonry that has been added and referenced the 50% masonry requirement on the east façade. He added that a house across the street has a double story house with masonry and brick as well.

A revised plan was submitted at the hearing. Mr. Fernandez said that a symmetrical design has been provided by removing the pillars from the canopy and reduced the length of it as well to satisfy zoning regulations.

Chairman Lynk asked if the front porch roof ties into the house.

Mr. Fernandez responded yes.

Chairman Lynk noted that brick appears odd being continued above the garage door.

Commissioner Mascheck stated that he understood the Staff comments and likes how the comments have been addressed with the changes to the masonry.

Commissioner Maschek asked if there is a setback on the garage.

Mr. Fernandez replied yes and said that it is about 5'.

Commissioner Maschek said it is better with brick going all the way up because it solves the problem with the addition line.

Chairman Lynk asked what is underneath the bay window.

Mr. Fernandez stated that it is an existing window to the sub-basement.

Commissioner Shah asked what kind of garage door will be used.

Mr. Fernandez stated that it has yet to be determined.

Commissioner Maschek stated that this updated proposal is a huge improvement from the first. Maschek added that the top floor is on top of the split level and it makes the proportions difficult to understand due to a lack of eaves on the

house.

Mr. Fernandez replied that this is because they want to preserve as much of the existing house as possible and that the house is not proportional as is.

Commissioner Maschek pondered whether mimicking the existing eaves on the house would put the house above its maximum height.

Chairman Lynk asked for the proposed height as well as maximum height permitted.

Staff responded that proposed is 29.8' and that they think 30' is maximum allowed in the district.

Commissioner Maschek said an additional overhang would likely lead to exceeding the height maximum.

Chairman Lynk said that he believes the street facing elevations are fine but agrees with Maschek that the proportions of the garage door appear awry. He asked the architect if it may be attributed to the drawings.

Mr. Fernandez agreed.

Commissioner Naumiak stated that the proposed design will make a big difference to the house.

Commissioner Maschek asked about the materials of the siding.

The architect stated that the siding will be of wood composite material.

Recommendation and Voting

A motion was made to grant a Certificate of Appropriateness to approve as presented. The vote is unanimous.

Motion: Naumiak Second: Klein

Ayes: 7

Nays: 0

Absent:

Case 2023-030A – 10001 Skokie Blvd- Penny Mustard Furnishings Non-Residential Façade

Discussion and Interested Parties

Commissioner DaMario read Staff comments into the record.

Commissioner Naumiak said that the changes looks nice.

Chairman Lynk asked if this was the old furniture store, Ethan Allen. This was affirmed.

The architect, Nathan Kriska, stated that there were not many changes made aside from black canopies and adding stained glass. He added that the work was done under a sign permit, but that Staff requested Appearance Commission.

Chairman Lynk asked what needed to be approved.

Mr.Kriska responded colors, signage and veneer on the existing columns.

Staff stated that the current rendering has already been changed and searched for a photo of the previous look.

Commissioner Maschek added that the Ethan Allen sign looks to be the same size as the current sign.

Commissioner Naumiak asked what the color of the lettering is.

Mr.Kriska responded white.

Recommendation and Voting

A motion was made to grant a Certificate of Appropriateness to approve as presented. The vote is unanimous.

Motion: DaMario Second: Naumiak

Ayes: 7

Nays: 0

Absent: 0

Case 2023-028A – 9300 Skokie Blvd- Non-Residential Façade

Discussion and Interested Parties

Commissioner DaMario read Staff comments into record.

The architect presented the case and said that the space is a vacant restaurant.

Chairman Lynk added that it's the old Eduardo's restaurant.

The architect said that he is planning on putting a new façade on the south store front. He also mentioned that the windows on the 2nd floor would be removed and smoothed over with Eifs material and manufactured white stone. The rest of the design would be painted with the Hassleless Mattress brand coloring.

The architect added that based on odor, the 2nd floor had likely been out of use for a long time and that it would be abandoned.

Chairman Lynk said that he would not vote for the proposed colors because it does not fit with the rest of the mall.

A representative from Hassleless Mattress stepped up and stated that the renderings shown are not representative of the actual color. She handed out additional renderings.

Chairman Lynk stated that he is in favor of closing off the 2nd floor windows. He asked where the signage was.

Staff added that there are two proposed signs; one facing east and one facing south. Signage is by right if it meets code.

Chairman Lynk asked Staff to show an elevation of the mall.

Commissioner Maschek stated that there seems to be a consistent parapet wall along the mall along with a mix of beige and grey colors.

Chairman Lynk pondered why there would be an awning facing east without purpose. Commissioner Naumiak agreed.

The architect said the space is on a corner and that the awnings are not meant to provide cover.

Chairman Lynk said that he may be agreeable to replacing existing awnings in the new color but not adding the one on the east face.

Commissioner Naumiak asked why the parapet color was being changed.

The architect replied that it would not be changed.

Commissioner Maschek stated that if the green is a little bit darker than what is appears to be on the rendering it may be ok to go along with the branding.

A different representative from Hassleless Mattress commented that he feels it is important to have the additional awning above the entrance so that customers know where to enter.

Chairman Lynk asked if the awnings are part of the sign. The representative added that the awnings are part of their identity.

Commissioner DaMario agreed with Chairman Lynk but added that he may be ok with the new awning on the corner if it were on the same elevation with the existing awnings. He also said that they can use signage to attract attention.

Commissioner Maschek stated that there is an existing awning under the overhang. He said that there is an ability to do something below the overhang.

Chairman Lynk asked Commissioner Maschek if he is suggesting changing the awning under the overhang to the new color. Commissioner Maschek replied that it does not necessarily have to be an awning.

Chairman Lynk asked if the applicant is willing to amend the design to do an awning below the overhang and only above the four panel windows.

Commissioner Naumiak added that it would still be visible.

Recommendation and Voting

A motion was made to grant a Certificate of Appropriateness to Approve with Conditions that the canopy on the Skokie Blvd side be placed underneath the arcade overhang above the four-pane retail glass.

The vote is unanimous.

Motion: Maschek Second: Pathak

Ayes: 7

Nays: 0

Absent: 0

Case 2023-027A – 4832 Main St- Non-Residential Façade

Discussion and Interested Parties

Commissioner DaMario read Staff comments into record.

Chairman Lynk said he had no comment on the proposal.

Commissioner DaMario asked what the changes are.

The petitioner said that rotting wood was being replaced.

Chairman Lynk added that there is a new little window being added.

Recommendation and Voting

A motion was made to grant a Certificate of Appropriateness to approve as presented. The vote is unanimous.

Motion: Shah Second: Naumiak

Ayes: 7

Nays: 0

Absent: 0

Case 2023-034A- 8057 Niles Center Rd Non-Residential Addition

Discussion and Interested Parties

Chairman Lynk asked if the proposed elevation is going on the back.

Commissioner Naumiak responded that it will be on the east side of the building.

There was no further discussion on the case.

Recommendation and Voting

A motion was made to grant a Certificate of Appropriateness to Approve as Presented. The vote is unanimous.

Motion: Klein Second: Naumiak

Ayes: 7

Nays: 0

Case 2023-029A- 3250 Touhy Ave- Non-Residential New Building

Discussion and Interested Parties

Commissioner DaMario read Staff comments into the record.

Staff added that the ordinance for a special use permit for a carwash had previously been approved for the site but has since lapsed.

The applicant described the renderings in the packet.

Chairman Lynk asked the applicant if he owns several of these carwashes and whether they are similar in design.

The applicant responded yes.

The applicant said that the car wash will be white.

Chairman Lynk asked if it was white or cream.

The applicant responded it will be an off white.

Recommendation and Voting

A motion was made to grant a Certificate of Appropriateness to Approve as Presented. The vote is unanimous.

Motion: Pathak Second: Klein

Aye: 7

Nay: 0

Absent: 0

Old Business

Case 2023- 024A- 7720 Laramie Ave 2ND Floor Residential Addition

Discussion and Interested Parties

Commissioner DaMario read Staff comments into record.

The architect showed the proposed siding material hardy board and said that the 50% masonry requirement has been addressed.

Commissioner Maschek said he likes the changes. He asked if the window below the balcony is set back from the garage elevation.

The architect responded yes.

Commissioner Maschek wanted verification that the proposed stone would be real.

The architect responded yes.

Commissioner DaMario asked if previous comments about canopies over the front and garage doors have been addressed.

The architect said they would like to keep the standing seam.

Commissioner DaMario asked about the railing materials and what kind of metal would be used.

The architect said that had not yet been determined.

Recommendation and Voting

A motion was made to grant a Certificate of Appropriateness to Approve as Presented. The vote was unanimous.

Motion: Maschek Second: Naumiak

Aye: 7

Nay: 0

Absent: 0

MEMORANDUM
Community Development Department

To: Michael Lynk, Appearance Commission Chair
Appearance Commission Members

From: Brian J Augustine, Zoning Administrator/Permit Supervisor
Nasko Pelinkaj, Building & Zoning Division Coordinator
Justin Malone, Neighborhood Services Coordinator
Paul Reise, Planning Manager

Date: October 11, 2023

SUBJECT: APPEARANCE COMMISSION STAFF REPORT

Staff offers the following comments on the cases scheduled for the October 11, 2023, Appearance Commission meeting:

NEW BUSINESS:

RESIDENTIAL REQUESTS

2023-032A 7525 Lowell Ave – This request is before the Appearance Commission because the garage was constructed in violation of the approved plans and the height regulations in the Zoning Ordinance. In order to apply for a height variation, the Appearance Commission is required to grant a certificate of appropriateness first.

Staff has no objections to the look of the garage. Staff only objection is the height of the building.

2023-036A 8951 Lincolnwood Dr – Staff has no objections to the proposed addition as long as the materials of the addition match the existing house. The addition matches the style of the home nicely.

2023-038A 9015 Keeler Ave – Staff has no objections to overall design of the new detached residence. Staff likes the large windows facing the street, the mix of brick and stone and the variation in depth of the front elevation. In the rendering the brick color appears to be closer to a gray or purple, but on the material sheet the brick appears to be black. The applicant will need to clarify the exact color at the meeting. Staff feels the front column appears a little bulky and the applicant may consider thinning it.

The zoning worksheet provided appears to be incorrect regarding the driveway size. Staff will verify the numbers when the permit is submitted for review.

NON-RESIDENTIAL REQUESTS

2023-035A 4605 Golf Rd – Staff has no objections to the proposed changes as long as the changes are similar to the photographs at the end of the presentation. Staff prefers the stone base and metal panels to the previously submitted brick and EIFS façade.

2023-037A 5110 Brown St – Staff is not in favor of the proposed addition and façade changes. The proposed changes appear to conflict with Section 118-182 Design Guidelines. The proposed aluminum siding looks like something that would be used on a detached garage and not a mixed-use building in the downtown area. The window placement appears irregular. The cantilever on the west side of the building looks out of place and makes the building look off-balance.

Land Use and Permit Comments: The proposed addition may trigger the need for a site plan approval, this is due to the addition on a non-conforming building. The proposed driveway on the west side of the building may not be allowed. The building will need to be fully sprinkled due to the addition and remodeling.

Staff recommends the applicant submit for a preliminary plan review for a full staff analysis and a complete re-design of the addition/façade.

2023-039A 4043 Main St – Staff objects to the proposed wall addition to the front façade. The wall is out of scale with the existing building and it now appears to be top heavy. The proposal has three wall signs, where only two are only permitted by right.

Staff is in favor of improving the façade of older buildings, but a shorter wall (3 – 4 feet tall) would be more in line with the scale of the existing building. Staff also recommends only one sign per business and signs that meet the size requirements of the sign code.

OLD BUSINESS

RESIDENTIAL REQUEST

2022-067A 4600 Main St - Staff finds that the buildings include a color palate that is comparable to the surrounding neighborhood with light bricks in red and yellow and also introduces a new white fiber cement panel material to the property to break up the buildings' structure.

The addition of the blue front doors to the design clearly indicate the individual entrances to the property and start to build identity to the block that provides transition between multi-family buildings on the south side of Main Street and the single-family homes to the north. The awnings over each door help to further establish a neighborhood fabric along Main Street. The large windows help enliven the street and create transparency that further breaks up the facades of the buildings. The interior green space is a welcome addition and modification to the plan and is an opportunity to plant additional native plants and greenery.

Staff recommends preservation of additional trees and site accommodations where possible (e.g. moving walkways) to preserve the larger established trees [#12 and #13] on the site plan.



Village of Skokie APPEARANCE COMMISSION APPLICATION

Community Development Department - Building & Zoning Division
5127 Oakton St. Skokie, IL 60077
Phone 847/933-8223 Fax 847/933-8230

The Appearance Commission meets the 2nd Wednesday of each month at 7:30 p.m.

Until further notice, applications will only be accepted in a PDF format.

APPLICATION DATE: 8-27-2023

APPLICATION TYPE (Please check all that apply):

New Construction 1st Floor Addition 2nd Floor Addition Façade Signage Other

LAND USE:

Single Family Residential Multifamily Residential Mixed Use Commercial Industrial Other

SUBJECT ADDRESS: 7525 Lowell, Skokie, IL 60076

Please print legibly.

OWNER INFORMATION:

NAME(S): Kendall + Nicole Meyer

ADDRESS: 7440 Tripp Ave

CITY, STATE ZIP: Skokie, IL 60076

PHONE#: 847 414 9695

EMAIL: Kendall@meyerguild.com

AGENT/PETITIONER INFORMATION (if other than owner):

NAME(S): NA

DAYTIME PHONE #: _____

ADDRESS: _____

CITY, STATE ZIP: _____

EMAIL: _____

SIGNATURE: _____

Please submit the following PDFs to appearance@skokie.org to complete your digital-only application:

- Elevations, floor plans, and site plans. Scale 1/4" = 1'-0" is preferred, but not required. If the file size is greater than 5MB, multiple emails are allowed. Ensure "Appearance Commission PDF" and the project's property address are in the subject line of the email. Color elevations or one color rendering is required.
- Completed Zoning Information Worksheet (residential projects only) -
- Photographs (all sides of the subject building and the fronts of neighboring buildings) ★
- Excerpts of brochures and/or cut sheets of new materials and colors proposed for the project. Matching existing materials and colors can be confirmed with the submitted photographs.
- Plat of Survey

*** The Building, Zoning, will not take in or hold material or color samples. ★

*** Visit <https://www.skokie.org/357/Appearance-Commission> to access the staff report prior to the meeting.

Fee Schedule

Residential Site (new) ...	\$100 plus \$50.00 per unit
Non-Residential Site* (new) ...	\$100 plus \$50.00 per 1,000 square feet (based on square footage of building)
* Any non-residentially zoned site (Business, Industrial, Mixed-Use districts)	
Any Other Appearance Review (Additions, Façade, Sign Package, etc.) ...	\$50.00
If you have already paid for a preliminary plan review there is no charge.	

For Office Use Only:

Case Number _____ Meeting Date _____

Acct # NR Amt \$ _____ Cash / Credit Card/ Check # _____

Any required fees or monies owed by the applicant to the Village must be paid as a condition of approval.

2023 Appearance Commission Schedule

<u>Meeting Date</u>	<u>Submittal Deadline</u>
January 11, 2023	December 28, 2022
February 8, 2023	January 25, 2023
March 8, 2023	February 22, 2023
April 26, 2023	April 12, 2023
May 10, 2023	April 26, 2023
June 14, 2023	May 31, 2023
July 12, 2023	June 28, 2023
August 9, 2023	July 26, 2023
September 13, 2023	August 30, 2023
October 11, 2023	September 27, 2023
November 8, 2023	October 25, 2023
December 20, 2023	December 6, 2023

PROFESSIONALS ASSOCIATED SURVEY, INC.

PROFESSIONAL DESIGN FIRM NO. 184-003023

7100 N. TRIPP AVENUE
LINCOLNWOOD, ILLINOIS 60712
www.professionalsassociated.com

TEL: (847) 675-3000
FAX: (847) 675-2167

e-mail: pa@professionalsassociated.com

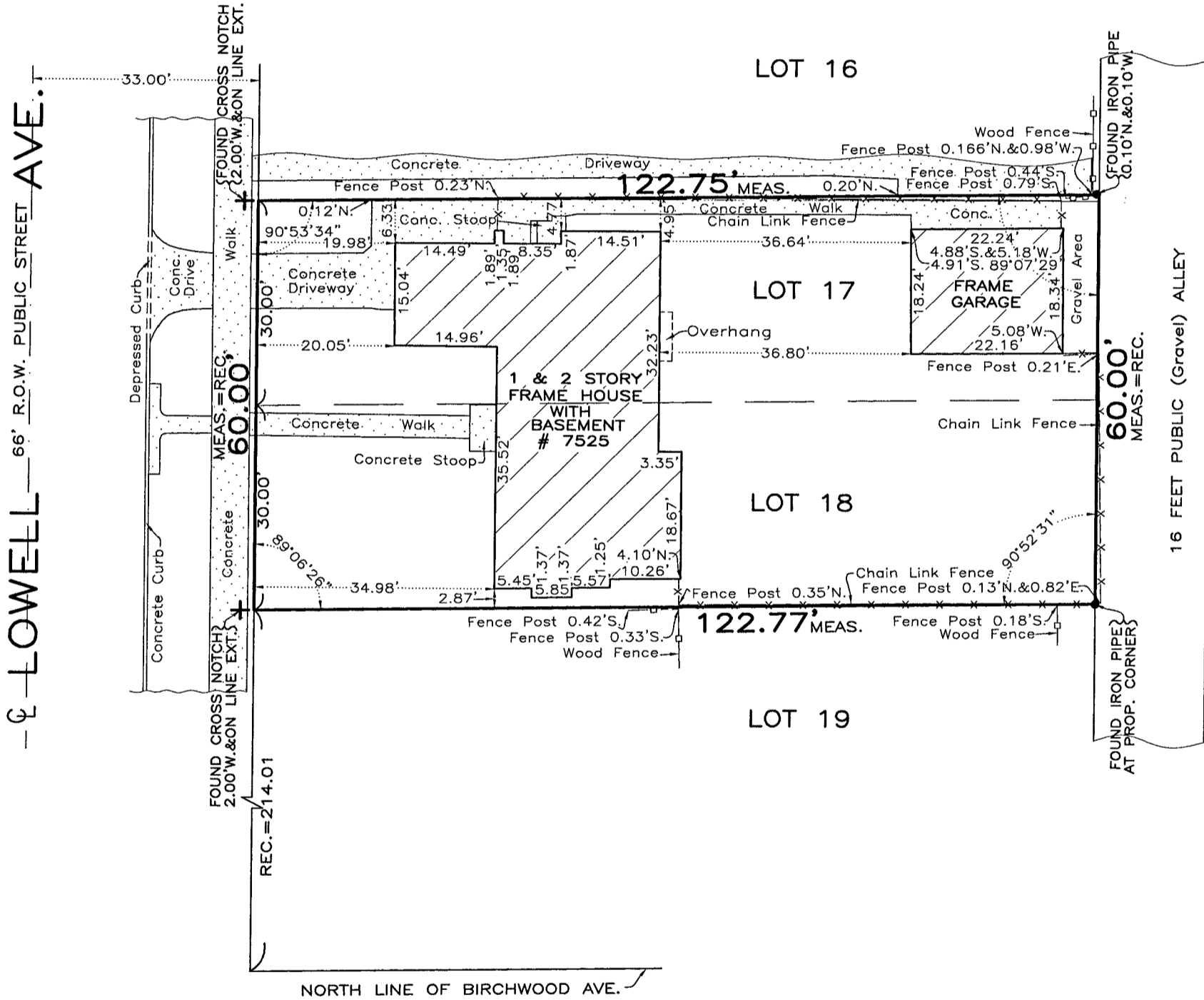
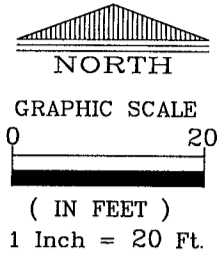
PLAT OF SURVEY

OF

LOTS 17 AND 18 IN BLOCK 5 IN ARTHUR MICHEL AND COMPANY'S HOWARD "L" SUBDIVISION BEING A PART OF THE SOUTHEAST QUARTER OF SECTION 27, TOWNSHIP 41 NORTH, RANGE 13, EAST OF THE THIRD PRINCIPAL MERIDIAN, IN THE COOK COUNTY, ILLINOIS.

LAND TOTAL AREA: 7,365 SQ. FT. = 0.169 ACRE.

COMMONLY KNOWN AS: 7525 LOWELL AVENUE, SKOKIE, ILLINOIS.



THE LEGAL DESCRIPTION SHOWN ON THE PLAT HEREON DRAWN IS A COPY OF THE ORDER, AND FOR ACCURACY SHOULD BE COMPARED WITH THE TITLE OR DEED. DIMENSIONS ARE NOT TO BE ASSUMED FROM SCALING. BUILDING LINES AND EASEMENTS ARE SHOWN ONLY WHERE THEY ARE SO RECORDED IN THE MAPS, OTHERWISE REFER TO YOUR DEED OR ABSTRACT.

Order No. 21-99210

Scale: 1 inch = 20 feet.

Date of Field Work: December 1, 2021.

Ordered by: MEYER CONSTRUCTION GUILD, INC.



THIS PROFESSIONAL SERVICE CONFORMS TO THE CURRENT ILLINOIS MINIMUM STANDARDS FOR A BOUNDARY SURVEY.

THIS SURVEY HAS BEEN ORDERED FOR SURFACE DIMENSIONS ONLY, NOT FOR ELEVATIONS. THIS IS NOT AN ALTA SURVEY.

COMPARE ALL POINTS BEFORE BUILDING BY SAME AND AT ONCE REPORT ANY DIFFERENCE.

State of Illinois s.s.
County of Cook

We, PROFESSIONALS ASSOCIATED SURVEY INC., do hereby certify that we have surveyed the above described property and that, to the best of our knowledge, the plat hereon drawn is an accurate representation of said survey.

Date: December 6, 2021

Hylton E. Donaldson
IL. PROF. LAND SURVEYOR - LICENSE EXP. DATE NOV. 30, 2022.
Drawn By: ZZ



ZONING INFORMATION WORKSHEET

Please provide the following information for all permits involving new single-family dwellings, single-family additions or accessory structures in the R1 or R2 Single-Family districts.
FORM MUST BE COMPLETED IN FULL.

ADDRESS _____ **ZONING DISTRICT** _____

LOT INFO _____ x _____ = _____ (This # goes on lines 1, 2, and 3)
(LOT WIDTH) (LOT DEPTH) (TOTAL LOT AREA)

	TOTAL LOT AREA	ALLOWED	PROPOSED	DIFFERENCE BETWEEN ALLOWED & PROPOSED
BUILDING AREA	_____ (1) x .40 = _____	_____	_____ (4)	+ / - _____
IMPERMEABLE AREA	_____ (2) x .50 = _____	_____	_____ (5)	+ / - _____
FLOOR AREA	_____ (3) x .60 = _____	_____	_____ (6)	+ / - _____

AREA	EXISTING AREA	NEW AREA	PROPOSED
BASEMENT (50% above grade)	_____ + _____	_____ =	0.00 (A)
1ST FLOOR (Include attached garage carport, covered porch, etc)*	_____ + _____	_____ =	_____ (B)
2ND FLOOR *	_____ + _____	_____ =	_____ (C)
ATTIC (6'-9" OR GREATER) (2 nd Floor top plate to top of roof)	_____ + _____	_____ =	_____ (D)
ACCESSORY BUILDINGS (Detached garage, shed, etc.)	_____ + _____	_____ =	_____ (E)
DRIVEWAY/APRON	_____ + _____	_____ =	_____ (F)
SIDEWALK & PATIO	_____ + _____	_____ =	_____ (G)

* Any ceiling height 16 feet in height or greater will count twice.

PROPOSED BUILDING AREA (Add lines B & E) = _____ (This # goes on line 4)

PROPOSED IMPERMEABLE AREA (Add lines B, E, F, & G) = _____ (This # goes on line 5)

PROPOSED FLOOR AREA (Add lines A, B, C, D, & E) = _____ (This # goes on line 6)

REAR YARD COVERAGE FOR ACCESSORY BUILDINGS:

_____ x _____ = _____ x .30 = _____
(rear yard width) (rear yard depth) (rear yard) (allowed) (proposed buildings in rear yard)
 Rear yard is measured from the rear wall of the principal building to the rear lot line and from side lot line to side lot line.

The undersigned hereby acknowledges the accuracy of the above information and accepts full responsibility for any discrepancies or inaccuracies.

 Signature

 Date

 Reviewed by Community Development Department

 Date

R1 SINGLE-FAMILY DISTRICT

Village Code Section

- 118-111 (3) Building Height
- a. Detached residences with a lot width less than 60 feet the structure shall not exceed 28 feet. The distance from grade to the top of the eave, or top of beam for a flat roofed structure, shall not exceed 23 feet.
 - b. Detached residences with a lot width between 60 and 85 feet the structure shall not exceed 30 feet. The distance from grade to the top of the eave, or top of beam for a flat roofed structure, shall not exceed 23 feet.
 - c. Detached residences with a lot width greater than 85 feet the structure shall not exceed 32 feet. The distance from grade to the top of the eave, or top of beam for a flat roofed structure, shall not exceed 23 feet.
- * Subject to Appearance Commission Approval
- 118-111 (5) Front Yard – The minimum front yard shall be 25 feet in depth.
- 118-74 In the event that 40% or more of the lots fronting one side of a street within a block have established building setbacks, of a depth other than required for a front yard by the zoning district in which the lot is located, it will be necessary to check with a building official.
- 118-111 (6) Side Yards
- a. Detached residences with a lot width less than 85 feet – 2 side yards, neither of which is less than 6 feet in width.
 - b. Detached residences with a lot width equal to or greater than 85 feet shall have combined side yards equal to 20 percent of the lot width, and neither yard shall be less than 9 feet in width.
 - e. A yard abutting a street – shall not be less than 17 feet, except if a corner lot of record on the effective date of his ordinance has insufficient width to provide such yard and still to maintain a buildable width of 20 feet, excluding the yard along the interior side lot line, then the side yard abutting the street may be reduced in width by the distance necessary to maintain such buildable width of 20 feet of building.

R2 SINGLE-FAMILY DISTRICT

- 118-112 (3) Building Height
- a. Detached residences with a lot width less than 45 feet the structure shall not exceed 26 feet. The distance from grade to the top of the eave, or top of beam for a flat roofed structure, shall not exceed 23 feet.
 - b. Detached residences with a lot width between 45 feet and 60 feet the structure shall not exceed 28 feet. The distance from grade to the top of the eave, or top of beam for a flat roofed structure, shall not exceed 23 feet.
 - c. Detached residences with a lot width greater than 60 feet the structure shall not exceed 30 feet. The distance from grade to the top of the eave, or top of beam for a flat roofed structure, shall not exceed 23 feet.
- * Subject to Appearance Commission Approval
- 118-112 (5) Front Yard – The minimum front yard shall be 25 feet in depth.
- 118-74 In the event that 40% or more of the lots fronting one side of a street within a block have established building setbacks, of a depth other than required for a front yard by the zoning district in which the lot is located, it will be necessary to check with a building official.
- 118-112 (6) Side Yards
- a. Detached residences with a lot width less than 70 feet – 2 side yards, neither of which is less than 4 feet in width.
 - b. Detached residences with a lot width equal to or greater than 70 feet shall have combined side yards equal to 20 percent of the lot width, and neither yard shall be less than 7 feet in width.
 - e. A yard abutting a street – shall not be less than 10 feet, except if a corner lot of record on the effective date of this ordinance has insufficient width to provide such yard and still maintain a buildable width of 20 feet, excluding the yard along the interior side lot line, then the side yard abutting the street may be reduced in width by the distance necessary to maintain such buildable width of 20 feet.

R1 AND R2 SINGLE-FAMILY DISTRICTS

- 118-111 (7) Rear Yard
- 118-112 (7) a. The minimum rear yard shall be 30 feet in depth, or 20% of the depth of the lot, whichever is less.
b. The minimum rear yard for a corner lot shall be 5 feet.

SAMPLE



ZONING INFORMATION WORKSHEET

The following sample assumes a 1st and 2nd floor addition and an addition to the patio/sidewalk. If you have any questions please contact the Building/Zoning Division at (847) 933-8223.

ADDRESS 12345 Oakton Street ZONING DISTRICT R2

LOT INFO 55 (LOT WIDTH) x 120 (LOT DEPTH) = 6,600 (TOTAL LOT AREA) (This # goes on lines 1, 2, and 3)

	TOTAL LOT AREA	ALLOWED	PROPOSED	DIFFERENCE BETWEEN ALLOWED & PROPOSED
BUILDING AREA	<u>6,600</u> (1) x .40 =	<u>2,640</u>	<u>2,000</u> (4)	+ / - <u>- 640</u>
IMPERMEABLE AREA	<u>6,600</u> (2) x .50 =	<u>3,300</u>	<u>2,850</u> (5)	+ / - <u>- 450</u>
FLOOR AREA	<u>6,600</u> (3) x .60 =	<u>3,960</u>	<u>2,600</u> (6)	+ / - <u>- 1,360</u>

AREA	EXISTING AREA	NEW AREA	PROPOSED
BASEMENT (50% above grade)	<u>0</u>	+ <u>0</u>	= <u>0</u> (A)
1 ST FLOOR (Include attached garage carport, covered porch, etc)*	<u>1,200</u>	+ <u>400</u>	= <u>1,600</u> (B)
2 ND FLOOR *	<u>400</u>	+ <u>200</u>	= <u>600</u> (C)
ATTIC (6'-9" OR GREATER) (2 nd Floor top plate to top of roof)	<u>0</u>	+ <u>0</u>	= <u>0</u> (D)
ACCESSORY BUILDINGS (Detached garage, shed, etc.)	<u>400</u>	+ <u>0</u>	= <u>400</u> (E)
DRIVEWAY/APRON	<u>100</u>	+ <u>0</u>	= <u>100</u> (F)
SIDEWALK & PATIO	<u>550</u>	+ <u>200</u>	= <u>750</u> (G)

*Any ceiling height 16 feet in height or greater will count twice.

PROPOSED BUILDING AREA (Add lines B & E) = 2,000 (This # goes on line 4)

PROPOSED IMPERMEABLE AREA (Add lines B, E, F, & G) = 2,850 (This # goes on line 5)

PROPOSED FLOOR AREA (Add lines A, B, C, D, & E) = 2,600 (This # goes on line 6)

REAR YARD COVERAGE FOR ACCESSORY BUILDINGS:

55 (rear yard width) x 45 (rear yard depth) = 2,475 (rear yard) x .30 = 742.5 (allowed) 400 (proposed buildings in rear yard)

Rear yard is measured from the rear wall of the principal building to the rear lot line and from side lot line to side lot line.

The undersigned hereby acknowledges the accuracy of the above information and accepts full responsibility for any discrepancies or inaccuracies.

Signature


Date

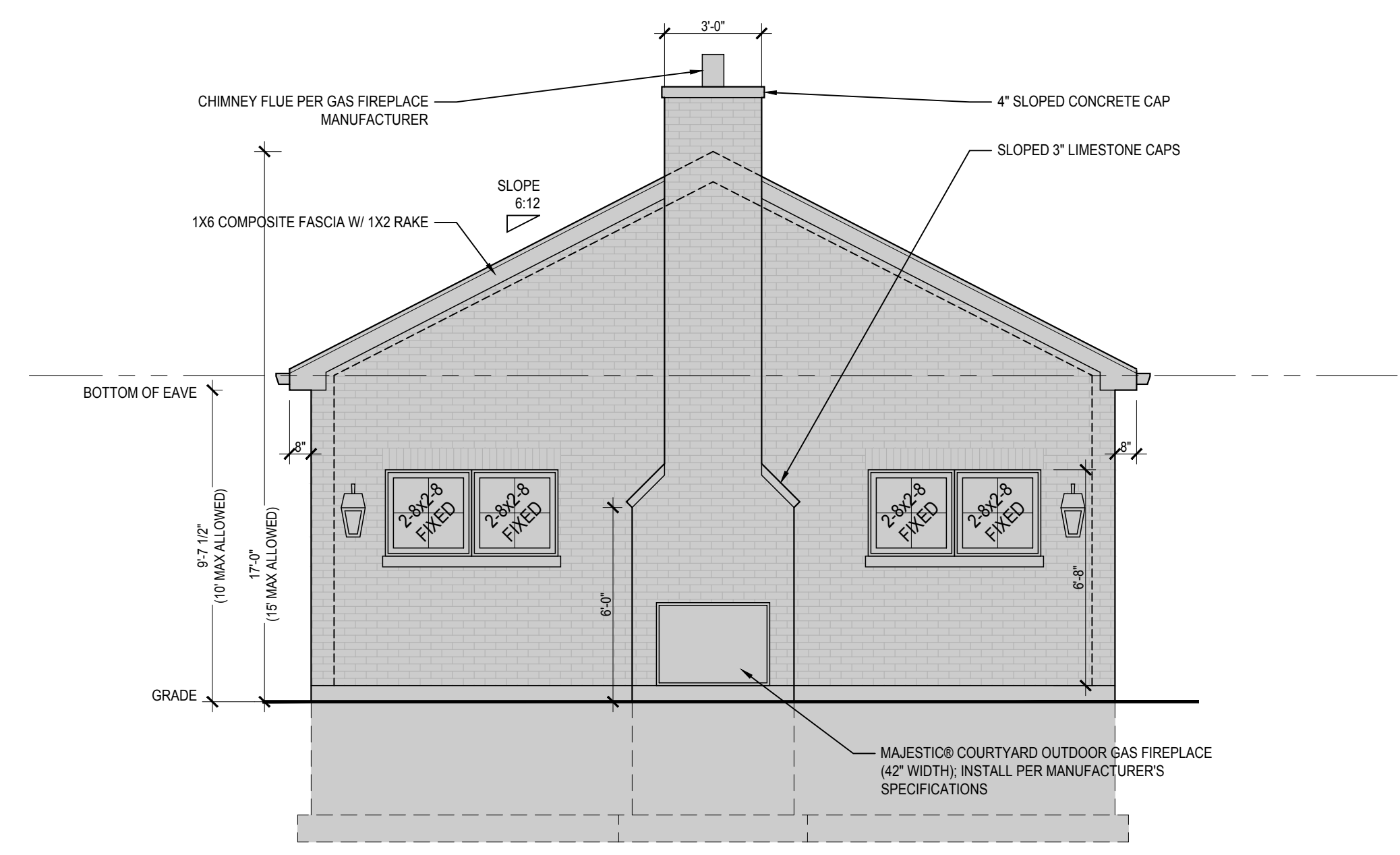
Reviewed by Community Development Department
VOSDOCS-#350061-v1-Zoning_Information_Worksheet.DOC

Date

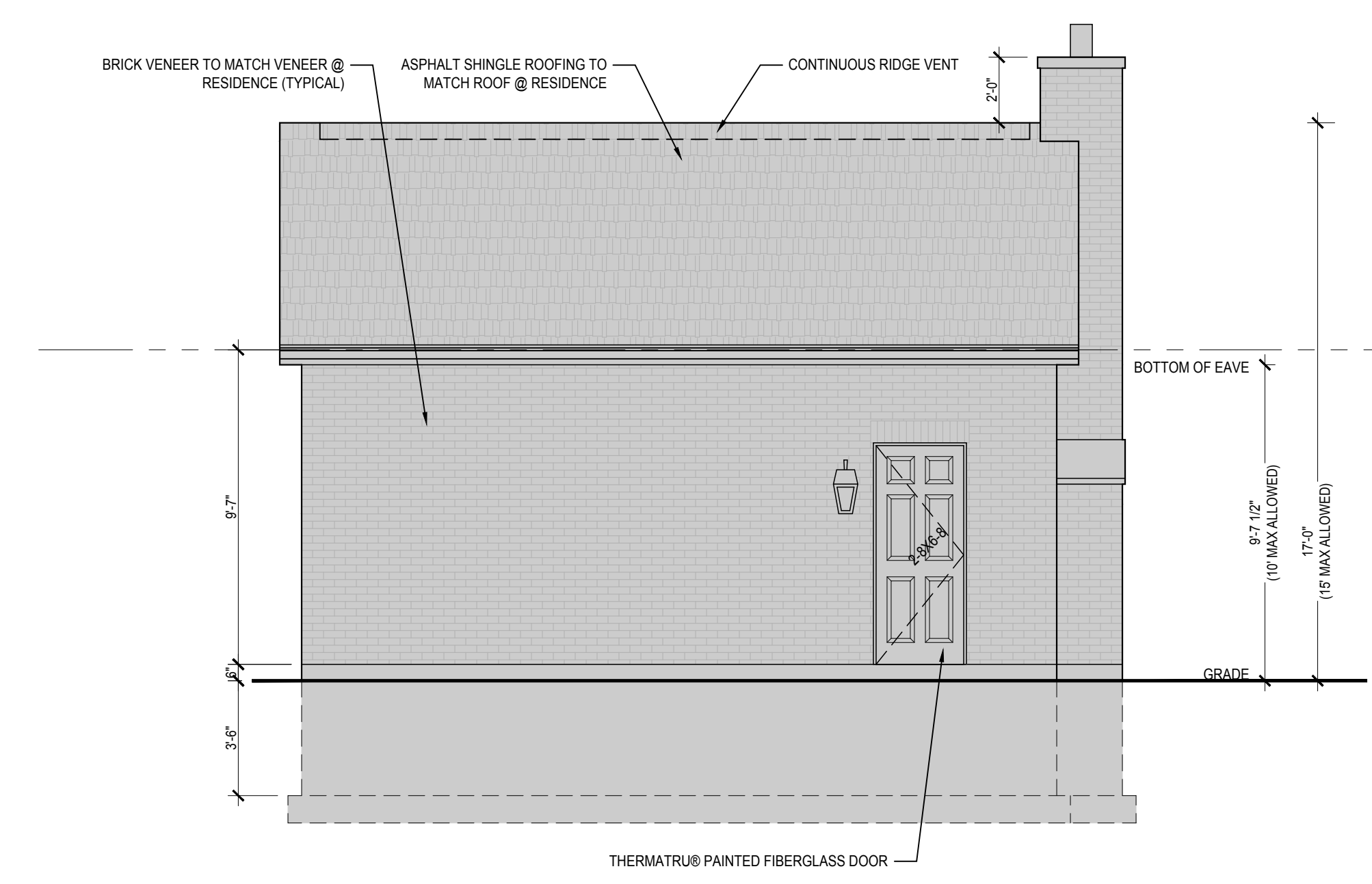
ADDITIONS AND RENOVATIONS AT THE
MEYER RESIDENCE
7525 N LOWELL AVENUE
SKOKIE, IL 60076

THESE DRAWINGS CONTAIN PROPRIETARY INFORMATION. ANY REPRODUCTION OR REUSE MUST BE BY CONSENT OF OMAR GUTIERREZ, ARCHITECT
© 2022 - OMAR GUTIERREZ, ARCHITECT

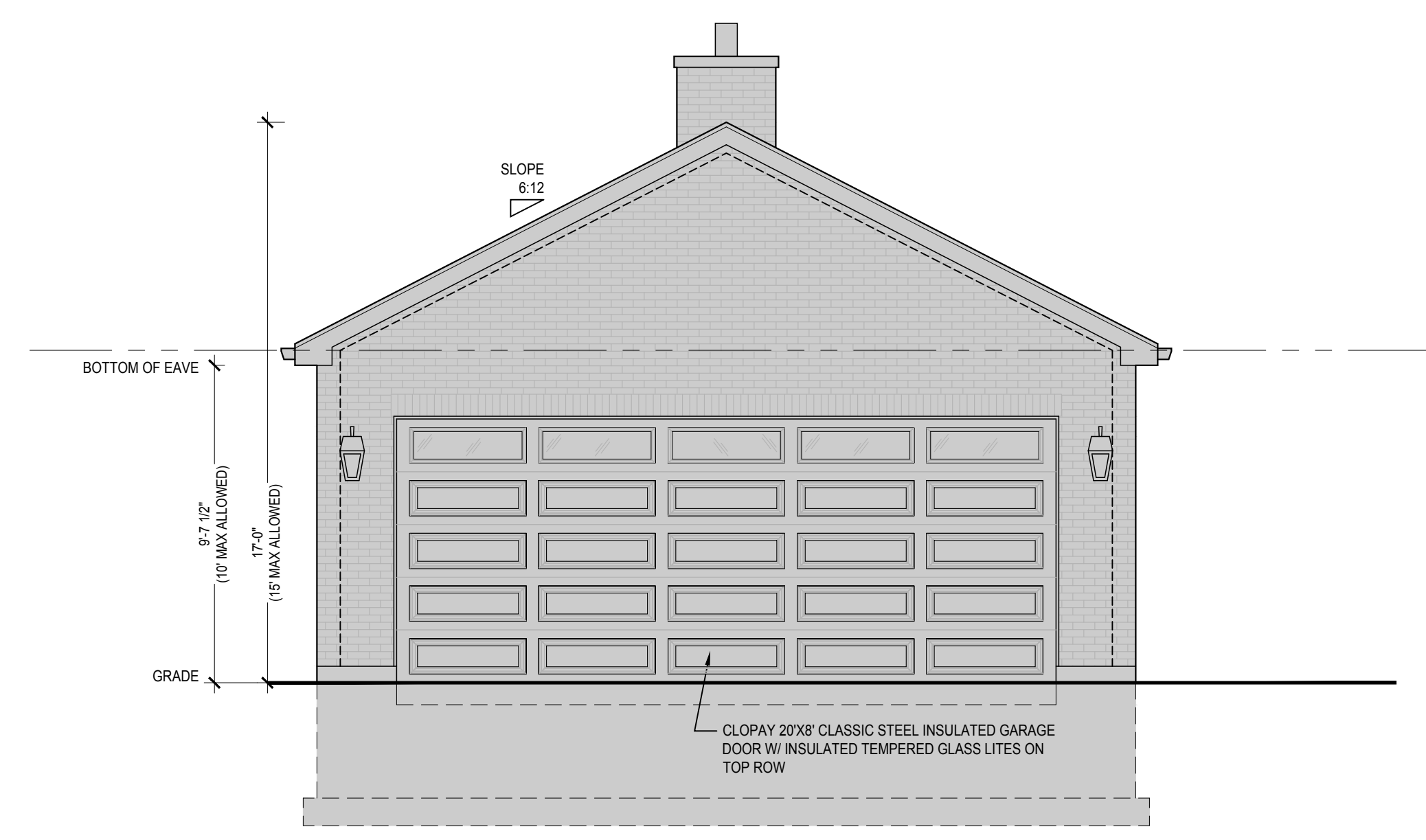
ISSUED FOR:	DATE
OWNER REVIEW	04-26-2022
CIVIL ENG. COORD.	05-04-2022
OWNER REVIEW	05-19-2022
CIVIL ENG. COORD.	05-31-2022
BID/PERMIT	06-02-2022
BID/PERMIT REV. 	07-21-2022
GARAGE AS BUILT	08-31-2023



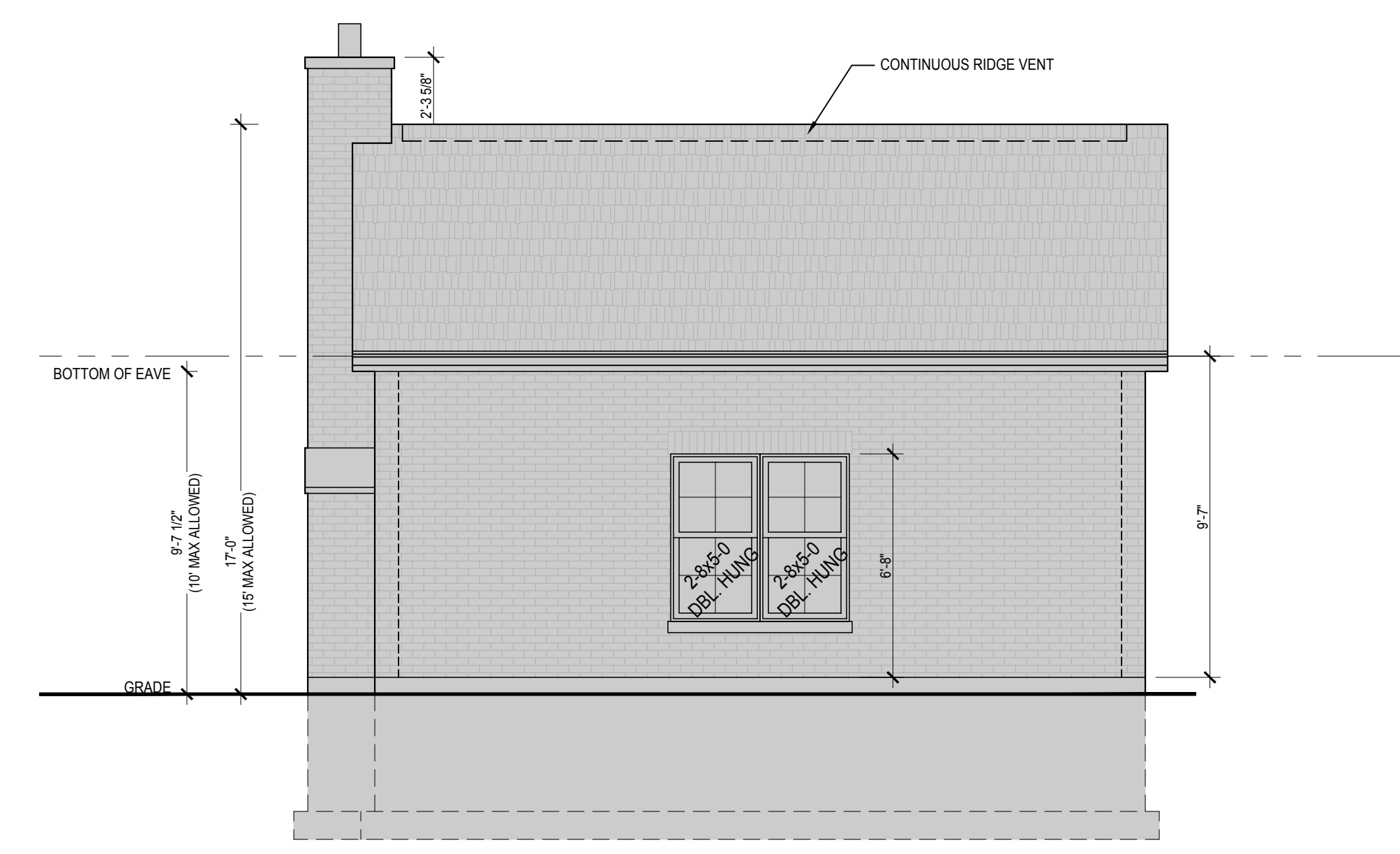
1 WEST ELEVATION OF DETACHED GARAGE - AS BUILT
SCALE: 1/4" = 1'-0"



2 NORTH ELEVATION OF DETACHED GARAGE - AS BUILT
SCALE: 1/4" = 1'-0"



3 EAST ELEVATION OF DETACHED GARAGE - AS BUILT
SCALE: 1/4" = 1'-0"



4 SOUTH ELEVATION OF DETACHED GARAGE - AS BUILT
SCALE: 1/4" = 1'-0"

PROFESSIONAL STAMP
I CERTIFY THAT THESE DRAWINGS WERE PREPARED UNDER MY DIRECT SUPERVISION AND, TO THE BEST OF MY PROFESSIONAL KNOWLEDGE, THEY CONFORM TO ALL APPLICABLE CODES



Omar G. Gutierrez
LICENSE EXPIRES 11/30/2024



Omar Gutiérrez
architect

1209 MONROE ST.
EVANSTON, IL 60202
PH: 847.903.4067

GARAGE







ZONING INFORMATION WORKSHEET

Please provide the following information for all permits involving new single-family dwellings, single-family additions or accessory structures in the R1 or R2 Single-Family districts.
FORM MUST BE COMPLETED IN FULL.

ADDRESS 8951 LINCOLNWOOD DR. ZONING DISTRICT R-1

LOT INFO 60 (LOT WIDTH) x 177 (LOT DEPTH) = 10,620 (TOTAL LOT AREA) (This # goes on lines 1, 2, and 3)

	TOTAL LOT AREA	ALLOWED	PROPOSED	DIFFERENCE BETWEEN ALLOWED & PROPOSED
BUILDING AREA	<u>10,620</u> (1) x .40 =	<u>4,248</u>	<u>3,070</u> (4)	+ <u>1,178</u>
IMPERMEABLE AREA	<u>10,620</u> (2) x .50 =	<u>5,310</u>	<u>5,289</u> (5)	+ <u>21</u>
FLOOR AREA	<u>10,625</u> (3) x .60 =	<u>6,372</u>	<u>4,701</u> (6)	+ <u>1,671</u>

AREA	EXISTING AREA	NEW AREA	PROPOSED
BASEMENT (50% above grade)	<u>-</u>	<u>-</u>	<u>-</u> (A)
1 ST FLOOR (Include attached garage carport, covered porch, etc)*	<u>2,389</u>	<u>681</u>	<u>3,070</u> (B)
2 ND FLOOR *	<u>1,247</u>	<u>384</u>	<u>1,631</u> (C)
ATTIC (6'-9" OR GREATER) (2 nd Floor top plate to top of roof)	<u>-</u>	<u>-</u>	<u>-</u> (D)
ACCESSORY BUILDINGS (Detached garage, shed, etc.)	<u>-</u>	<u>-</u>	<u>-</u> (E)
DRIVEWAY/APRON	<u>0</u>	<u>659</u>	<u>659</u> (F)
SIDEWALK & PATIO	<u>1,402</u>	<u>158</u>	<u>1,560</u> (G)

* Any ceiling height 16 feet in height or greater will count twice.

PROPOSED BUILDING AREA (Add lines B & E) = 3,070 (This # goes on line 4)

PROPOSED IMPERMEABLE AREA (Add lines B, E, F, & G) = 5,289 (This # goes on line 5)

PROPOSED FLOOR AREA (Add lines A, B, C, D, & E) = 4,701 (This # goes on line 6)

REAR YARD COVERAGE FOR ACCESSORY BUILDINGS:

60 (rear yard width) x 57 (rear yard depth) = 3,420 (rear yard) x .30 = 1,026 (allowed) 0 (proposed buildings in rear yard)

Rear yard is measured from the rear wall of the principal building to the rear lot line and from side lot line to side lot line.

The undersigned hereby acknowledges the accuracy of the above information and accepts full responsibility for any discrepancies or inaccuracies.

Signature Mark J. Holan

Date 9-18-23

Reviewed by Community Development Department

Date



Village of Skokie APPEARANCE COMMISSION APPLICATION

Community Development Department - Building & Zoning Division
5127 Oakton St. Skokie, IL 60077
Phone 847/933-8223 Fax 847/933-8230

The Appearance Commission meets the 2nd Wednesday of each month at 7:30 p.m.

Until further notice, applications will only be accepted in a PDF format.

APPLICATION DATE: 9/18/23

APPLICATION TYPE (Please check all that apply):

New Construction 1st Floor Addition 2nd Floor Addition Façade Signage Other

LAND USE:

Single Family Residential Multifamily Residential Mixed Use Commercial Industrial Other

SUBJECT ADDRESS: 8951 LINCOLNWOOD DR.

OWNER INFORMATION:

Please print legibly.

NAME(S): DRS. ALLEN & EDIE CHERNOFF

ADDRESS: 8951 LINCOLNWOOD DR. CITY, STATE ZIP: EVANSTON, IL. 60203

PHONE#: 847-721-5289 EMAIL: AMCHERNOFF@GMAIL.COM

AGENT/PETITIONER INFORMATION (if other than owner):

NAME(S): MARK T. GOLAN DAYTIME PHONE #: 847.542.6275

ADDRESS: 1820 ROBINWOOD LN. CITY, STATE ZIP: RIVERWOODS, IL. 60015

EMAIL: GOLANARCH@AOL.COM SIGNATURE: Mark T Golan

Please submit the following PDFs to appearance@skokie.org to complete your digital-only application:

1. Elevations, floor plans, and site plans. Scale 1/4" = 1'-0" is preferred, but not required. If the file size is greater than 5MB, multiple emails are allowed. Ensure "Appearance Commission PDF" and the project's property address are in the subject line of the email. Color elevations or one color rendering is required.
2. Completed Zoning Information Worksheet (residential projects only)
3. Photographs (all sides of the subject building and the fronts of neighboring buildings)
4. Excerpts of brochures and/or cut sheets of new materials and colors proposed for the project. Matching existing materials and colors can be confirmed with the submitted photographs.
5. Plat of Survey

*** The Building, Zoning, will not take in or hold material or color samples.

*** Visit <https://www.skokie.org/357/Appearance-Commission> to access the staff report prior to the meeting.

Fee Schedule

Residential Site (new) ...	\$100 plus \$50.00 per unit
Non-Residential Site* (new) ...	\$100 plus \$50.00 per 1,000 square feet (based on square footage of building)
* Any non-residentially zoned site (Business, Industrial, Mixed-Use districts)	
Any Other Appearance Review (Additions, Façade, Sign Package, etc.) ...	\$50.00
If you have already paid for a preliminary plan review there is no charge.	

For Office Use Only:

Case Number _____ Meeting Date _____
 Acct # NR Amt \$ _____ Cash / Credit Card/ Check # _____

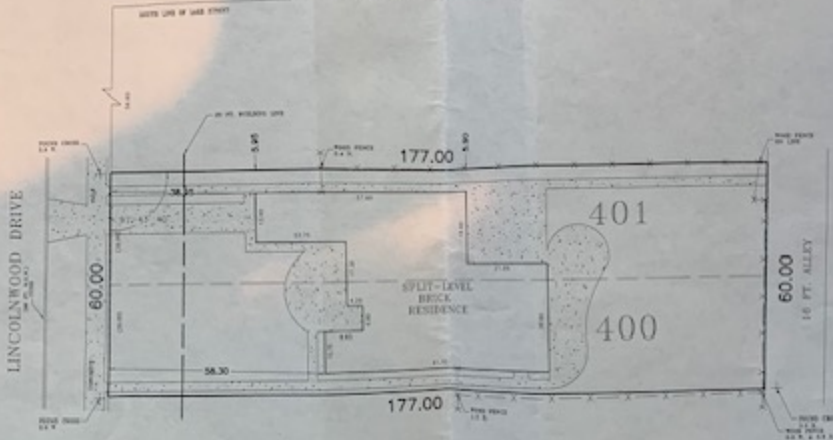
Any required fees or monies owed by the applicant to the Village must be paid as a condition of approval.

PLAT OF SURVEY

OF LOTS 400 AND 401 IN SWENSON BURGERS TRUSS ADDITION TO COLLEGE HILL ADDITION TO EVANSTON,
 BEING A SUBDIVISION OF LOT 4 IN ARDENVA'S DIVISION OF THE SOUTHEAST 1/4 OF SECTION 14, TOWNSHIP
 41 NORTH, RANGE 13 EAST OF THE THIRD PRINCIPAL MERIDIAN, IN COOK COUNTY, ILLINOIS.
 ADDRESS: 8951 LINCOLNWOOD DRIVE, SKOKIE, ILLINOIS



SCALE: 1"=20'



TO: LAURIE A. SYLVESTER
 PROFESSIONAL NATIONAL TITLE NETWORK, INC.

THIS IS TO CERTIFY THAT WE, PREFERRED SURVEY, INC., ILLINOIS
 PROFESSIONAL LAND SURVEYOR CORPORATION NO. 116 HAVE SURVEYED
 THE PROPERTY DESCRIBED HEREON AND THAT THE PLAT SHOWN
 HEREON IS A CORRECT REPRESENTATION OF THAT SURVEY. ALL
 DIMENSIONS SHOWN HEREON ARE IN FEET AND DECIMALS THEREOF.

GIVEN UNDER MY HAND AND SEAL OF OFFICE AT SKOKIE, ILLINOIS, THIS
 19TH DAY OF MAY, A.D. 2000

Laurie A. Sylvester
 ILLINOIS PROFESSIONAL LAND SURVEYOR CORPORATION #116

P. S. & NO. 004521
 P.N.T.N. NO. 3078148



PREFERRED SURVEY, INC.

788 • Research Road, Building #4, Skokie, Ill. 60076
 Phone 830-790-6633 / Fax 830-828-6117



Restaurants

Hotels

Things to do

Transit

P Parking

Pharmacies

ATM



Lincolnwood Dr

Lincolnwood Dr

Lincolnwood Dr

3459

8947



Google

Imagery ©2023 Maxar Technologies, Map data ©2023 Google United States Terms Privacy Send feedback 20 ft

100% Options Blocking Pop-Ups Open Favorites



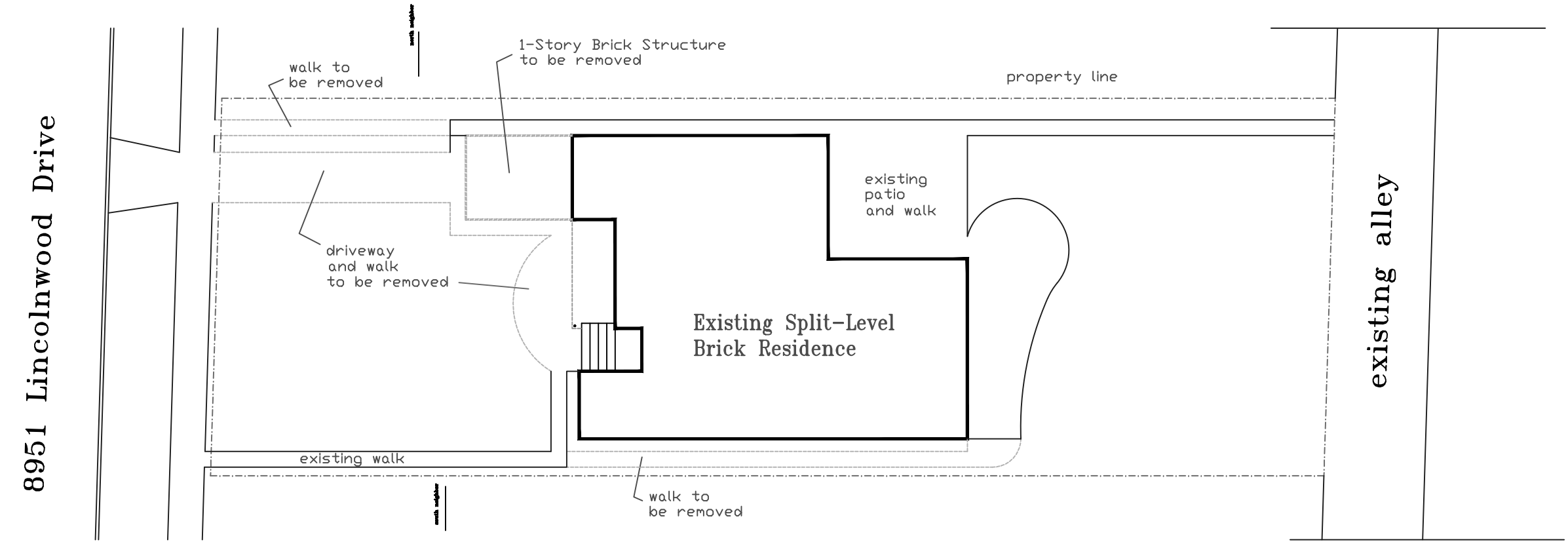






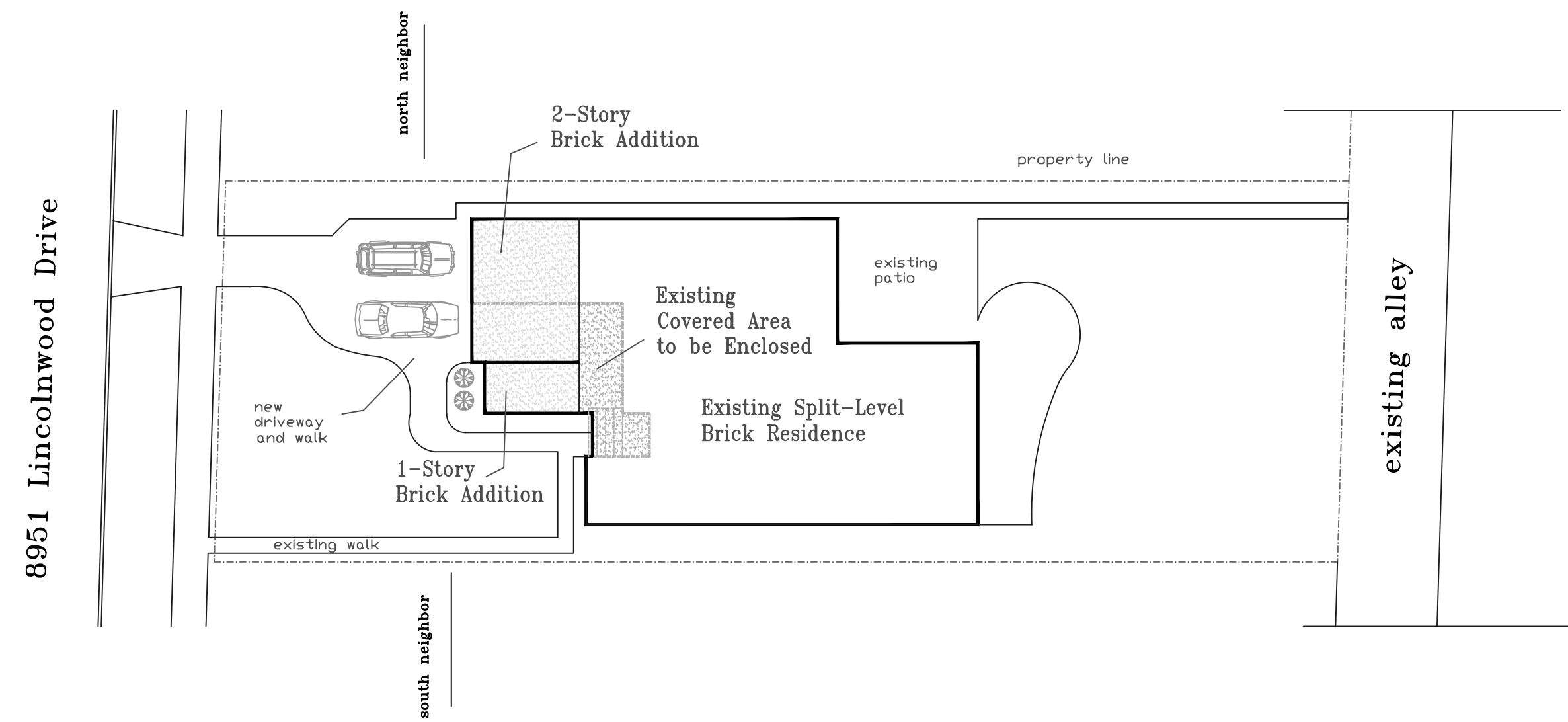






Plot Plan
scale: 1" = 20'-0"

EXISTING

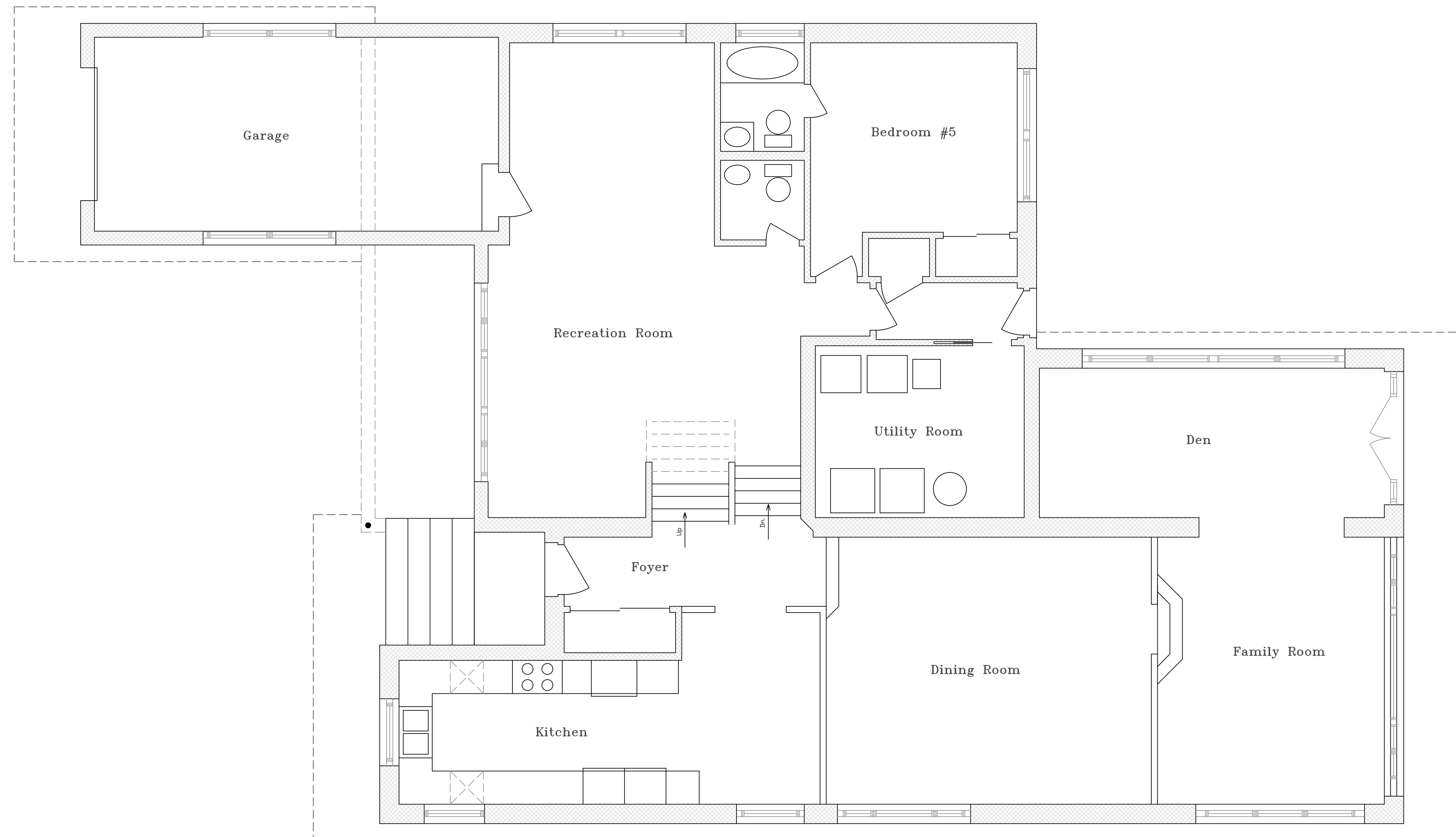


Plot Plan
scale: 1" = 20'-0"

PROPOSED

8951 Lincolnwood Drive

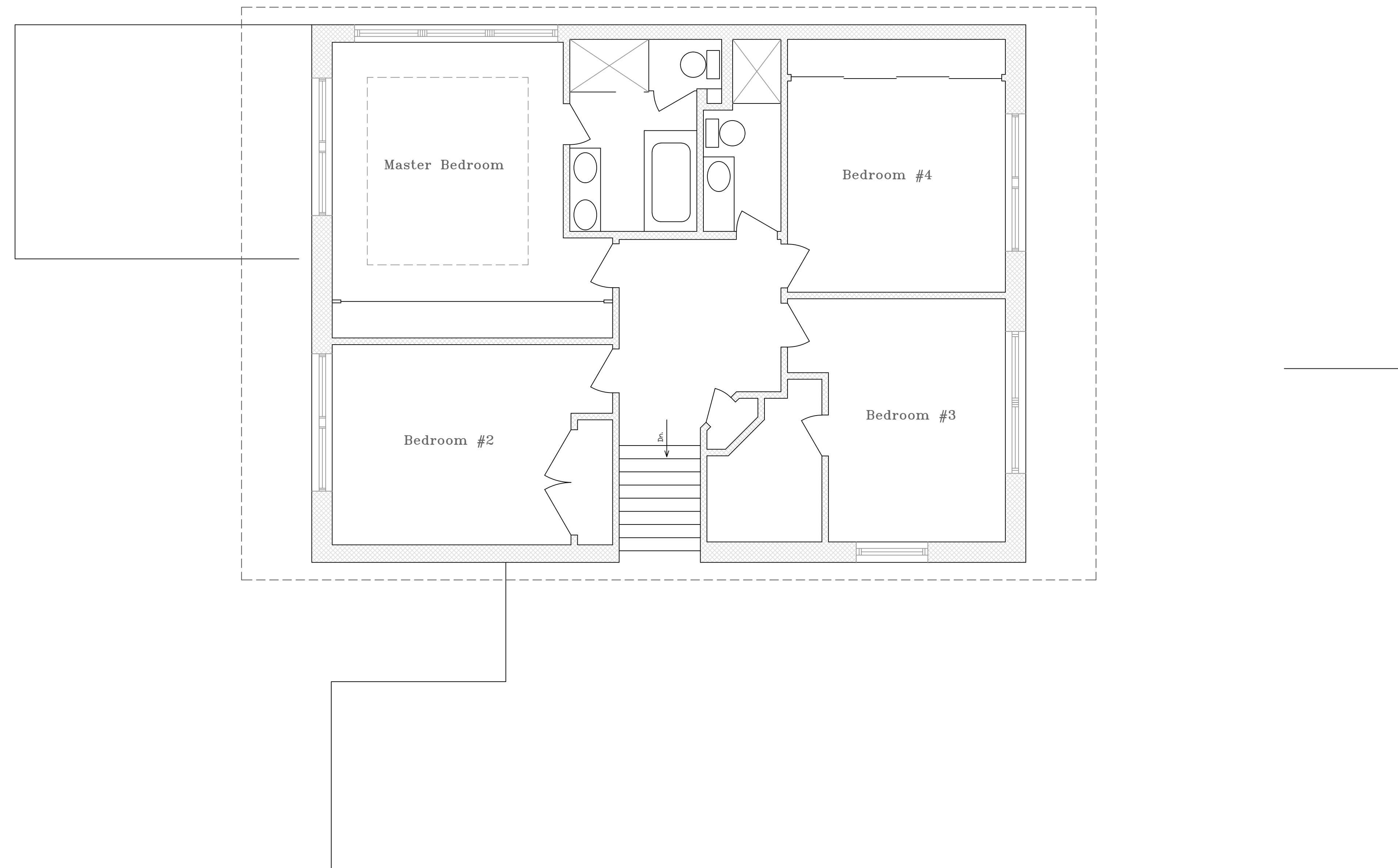
 <p>MARK T. GOLAN ARCHITECT, LTD.</p> <p><small>1820 ROBINWOOD LN., RIVERWOODS, IL. 60015 (847) 580-3322</small></p>	DATE: 9/18/23
	SCALE:
	DRAWN BY:
	JOB: 2319
	SHEET #:
	1
	OF 13 SHEETS



Existing Mid/Lower Level Plan

scale: 1/4" = 1'-0"

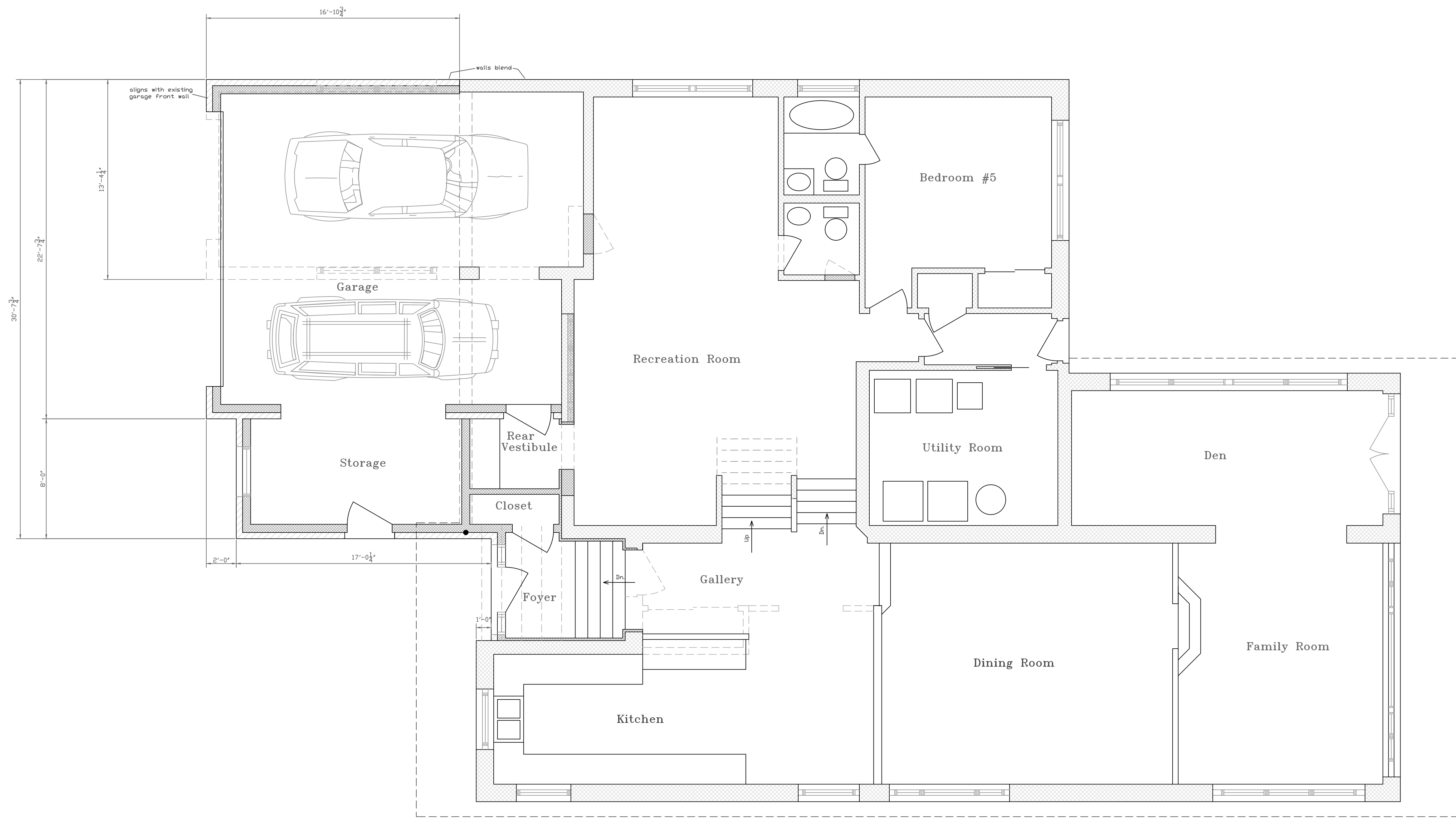
CHERNOFF		DATE:
 MARK T. GOLAN ARCHITECT, LTD.		SCALE:
<small>1820 ROBINWOOD LN., RIVERWOODS, IL. 60015 (847) 580-3322</small>		DRAWN BY:
		JOB: 2319
		SHEET #:
		2
		OF 13 SHEETS



Existing Upper Level Plan


scale: 1/4" = 1'-0"

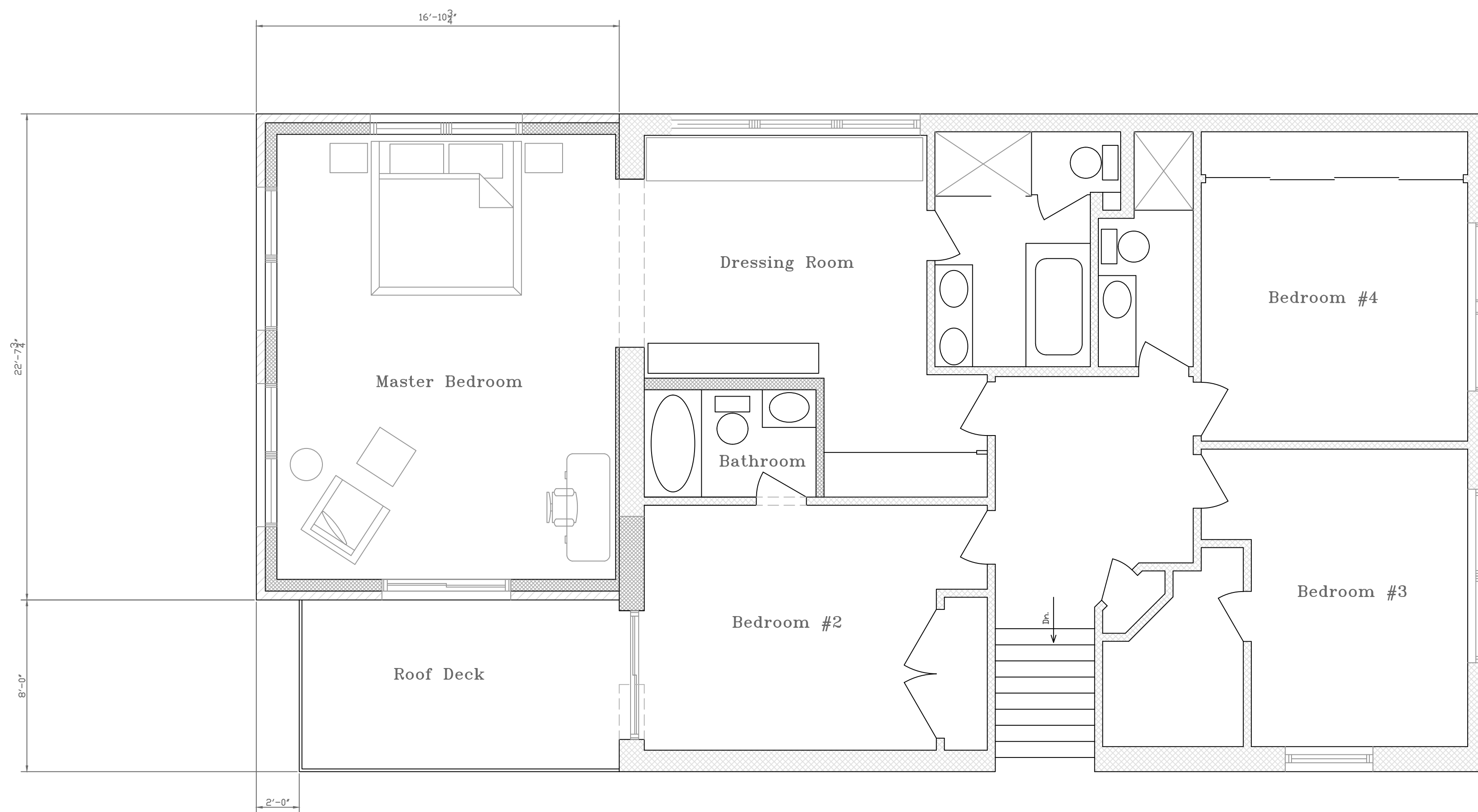
CHERNOFF		DATE:
MARK T. GOLAN ARCHITECT, LTD.		SCALE:
1820 ROBINWOOD LN., RIVERWOODS, IL. 60015 (847) 580-3322		DRAWN BY:
		JOB: 2319
		SHEET #:
		3
		OF 13 SHEETS



Mid/Lower Level Plan

scale: 1/4" = 1'-0"

CHERNOFF		DATE:
 MARK T. GOLAN ARCHITECT, LTD.		SCALE:
<small>1820 ROBINWOOD LN., RIVERWOODS, IL. 60015 (847) 580-3322</small>		DRAWN BY:
		JOB: 2319
		SHEET #:
		7
		OF 13 SHEETS



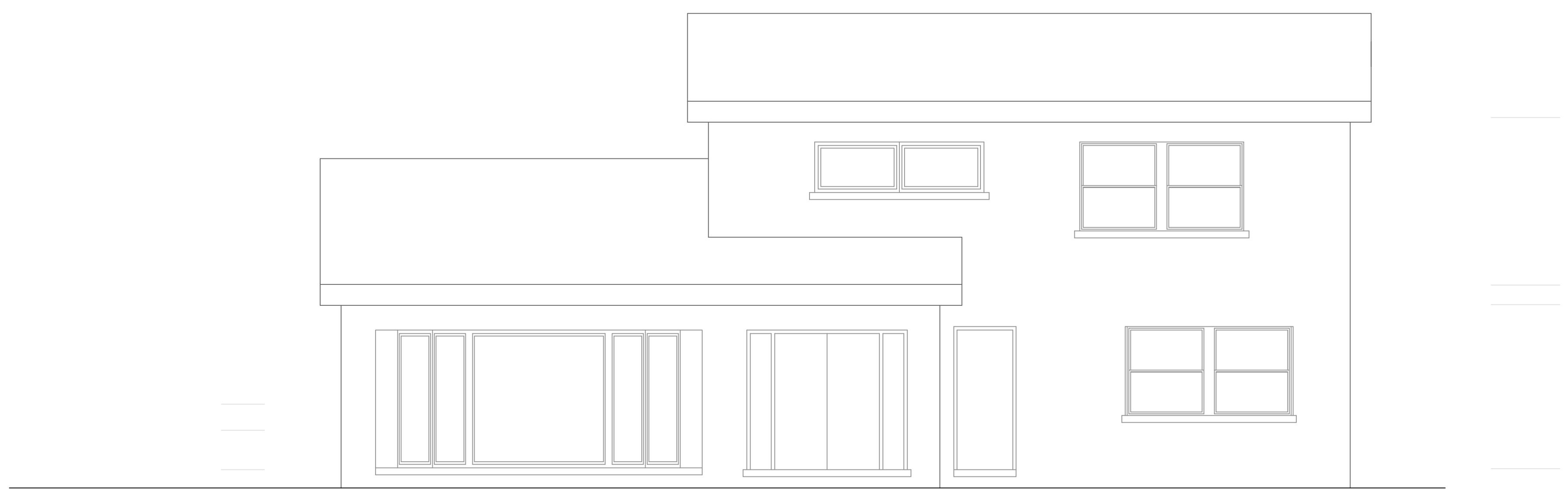
Upper Level Plan

scale: 1/4" = 1'-0"

 MARK T. GOLAN ARCHITECT, LTD. <small>1820 ROBINWOOD LN., RIVERWOODS, IL. 60015 (847) 580-3322</small>	DATE:
	SCALE:
	DRAWN BY:
	JOB: 2319
SHEET #:	
8	
OF 13 SHEETS	



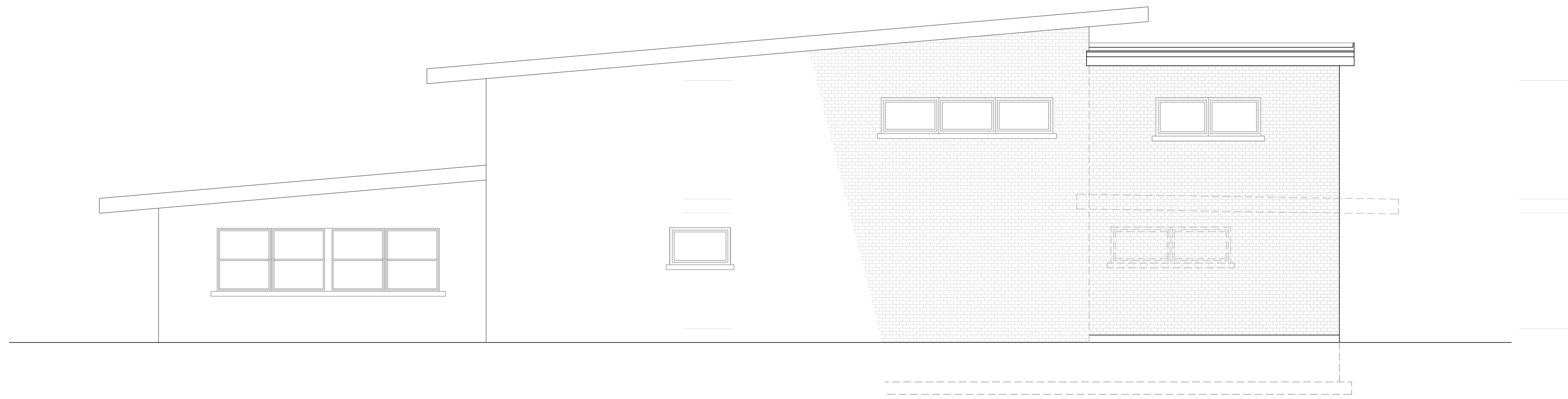
WEST



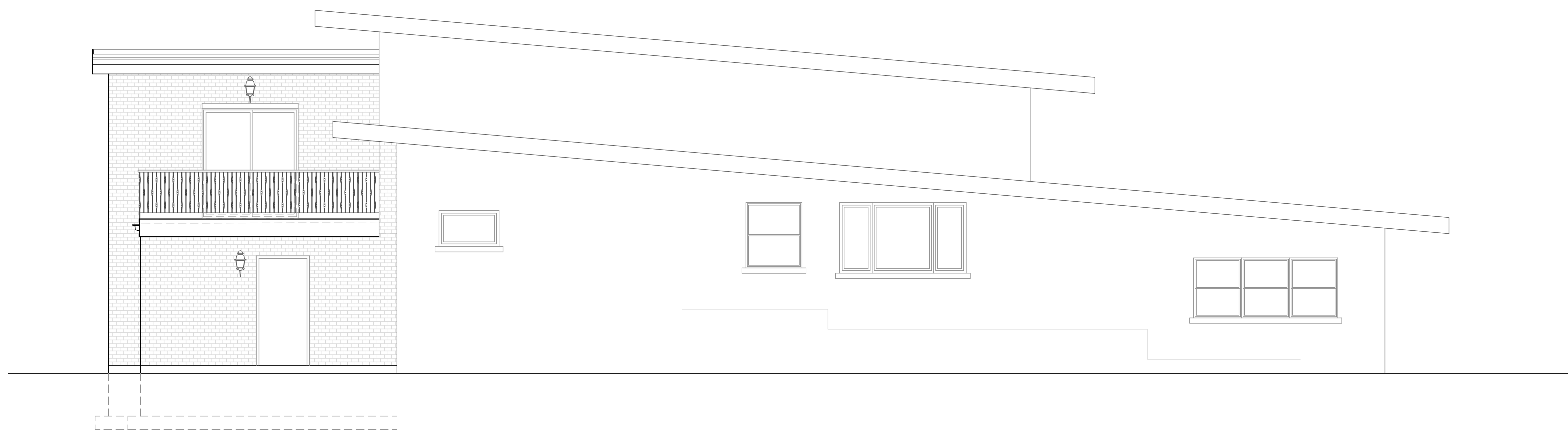
EAST (unchanged)

Elevations
 scale: 1/4" = 1'-0"

CHERNOFF		DATE:
MARK T. GOLAN ARCHITECT, LTD.		SCALE:
1820 ROBINWOOD LN., RIVERWOODS, IL. 60015 (847) 580-3322		DRAWN BY:
		JOB: 2319
		SHEET #:
		9
		OF 13 SHEETS




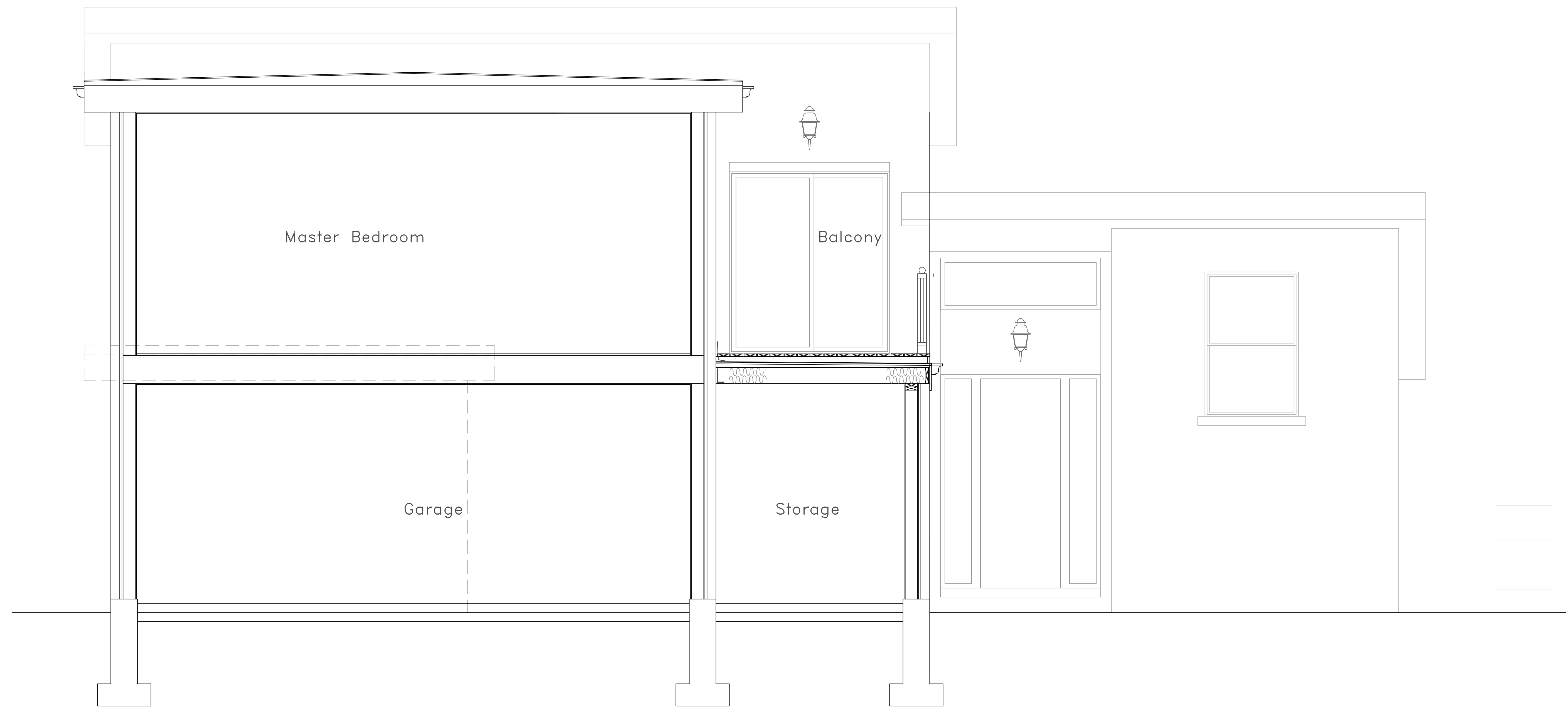
NORTH



SOUTH

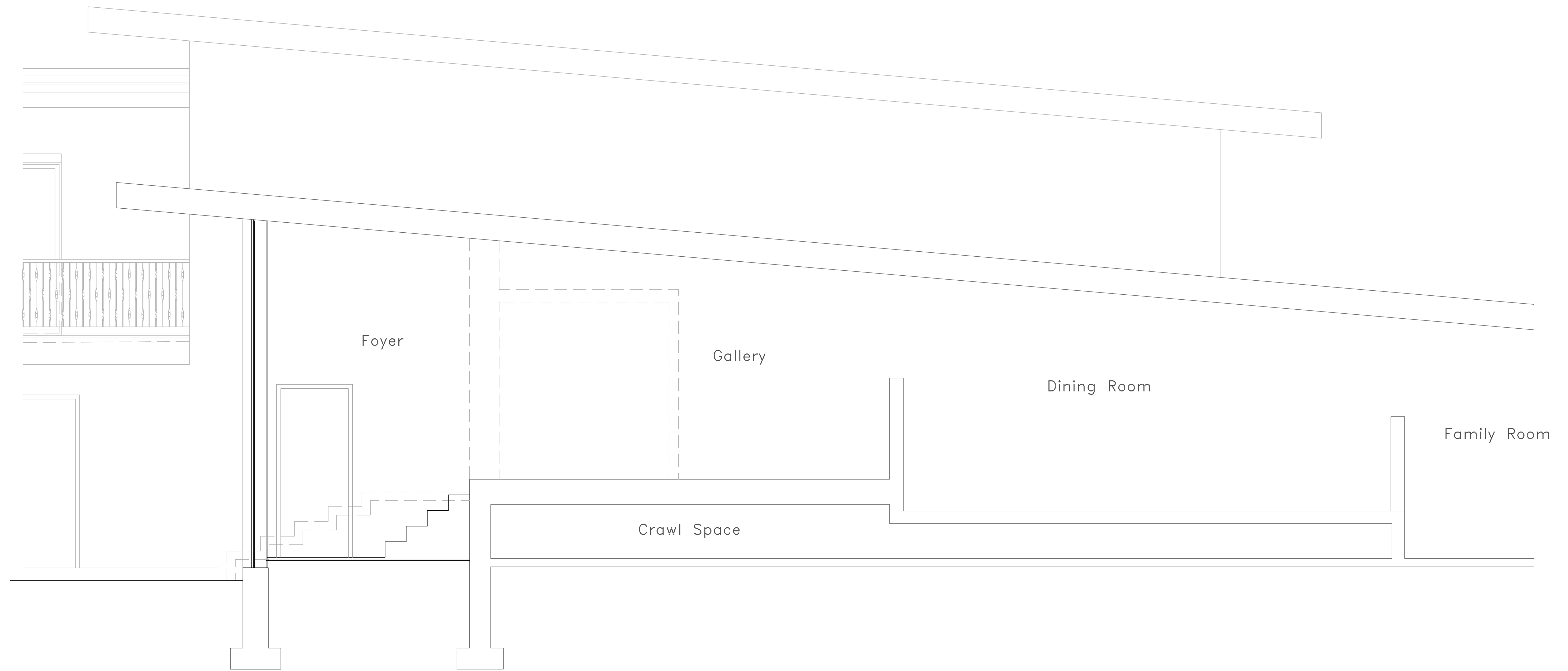
Elevations
 scale: 1/4" = 1'-0"

CHERNOFF		DATE:
 MARK T. GOLAN ARCHITECT, LTD.		SCALE:
<small>1820 ROBINWOOD LN., RIVERWOODS, IL. 60015 (847) 580-3322</small>		DRAWN BY:
		JOB: 2319
		SHEET #:
		10
		of 13 SHEETS



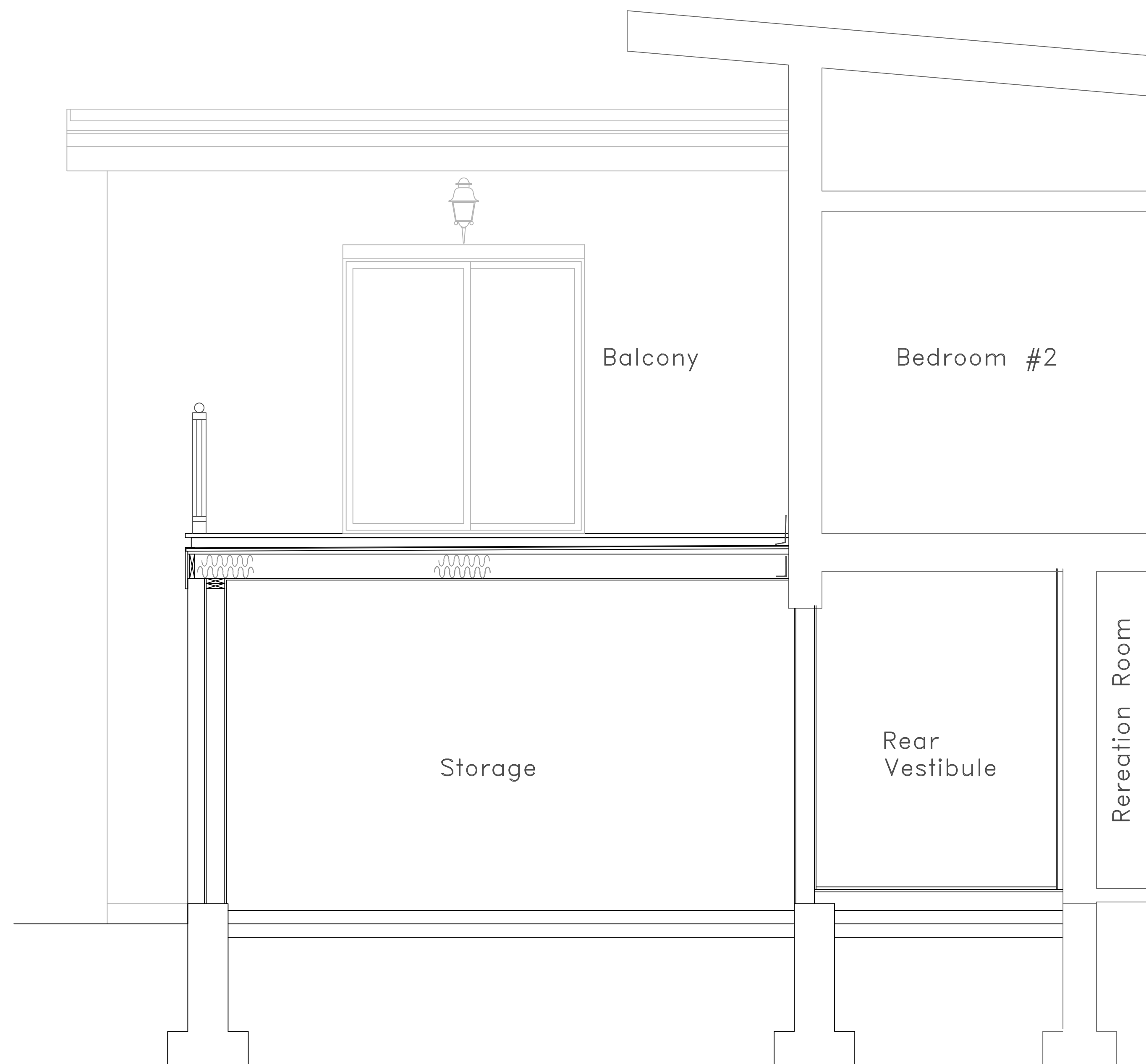
SECTION A
 SCALE: 1/2" = 1'-0"

CHERNOFF		DATE:
 MARK T. GOLAN ARCHITECT, LTD.		SCALE:
<small>1820 ROBINWOOD LN., RIVERWOODS, IL. 60015 (847) 580-3322</small>		DRAWN BY:
		JOB: 2319
		SHEET #:
		11
		OF 13 SHEETS

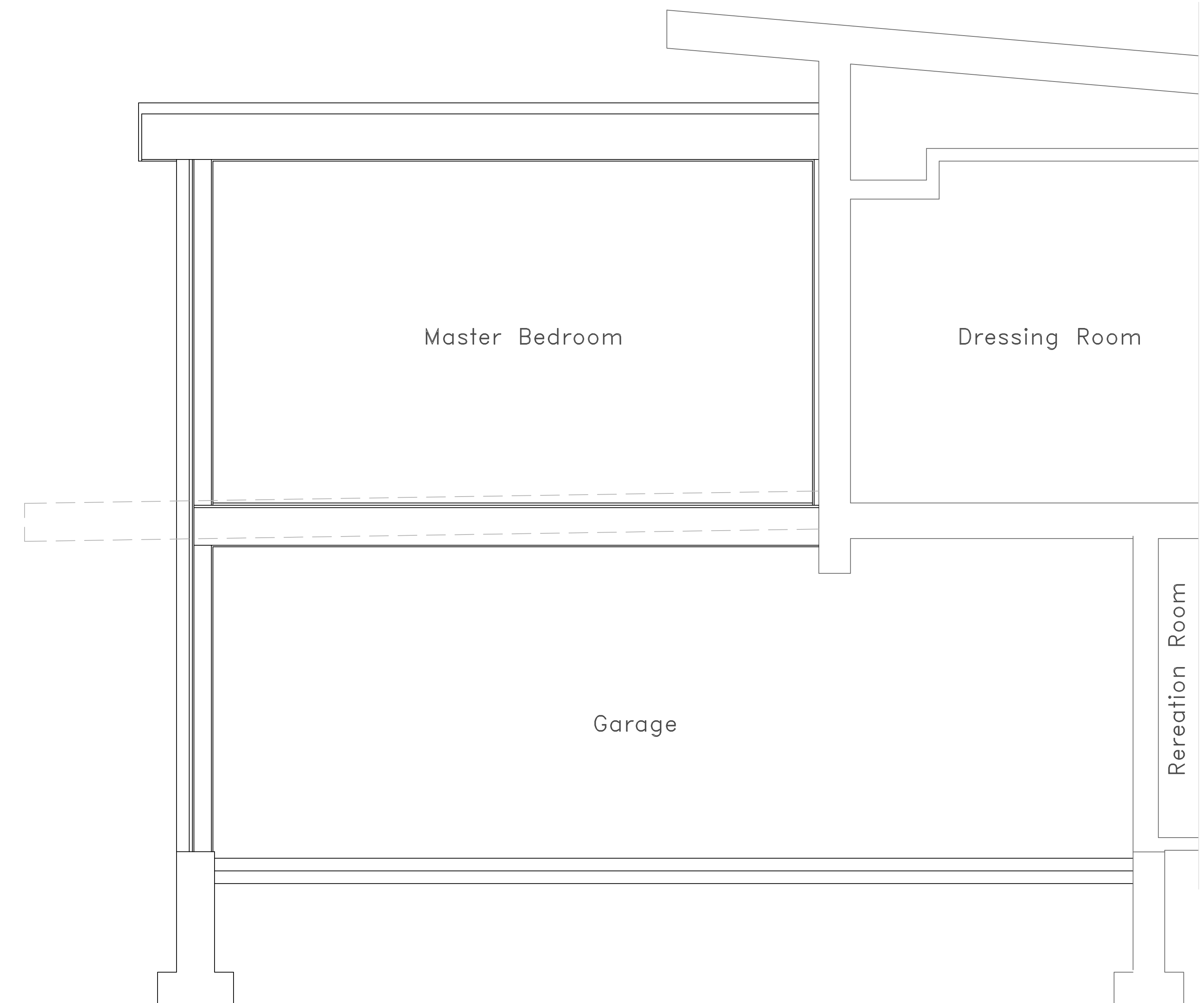


SECTION B
 SCALE: 1/2" = 1'-0"

CHERNOFF		DATE:
 MARK T. GOLAN ARCHITECT, LTD.		SCALE:
<small>1820 ROBINWOOD LN., RIVERWOODS, ILL. 60015 (847) 580-3322</small>		DRAWN BY:
		JOB: 2319
		SHEET #:
		12
		OF 13 SHEETS



SECTION C
SCALE: 1/2" = 1'-0"



SECTION D
SCALE: 1/2" = 1'-0"

CHERNOFF		DATE:
 MARK T. GOLAN ARCHITECT, LTD.		SCALE:
<small>1820 ROBINWOOD LN., RIVERWOODS, IL. 60015 (847) 580-3322</small>		DRAWN BY:
		JOB: 2319
		SHEET #:
		13
		OF 13 SHEETS



Village of Skokie APPEARANCE COMMISSION APPLICATION

Community Development Department - Building & Zoning Division
5127 Oakton St. Skokie, IL 60077
Phone 847/933-8223 Fax 847/933-8230

The Appearance Commission meets the 2nd Wednesday of each month at 7:30 p.m.

Until further notice, applications will only be accepted in a PDF format.

APPLICATION DATE: 09/25/2023

APPLICATION TYPE (Please check all that apply):

New Construction 1st Floor Addition 2nd Floor Addition Façade Signage Other

LAND USE:

Single Family Residential Multifamily Residential Mixed Use Commercial Industrial Other

SUBJECT ADDRESS: 9015 KEELER AVE

OWNER INFORMATION:

Please print legibly.

NAME(S): Judy Daniels

ADDRESS: 6441 N. St. Louis CITY, STATE ZIP: Lincolnwood, Illinois 60712

PHONE#: 847-977-7100 EMAIL: mdaniels@cagan.com

AGENT/PETITIONER INFORMATION (if other than owner):

NAME(S): DANI ALEXA DAYTIME PHONE #: 773.904.7560

ADDRESS: 4747 W. PETERSON AVE SUITE 211 CITY, STATE ZIP: CHICAGO, IL 60646

EMAIL: dani@gansarille.com SIGNATURE: [Handwritten Signature]

Please submit the following PDFs to appearance@skokie.org to complete your digital-only application:

1. Elevations, floor plans, and site plans. Scale 1/4" = 1'-0" is preferred, but not required. If the file size is greater than 5MB, multiple emails are allowed. Ensure "Appearance Commission PDF" and the project's property address are in the subject line of the email. Color elevations or one color rendering is required.
2. Completed Zoning Information Worksheet (residential projects only)
3. Photographs (all sides of the subject building and the fronts of neighboring buildings)
4. Excerpts of brochures and/or cut sheets of new materials and colors proposed for the project. Matching existing materials and colors can be confirmed with the submitted photographs.
5. Plat of Survey

*** The Building, Zoning, will not take in or hold material or color samples.

*** Visit <https://www.skokie.org/357/Appearance-Commission> to access the staff report prior to the meeting.

Fee Schedule

Residential Site (new) ... \$100 plus \$50.00 per unit
Non-Residential Site* (new) ... \$100 plus \$50.00 per 1,000 square feet (based on square footage of building)

* Any non-residentially zoned site (Business, Industrial, Mixed-Use districts)

Any Other Appearance Review (Additions, Façade, Sign Package, etc.) ... \$50.00

If you have already paid for a preliminary plan review there is no charge.

For Office Use Only:

Case Number _____ Meeting Date _____

Acct # NR Amt \$ _____ Cash / Credit Card/ Check # _____

Any required fees or monies owed by the applicant to the Village must be paid as a condition of approval.



ZONING INFORMATION WORKSHEET

Please provide the following information for all permits involving new single-family dwellings, single-family additions or accessory structures in the R1 or R2 Single-Family districts.
FORM MUST BE COMPLETED IN FULL.

ADDRESS 9015 KEELER AVE. ZONING DISTRICT R-1

LOT INFO 59.96' (LOT WIDTH) x 131.04' (LOT DEPTH) = 7856 (TOTAL LOT AREA) (This # goes on lines 1, 2, and 3)

	TOTAL LOT AREA	ALLOWED	PROPOSED	DIFFERENCE BETWEEN ALLOWED & PROPOSED
BUILDING AREA	<u>7856</u> (1)	<u>3142</u> x .40 =	<u>3142</u> (4)	+ / - <u>0</u>
IMPERMEABLE AREA	<u>7856</u> (2)	<u>3928</u> x .50 =	<u>3924</u> (5)	+ / - <u>4</u>
FLOOR AREA	<u>7856</u> (3)	<u>4713</u> x .60 =	<u>4688</u> (6)	+ / - <u>25</u>

AREA	EXISTING AREA	NEW AREA	PROPOSED
BASEMENT (50% above grade)	_____	+	_____ = _____ (A)
1 ST FLOOR (Include attached garage carport, covered porch, etc)*	_____	+	<u>3142</u> = _____ (B)
2 ND FLOOR *	_____	+	<u>1546</u> = _____ (C)
ATTIC (6'-9" OR GREATER) (2 nd Floor top plate to top of roof)	_____	+	_____ = _____ (D)
ACCESSORY BUILDINGS (Detached garage, shed, etc.)	_____	+	_____ = _____ (E)
DRIVEWAY/APRON	_____	+	<u>203</u> = _____ (F)
SIDEWALK & PATIO	_____	+	<u>579</u> = _____ (G)

* Any ceiling height 16 feet in height or greater will count twice.

PROPOSED BUILDING AREA (Add lines B & E) = 3142 (This # goes on line 4)

PROPOSED IMPERMEABLE AREA (Add lines B, E, F, & G) = 3924 (This # goes on line 5)

PROPOSED FLOOR AREA (Add lines A, B, C, D, & E) = 4688 (This # goes on line 6)

REAR YARD COVERAGE FOR ACCESSORY BUILDINGS:

59.96' (rear yard width) x 30' (rear yard depth) = 1798 (rear yard) x .30 = 539 (allowed) 0 (proposed buildings in rear yard)

Rear yard is measured from the rear wall of the principal building to the rear lot line and from side lot line to side lot line.

The undersigned hereby acknowledges the accuracy of the above information and accepts full responsibility for any discrepancies or inaccuracies.

[Signature]
Signature

09/25/2023
Date

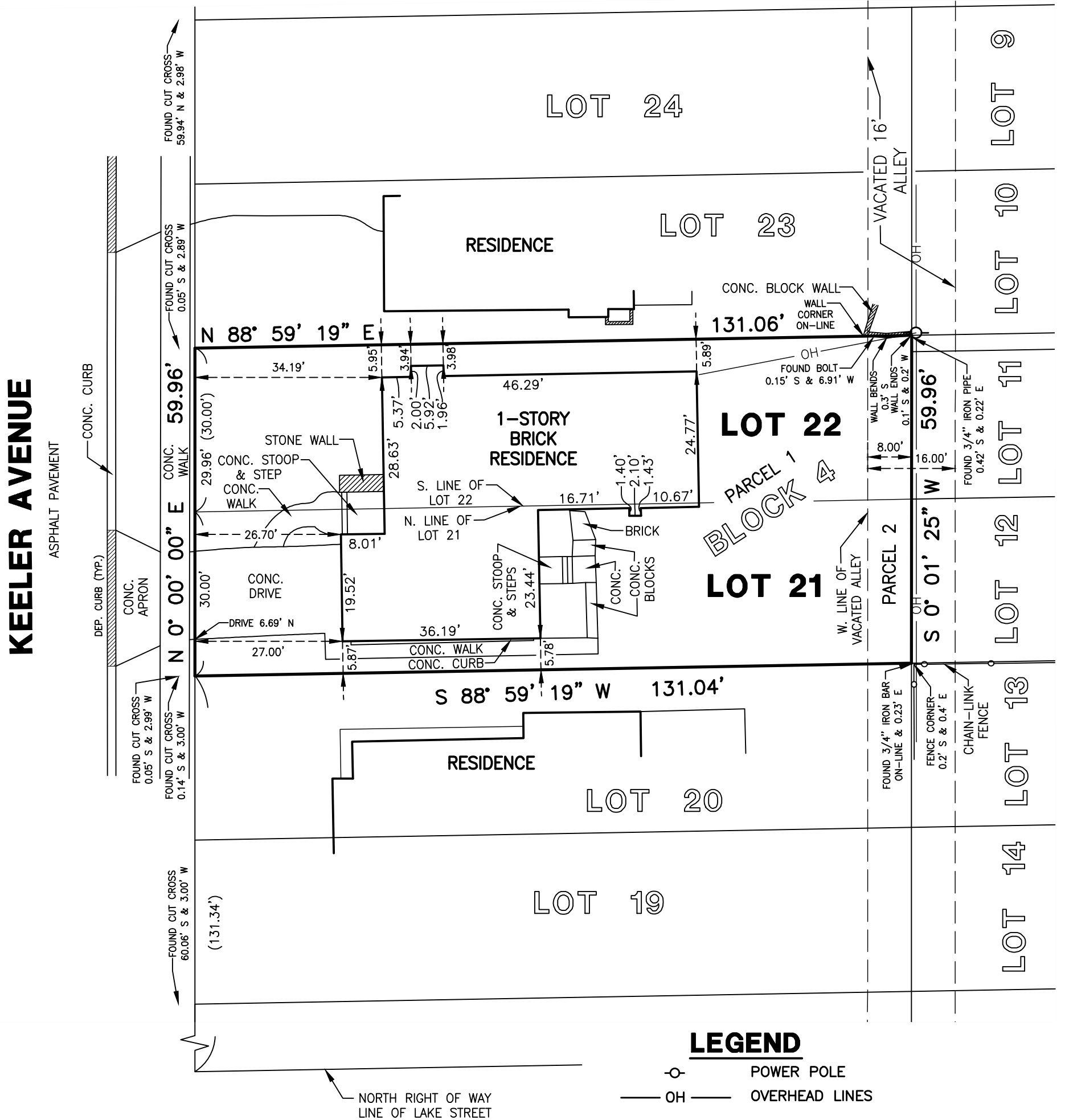
Reviewed by Community Development Department
VOSDOCS-#350061-v1-Zoning_Information_Worksheet.DOC

Date

PLAT OF SURVEY

PARCEL 1: LOTS 21 AND 22 IN BLOCK 4 IN UNIVERSITY ADDITION TO NILES CENTER, A SUBDIVISION OF LOTS 3 AND 4 IN JOHN TURNER'S HEIR'S SUBDIVISION OF THE SOUTH QUARTER OF THE WEST HALF OF THE SOUTHWEST QUARTER OF SECTION 14, AND THE EAST HALF OF THE SOUTHEAST QUARTER OF SECTION 15, TOWNSHIP 41 NORTH, RANGE 13, EAST OF THE THIRD PRINCIPAL MERIDIAN IN COOK COUNTY, ILLINOIS.

PARCEL 2: THE WEST 1/2 OF THE VACATED ALLEY LYING EAST AND ADJOINING LOTS 21 AND 22 IN BLOCK 4 IN UNIVERSITY ADDITION TO NILES CENTER, AFORESAID, IN COOK COUNTY, ILLINOIS.



LEGEND

- POWER POLE
- OVERHEAD LINES

AREA

7,856 Sq. Ft. OR 0.18 ACRES (MORE OR LESS)

STATE OF ILLINOIS }
COUNTY OF LAKE } SS

WE, GREENGARD INC., DO HEREBY STATE THAT WE HAVE SURVEYED THE ABOVE DESCRIBED PROPERTY AND THAT THIS PROFESSIONAL SERVICE CONFORMS TO THE CURRENT ILLINOIS MINIMUM STANDARDS FOR A BOUNDARY SURVEY.

DATED THIS 7TH DAY OF SEPTEMBER, A.D., 2023.

GREENGARD, INC.
111 BARCLAY BOULEVARD, SUITE 310
LINCOLNSHIRE, ILLINOIS 60069

Joseph R. Sadoski
JOSEPH R. SADOSKI
ILLINOIS
PROFESSIONAL LAND SURVEYOR NO. 3316
MY RENEWABLE LICENSE EXPIRES 11-30-24.

SURVEYORS NOTES:

1. THIS SURVEY IS SUBJECT TO MATTERS OF TITLE WHICH MAY BE REVEALED BY A CURRENT TITLE REPORT.
2. () DENOTES RECORD DIMENSION.
3. BEARINGS HEREON SHOWN ARE ON AN ASSUMED BASIS.
4. ORIGINAL CLIENT- MICHAEL DANIELS
5. ORIGINAL FIELD WORK COMPLETED- 08-23-23

GENERAL NOTES:

1. DISTANCES ARE MARKED IN FEET AND DECIMAL PLACES THEREOF.
2. NO DIMENSION SHALL BE ASSUMED BY SCALE MEASUREMENT HEREON.
3. ONLY THOSE BUILDING LINE SETBACKS AND EASEMENTS WHICH ARE SHOWN ON THE RECORDED PLAT OF SUBDIVISION ARE SHOWN HEREON. THERE MAY BE ADDITIONAL TERMS, POWERS, PROVISIONS AND LIMITATIONS CONTAINED IN AN ABSTRACT DEED, LOCAL ORDINANCES, DEEDS, TRUSTS, COVENANTS OR OTHER INSTRUMENTS OF RECORD.
4. COMPARE DEED DESCRIPTION AND SITE CONDITIONS WITH THE DATA GIVEN ON THIS PLAT AND IMMEDIATELY REPORT ANY DISCREPANCIES TO THE SURVEYOR.



DATE	REVISIONS	BY

GREENGARD INC.
Engineers • Surveyors • Planners
111 Barclay Blvd., Suite 310, Lincolnshire, Illinois 60069-2906
847/634-3883 E-MAIL: 231@greengardinc.com FAX: 847/634-0687

SCALE: 1"=20'
DRAWING No. 69194
SHEET 1 OF 1

9015 KEELER AVENUE - SKOKIE, IL

PLAT OF SURVEY



WEST ELEVATION



SOUTH ELEVATION



EAST ELEVATION



NORTH ELEVATION



4156 GROVE ST



9011 KEELER AVE



9021 KEELER AVE



9027 KEELER AVE



9030 KEELER AVE



9020 KEELER AVE

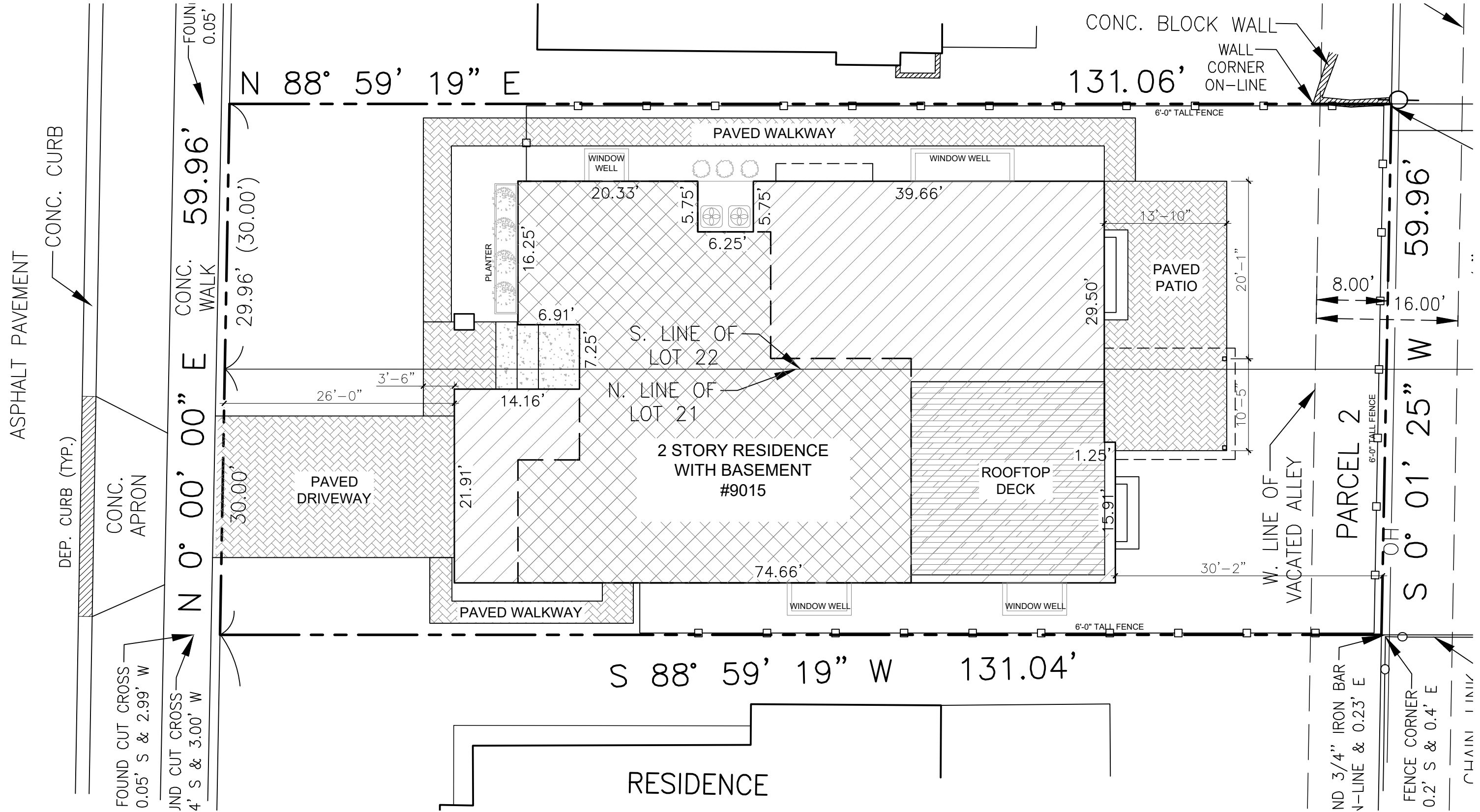


9016 KEELER AVE

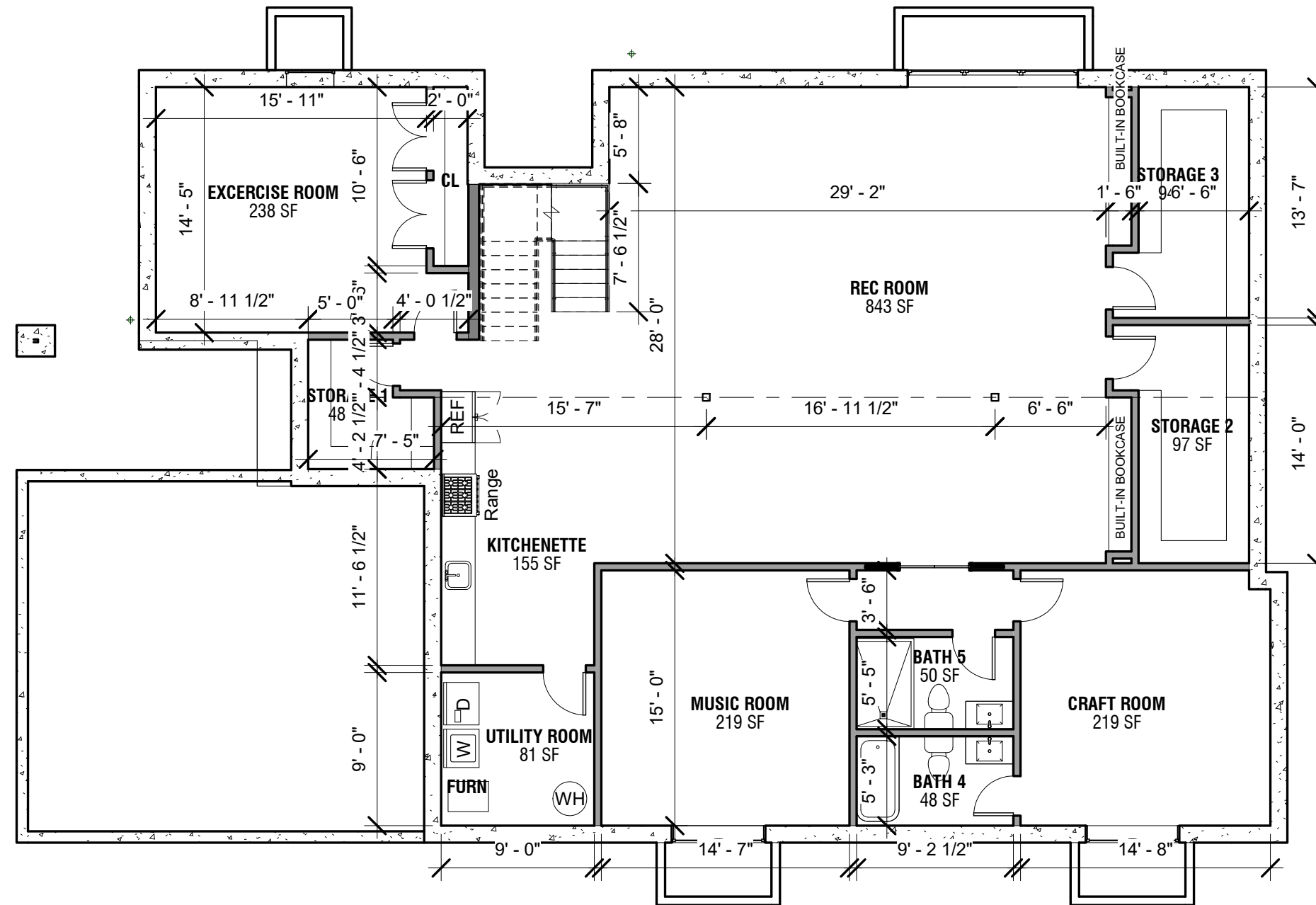


9010 KEELER AVE

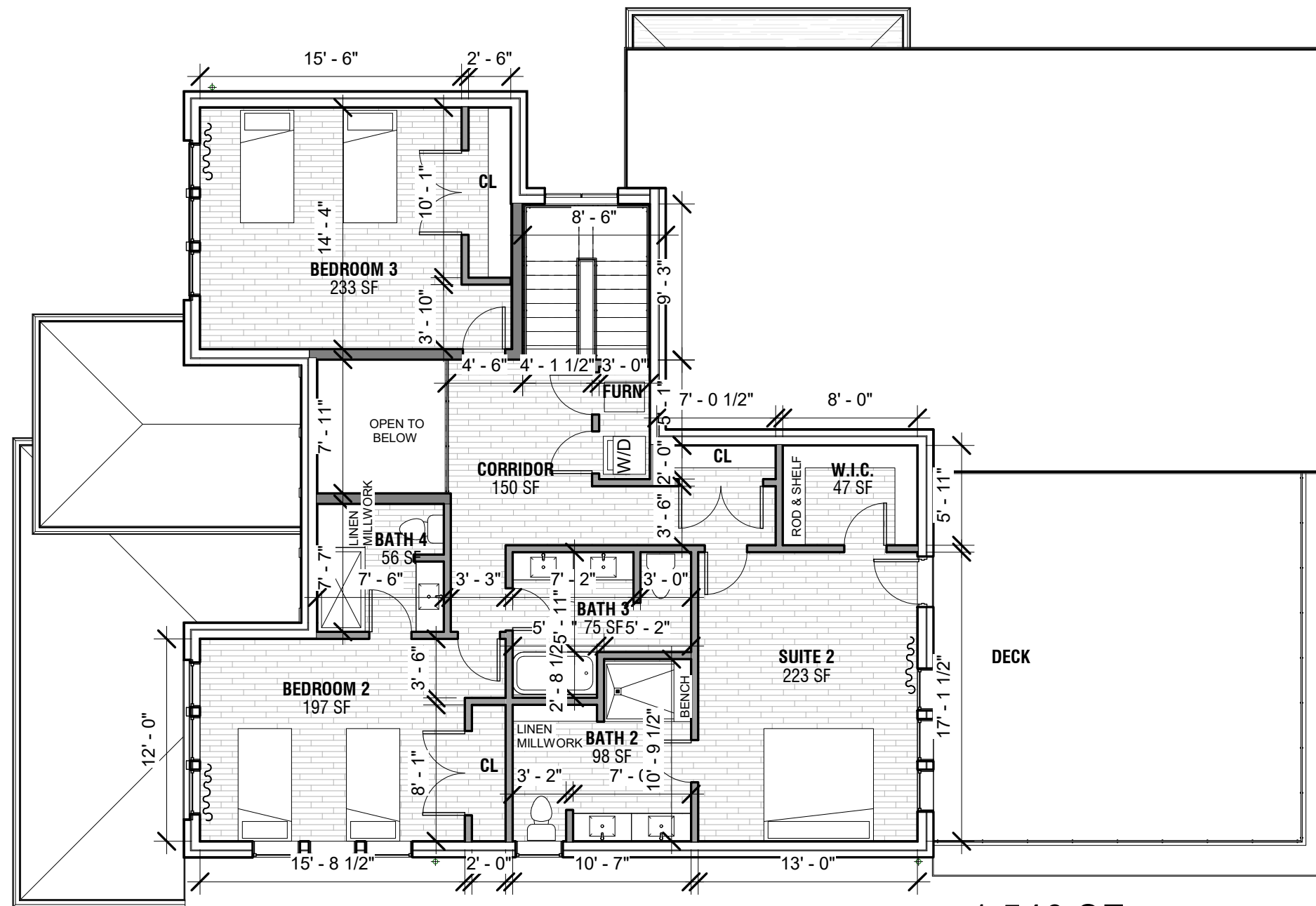
KEELER AVENUE



SITE PLAN
 3/32" = 1'-0"



① BASEMENT
 1/8" = 1'-0"

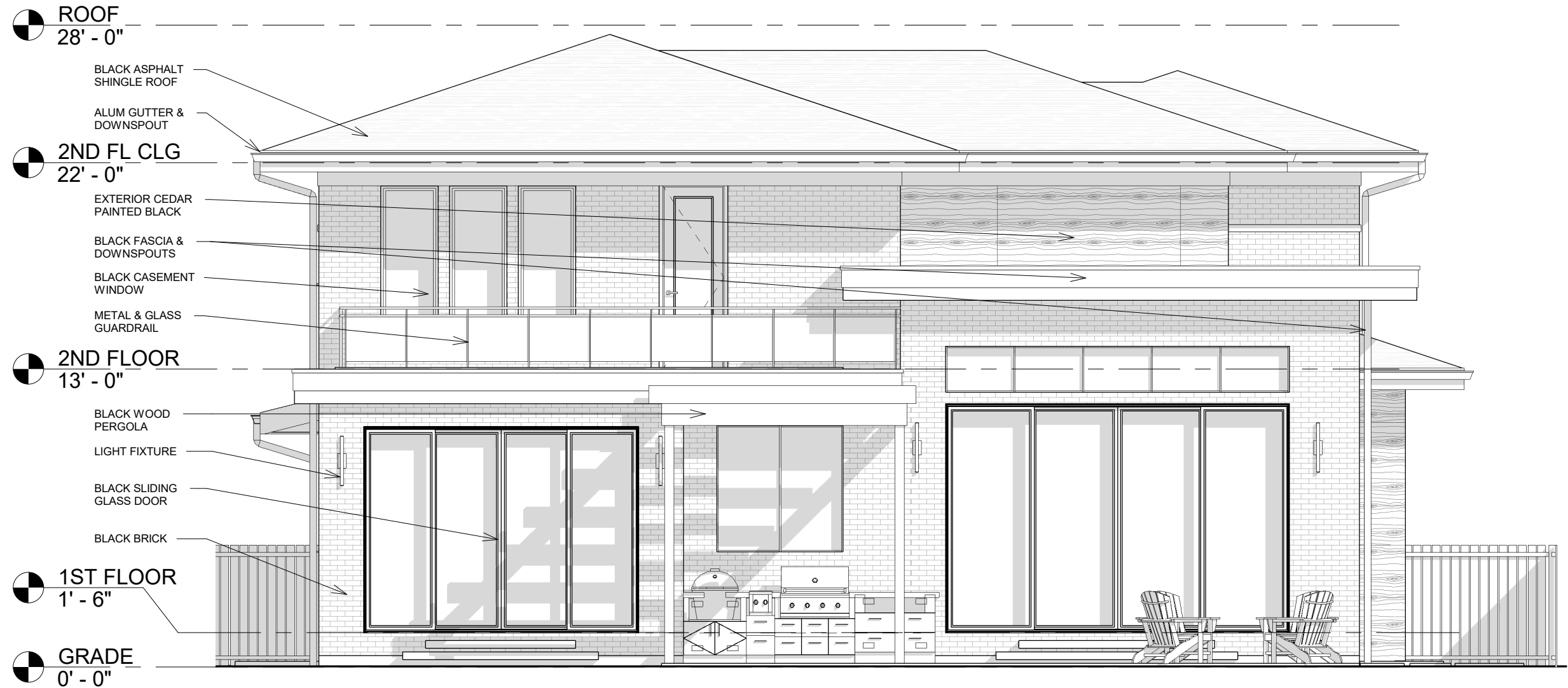


1,546 SF

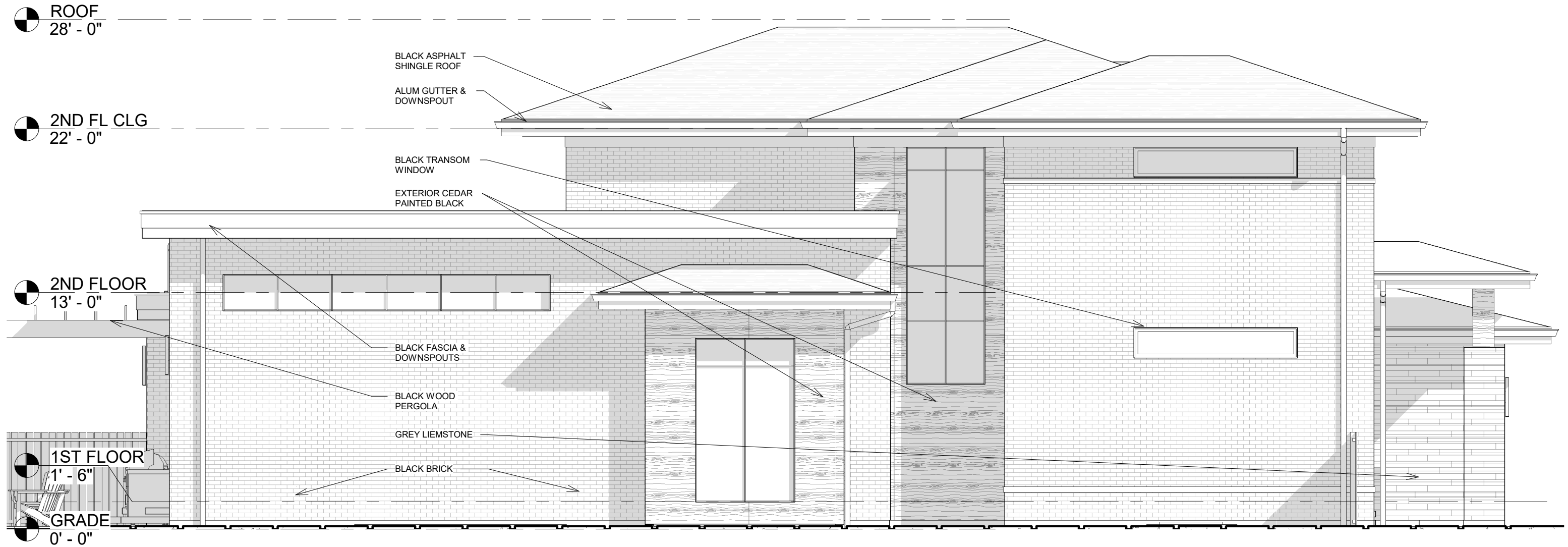
① 2ND FLOOR
1/8" = 1'-0"



① WEST ELEVATION
 3/16" = 1'-0"



① EAST ELEVATION
 3/16" = 1'-0"



③ NORTH ELEVATION
3/16" = 1'-0"

ROOF
28' - 0"

2ND FL CLG
22' - 0"

2ND FLOOR
13' - 0"

1ST FLOOR
1' - 6"

GRADE
0' - 0"

BLACK ASPHALT
SHINGLE ROOF

ALUM GUTTER &
DOWNSPOUT

GREY TRANSOM
WINDOW

METAL & GLASS
GUARDRAIL

BLACK BRICK

BLACK CASEMENT
WINDOWS

GREY
LIMESTONE SILL

① SOUTH ELEVATION
3/16" = 1'-0"



EBONITE SATIN SMOOTH
MODULAR SIZE



VALDERS DOVEWHITE DIMENSION
SPLITFACE - EDEN VALDERS STONE



EXTERIOR CEDAR
PAINTED BLACK



GREY LIMESTONE
RANDOM ASHLAR COURSE



BLACK CASEMENT
WINDOWS



BLACK ALUMINUM PANELS
& WINDOW TRIM



3D VIEW

9015 KEELER AVE
SKOKIE, IL 60076

T3.1

Enrique Castel
Architect
10368 Central Park Blvd
Huntley, IL 60142

p: 224.253.8027

encast@comcast.net

October 5, 2023

Brian Augustine
Zoning Administrator/Permits Supervisor
Community Development Department
Village of Skokie
5127 Oakton St
Skokie, IL 60077

Re: University Dermatology & Vein Clinic
Exterior Alterations
4605 Golf Rd

To whom it may concern,

Attached to this letter are the proposed modifications to the exterior from the previous approval. In lieu of the proposed brick & EIFS façade, we will be going with a stone base material around the knee wall perimeter of the building, the piers will be refinished in a smooth metal panel with backlight lighting on each pier and above the windows we will have a 24 gauge metal rib panels above the windows. The top of the windows will have a smooth metal panel bump-out as shown on the elevations.

The east entrance was modified to include the “clock” tower that has become a design feature at the most recent locations for this client, St Joseph MI (see below), Michigan City, IN and most recent Villa Park (see last pages on the packet)

St Joseph MI



Please contact our office with any questions regarding information noted above.

Sincerely,

A handwritten signature in black ink, appearing to read "Enrique Castel".

Enrique Castel
Architect



Village of Skokie APPEARANCE COMMISSION APPLICATION

Community Development Department - Building & Zoning Division
5127 Oakton St. Skokie, IL 60077
Phone 847/933-8223 Fax 847/933-8230

The Appearance Commission meets the 2nd Wednesday of each month at 7:30 p.m.

Until further notice, applications will only be accepted in a PDF format.

APPLICATION DATE: 08/31/23

APPLICATION TYPE (Please check all that apply):

New Construction 1st Floor Addition 2nd Floor Addition Façade Signage Other

LAND USE:

Single Family Residential Multifamily Residential Mixed Use Commercial Industrial Other

SUBJECT ADDRESS: 4605 Golf Rd

OWNER INFORMATION:

Please print legibly.

NAME(S): Golf Medical LLC

ADDRESS: 745 S Park Ave CITY, STATE ZIP: Hinsdale, IL 60521

PHONE#: 773-351-2862 EMAIL: billdimitropoulos@yahoo.com

AGENT/PETITIONER INFORMATION (if other than owner):

NAME(S): Enrique Castel DAYTIME PHONE #: 224-253-8027

ADDRESS: 10368 Central Park Blvd CITY, STATE ZIP: Huntley, IL 60142

EMAIL: encast@comcast.net SIGNATURE: 

Please submit the following PDFs to appearance@skokie.org to complete your digital-only application:

1. Elevations, floor plans, and site plans. Scale 1/4" = 1'-0" is preferred, but not required. If the file size is greater than 5MB, multiple emails are allowed. Ensure "Appearance Commission PDF" and the project's property address are in the subject line of the email. Color elevations or one color rendering is required.
2. Completed Zoning Information Worksheet (residential projects only)
3. Photographs (all sides of the subject building and the fronts of neighboring buildings)
4. Excerpts of brochures and/or cut sheets of new materials and colors proposed for the project. Matching existing materials and colors can be confirmed with the submitted photographs.
5. Plat of Survey

*** The Building, Zoning, will not take in or hold material or color samples.

*** Visit <https://www.skokie.org/357/Appearance-Commission> to access the staff report prior to the meeting.

Fee Schedule

Residential Site (new) ...	\$100 plus \$50.00 per unit
Non-Residential Site* (new) ...	\$100 plus \$50.00 per 1,000 square feet (based on square footage of building)

* Any non-residentially zoned site (Business, Industrial, Mixed-Use districts)

Any Other Appearance Review (Additions, Façade, Sign Package, etc.) ... \$50.00

If you have already paid for a preliminary plan review there is no charge.

For Office Use Only:

Case Number _____ Meeting Date _____

Acct # NR Amt \$ _____ Cash / Credit Card/ Check # _____

Any required fees or monies owed by the applicant to the Village must be paid as a condition of approval.

2023 Appearance Commission Schedule

<u>Meeting Date</u>	<u>Submittal Deadline</u>
January 11, 2023	December 28, 2022
February 8, 2023	January 25, 2023
March 8, 2023	February 22, 2023
April 26, 2023	April 12, 2023
May 10, 2023	April 26, 2023
June 14, 2023	May 31, 2023
July 12, 2023	June 28, 2023
August 9, 2023	July 26, 2023
September 13, 2023	August 30, 2023
October 11, 2023	September 27, 2023
November 8, 2023	October 25, 2023
December 20, 2023	December 6, 2023

UNIVERSITY DERMATOLOGY ADDITION

4605 GOLF RD.
SKOKIE, IL 60077

REVISED ELEVATION 08/31/23



1 NORTH (FRONT) ELEVATION

1/8" = 1'-0"



2 EAST ELEVATION

1/8" = 1'-0"

Enrique Castel Architect

10368 CENTRAL PARK BLVD . HUNTLEY, IL 60142 .
P 224-253-8027 . ENCAST@COMCAST.NET

METALMASTER ROOFMASTER

Leader in the Industry

4800 METALMASTER WAY, MCHENRY, IL 60050
OFFICE: 815.459.6415 • FAX: 815.459.6596
www.metalmaster-roofmaster.com

LETTER OF TRANSMITTAL

ATTN: MR. ROBERT HAHN

JOB NAME: 15 W NORTH AVENUE
VILLA PARK, IL

TO: RMH CAPITOL, INC.
105 ESSEX LANE
NEW LENOX, IL 60451

WE ARE SENDING YOU HEREWITH: SUBMITTALS FOR APPROVAL
PLEASE CALL WITH QUESTIONS OR CONCERNS BEFORE
ISSUING CHANGES TO DETAILS OR DOCUMENTATION

- Shop Drawings Brochures Plans Samples Copy of letter
 Copy of letter Change Order Contract/Purchase Order/Subcontract Submitted By: DE

NUMBER OF COPIES	DATE	PREPARED BY	DESCRIPTION
6	01/25/2023	DUSTIN ESPANA	SUBMITTALS
		JOE DORFNER	

THESE ARE TRANSMITTED as checked below:

- For Approval Approved as Submitted Resubmit _____ Copies for Approval
 For Your Use Approved as Noted Submit _____ Copies for Distribution
 As Requested Not Approved, Returned for Corrections Return _____ Sepia _____ Prints
 For Review and Comment

REMARKS: PLEASE FORWARD THESE SUBMITTALS TO THE ARCHITECT FOR APPROVAL PLEASE
HAVE THE ARCHITECT CALL TO DISCUSS ANY CHANGES OR QUESTIONS PRIOR TO
RETURNING THESE SUBMITTALS.

METALMASTER _____
_____ **ROOFMASTER**

Leader in the Industry

4800 METALMASTER WAY, MCHENRY, IL 60050

OFFICE: 815.459.6415 • FAX: 815.459.6596

www.metalmaster-roofmaster.com

PLEASE READ PRIOR TO REVIEWING THESE SHOP DRAWINGS

RE: 15 W. NORTH AVENUE
VILLA PARK, IL

TO: RMH CAPITOL, INC.
105 ESSEX LANE
NEW LENOX, IL 60451

ATTN: MR. ROBERT HAHN

IN ORDER FOR METALMASTER ROOFMASTER TO PROCESS MATERIAL ORDERS FOR THIS PROJECT, THE FOLLOWING ITEMS MUST BE SIGNED, DATED, AND APPROVED AS LISTED BELOW:

- 1.) **THE SUBMITTAL COVERSHEET MUST BE STAMPED, SIGNED, AND DATED.**
- 2.) **A COLOR SELECTION MUST BE MADE FROM THE BERRIDGE COLOR CHART FOR THE CONCEALED FASTENER CORRUGATED METAL FASCIA/WALL PANELS AND ITS RELATED SHEET METAL TRIMS AND FLASHINGS TO BE USED ON THIS PROJECT.**
- 3.) **A COLOR SELECTION MUST BE MADE FROM THE REYNOBOND COLOR CHART FOR THE COMPOSITE ALUMINUM FASCIA/WALL PANELS AND ITS RELATED SHEET METAL TRIMS AND FLASHINGS TO BE USED ON THIS PROJECT.**

FORWARDING THESE SUBMITTALS BACK TO METALMASTER ROOFMASTER WITHOUT THESE APPROVALS AND SELECTIONS WILL NOT ALLOW METALMASTER ROOFMASTER TO PROCESS MATERIAL ORDERS FOR THIS PROJECT.

RESPECTFULLY SUBMITTED,
METALMASTER/ROOFMASTER

REL. DATE: 01/25/2023 BY: DE
REV.: DATE: BY:

SUBMITTALS
FOR
15 W. NORTH AVENUE
VILLA PARK, IL

STAMP OR SIGN FOR APPROVAL

ROBERT M. HAHN SR.
Robert M. Hahn Sr.
DRAFTER OF SUBMITTED DRAWINGS
EDITED &
APPROVED ON
2/2/23

IF YOU HAVE ANY QUESTIONS PLEASE CALL (815) 459-6415 OR
FAX # (815) 459-6596. PLEASE RETURN TO THE FOLLOWING ADDRESS.

METALMASTER ROOFMASTER, INC.
4800 METALMASTER WAY
McHENRY, ILLINOIS 60050

- ✓ ① REMOVE BOX RIB METAL X MARKED ON DRAWINGS ABOVE ENTRY DOOR TO RETAIL SPACE
- ✓ ② IS THE COPING DIFFERENT ON THE 2 TOWERS?
NO. WE CORRECTED THAT (NOTED)
- ✓ ③ WHAT DO I DO WITH WARRANTY SAMPLES?
NOTHING AT THIS TIME
- ✓ ④ PPG IS MANUFACTURER
NO. Reynobond. → REYNOBOND IS THE PARENT CO.
- ✓ ⑤ I WANT TO REVIEW THE APPLICATION OF THE METAL ON THE "EYEBROW" AWNINGS & TOWER AWNINGS
- MIKE AND I WILL MEET
- ✓ ⑥ MARK UP PLANS? YES

PER JOE

METALMASTER _____ **ROOFMASTER**

Leader in the Industry

4800 METALMASTER WAY, MCHENRY, IL 60050

OFFICE: 815.459.6415 • FAX: 815.459.6596

www.metalmaster-roofmaster.com

GENERAL NOTICE AND SUBMITTAL CLARIFICATIONS

PLEASE CONTACT OUR OFFICE SHOULD ANY QUESTIONS ARISE DURING YOUR REVIEW OF THESE SUBMITTALS. **RESUBMITTALS COULD TAKE A MINIMUM OF 3 TO 4 WEEKS.** TIME IS OF THE ESSENCE FOR THE SUBMITTAL PROCESS AND THE ELIMINATION OF RESUBMITTALS COULD SAVE THE PROJECT FROM POTENTIAL DELAYS CAUSED BY THEM. DELAYS CAN BE AVOIDED BY CALLING OUR OFFICE WITH ANY QUESTIONS PRIOR TO RETURNING THESE SUBMITTALS, WHICH WILL ALSO ASSIST IN ORDERING MATERIAL, SCHEDULING, FABRICATION AND INSTALLATION.

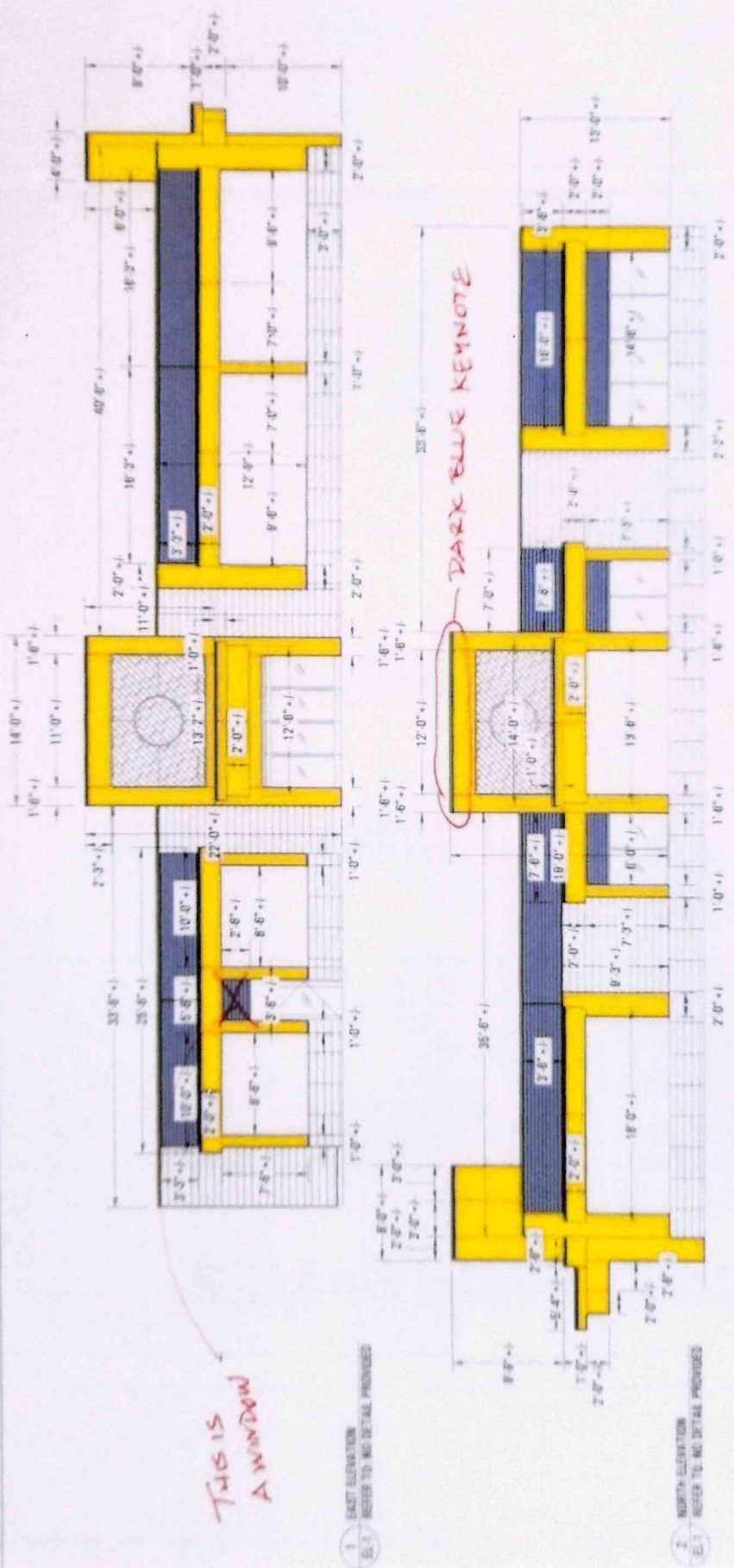
APPROVAL OF THESE SUBMITTALS, EITHER IN WHOLE OR IN PART, SHALL ALSO CONSTITUTE APPROVAL OF EACH OF THE FOLLOWING GENERAL ITEMS:

- METALMASTER ROOFMASTER IS TO PERFORM PER THE APPROVED SUBMITTALS. THE ARCHITECT, GENERAL CONTRACTOR, OWNER, AND/OR OWNER'S AGENT ARE SOLELY RESPONSIBLE FOR ENSURING THAT THE METAL PANEL SYSTEMS SUBMITTED MEET ALL OF THE APPLICABLE DESIGN REQUIREMENTS INCLUDING, BUT NOT LIMITED TO ALL UPLIFT, WEIGHT LOAD, ASCE, ASTM, F.M., U.L., CODE, ORDINANCE, SOLAR REFLECTANCE, SRI, REFLECTIVITY, R-VALUE, FIRE RATING, ASTM, ENERGY CODE, LEED, AND V.O.C. REQUIREMENTS FOR THIS PROJECT.
- THE INSTALLATIONS, ALL OF THE MULTIPLE MATERIAL COMPONENTS, THE MANUFACTURERS OF THE PRODUCTS SUBMITTED (BERRIDGE, REYNOBOND, ETC), THEIR CHARACTERISTICS, AND THE INSTALLATION PROCEDURES OF THE CONCEALED FASTENER CORRUGATED METAL FASCIA/WALL PANELS AND THE COMPOSITE ALUMINUM FASCIA/WALL PANELS ARE ALL ACCEPTABLE AS SUBMITTED.

THE AFORESAID GENERAL ITEMS ARE SET FORTH MORE SPECIFICALLY IN THE SUBMITTALS HEREIN. APPROVAL OF THESE SUBMITTALS, EITHER IN WHOLE OR IN PART, SHALL ALSO CONSTITUTE APPROVAL OF THESE GENERAL ITEMS, AS WELL AS ALL OF THE PRODUCTS, DETAILS, INSTALLATIONS, INCLUSIONS, EXCLUSIONS, AND/OR ANY ADJUSTMENTS MADE TO THE ORIGINAL BID DOCUMENTS, ARE ALL ACCEPTABLE AS SUBMITTED.

PLEASE CONTACT OUR OFFICE PRIOR TO RETURNING THESE SUBMITTALS IF NOT "APPROVED" OR "APPROVED AS NOTED" TO DISCUSS ANY QUESTIONS OR CONCERNS AND TO AVOID POTENTIAL DELAYS TO THIS PROJECT.

RESPECTFULLY SUBMITTED,
METALMASTER ROOFMASTER, INC.



1 EAST ELEVATION
REFER TO: NO DETAIL PROVIDED

2 NORTH ELEVATION
REFER TO: NO DETAIL PROVIDED

*NOTE PLEASE NOTE THAT THE TYPICAL JOINTS OF THE FASCIA WALL PANELS AND ITS RELATED SHEET METAL TRIMS AND FLASHINGS WILL NOT SPECIFICALLY LINE UP WITH EACH OTHER, AND/OR ANY JOINTS ABOVE OR BELOW ON THIS PROJECT. (TYP. IN L.C.)

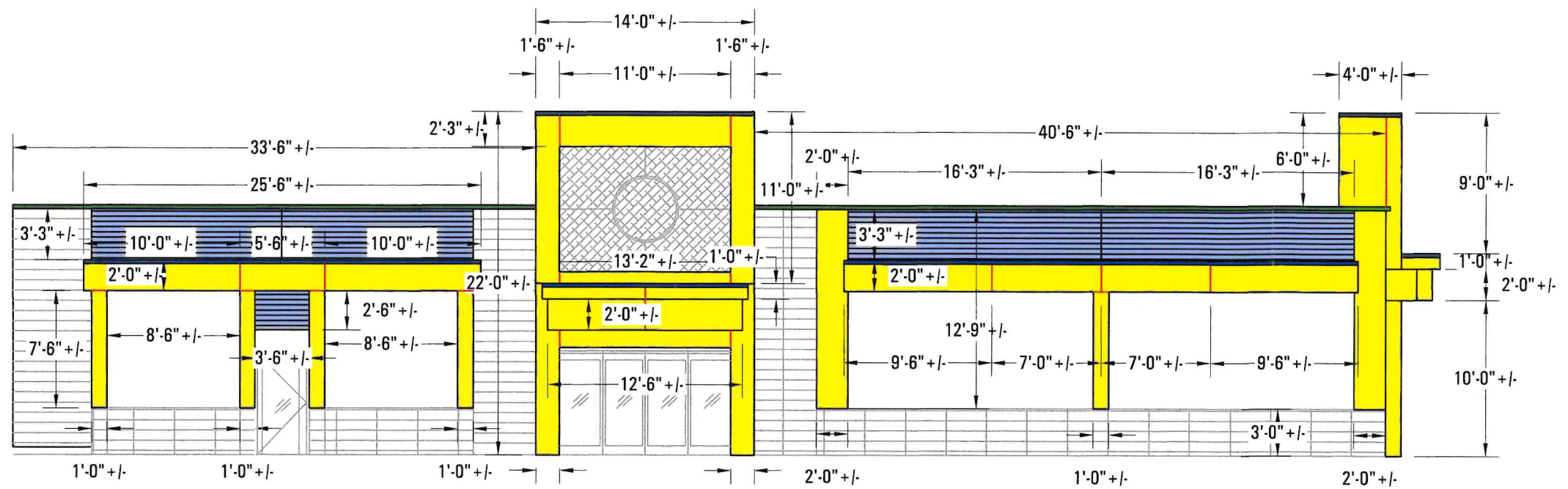
*NOTE ALL DIMENSIONS AND PANEL JOINT LAYOUTS AT THE COMPOSITE ALUMINUM FASCIA WALL PANEL LOCATIONS ARE APPROXIMATE AND ARE TO BE VERIFIED IN THE FIELD PRIOR TO FABRICATION. IF A DIFFERENT PANEL LAYOUT IS REQUIRED AT THE COMPOSITE ALUMINUM FASCIA WALL PANEL LOCATIONS, PLEASE NOTE THE NECESSARY CHANGES ON THIS PAGE. IN ADDITION, ADJUSTMENTS TO THE DIMENSIONS AND PANEL JOINT LAYOUTS OF THE COMPOSITE ALUMINUM FASCIA WALL PANEL LOCATIONS MAY NEED TO BE MADE IN THE FIELD IN ORDER TO ACCOMMODATE THE FIELD CONDITIONS, AS RECOGNIZED BY METALMASTER ROOFMASTER, ONLY. (TYP.)

*NOTE ALL WORK SHOWN THAT IS NOT REFERENCED SPECIFICALLY TO BE COMPOSITE ALUMINUM FASCIA WALL PANEL MATERIAL ON THIS PAGE (E.L. 1) IS SHOWN FOR REFERENCE AND COORDINATION PURPOSES ONLY, AND IS TO BE DISIGNED, ENGINEERED, LOCATED, FURNISHED, AND INSTALLED AS REQUIRED BY GC/OTHERS. (TYP. IN L.C.)

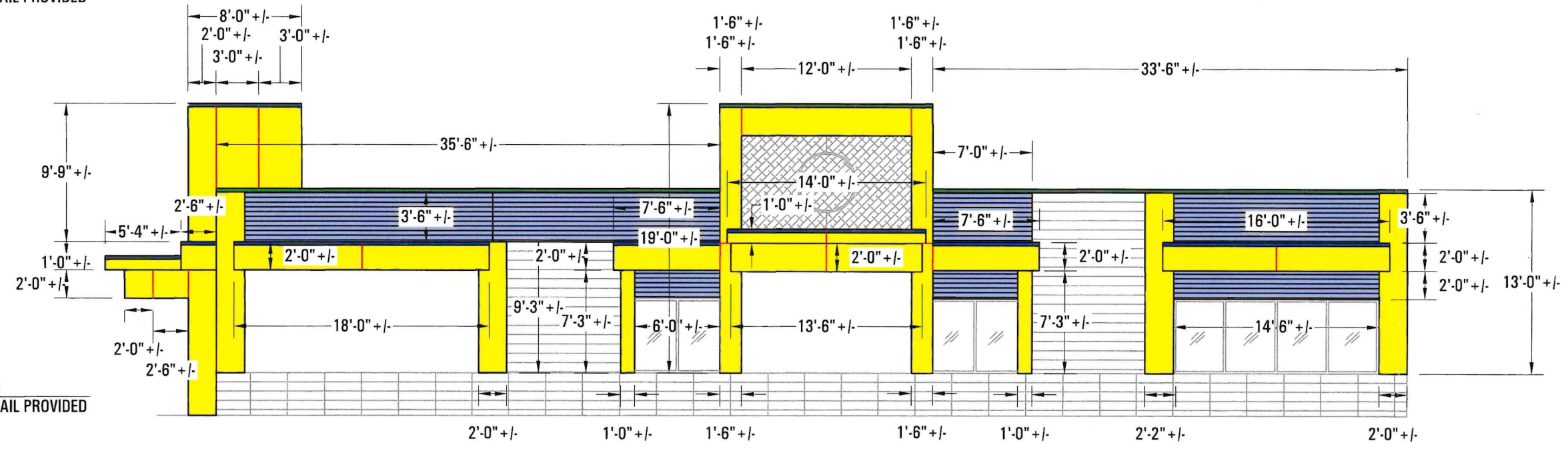
- INDICATES THE APPROXIMATE LOCATIONS WHERE THE 24 GAUGE PREFINISHED GALVALUME METALMASTER ROOFMASTER CUSTOM SHOP FABRICATED COPING USING DEBRIS SHEET METAL MATERIAL, IS TO BE FURNISHED AND INSTALLED BY METALMASTER ROOFMASTER ON THIS PROJECT. (TYP.)
- INDICATES THE APPROXIMATE LAYOUT AND LOCATIONS WHERE THE 24 GAUGE PREFINISHED GALVALUME BRIDGE BR 12 BOX RIB CONCEALED FASTENER CORRUGATED METAL FASCIA WALL PANELS ARE TO BE FURNISHED AND INSTALLED HORIZONTALLY BY METALMASTER ROOFMASTER ON THIS PROJECT. (TYP.)
- INDICATES THE APPROXIMATE LAYOUT AND LOCATIONS WHERE THE 24 GAUGE PREFINISHED ALUMINUM METALMASTER CUSTOM SHOP FABRICATED COPING CAP, USING RETROFITTING SHEET METAL MATERIAL, IS TO BE FURNISHED AND INSTALLED BY METALMASTER ROOFMASTER ON THIS PROJECT. (TYP.)
- INDICATES THE APPROXIMATE LOCATIONS WHERE THE 4 MM FR CORE RETROFITTING COMPOSITE ALUMINUM METALMASTER CUSTOM SHOP FABRICATED FASCIA WALL PANELS ARE TO BE FURNISHED AND INSTALLED BY METALMASTER ROOFMASTER. (TYP.)
- INDICATES THE APPROXIMATE LAYOUT AND LOCATIONS OF THE COMPOSITE ALUMINUM FASCIA WALL PANEL JOINTS. (TYP.)
- INDICATES THE ENTIRE MAIN BUILDING STRUCTURE, WHERE NO WORK IS TO BE PERFORMED BY METALMASTER ROOFMASTER ON THIS PROJECT. (TYP. IN L.C.)

METALMASTER ROOFMASTER
 Leader in the Industry
 4800 METALMASTER WAY, MCHERRY, S. 60000
 OFFICE 815.450.8415 FAX 815.450.6586
 www.metalmaster-roofmaster.com

SCALE: NTS	EAST AND NORTH EXTENSION ELEVATIONS
MAT'L: N/A	REFER TO: NO DETAIL PROVIDED
FINISH: N/A	JOB NAME: 15 W. NORTH AVENUE
COLOR: N/A	LOCATION: VILLA PARK, IL
DATE: 01/25/2022	PAGE
DRAWN BY: D.E.	EL: 1



1 EAST ELEVATION
EL-1 REFER TO: NO DETAIL PROVIDED



2 NORTH ELEVATION
EL-1 REFER TO: NO DETAIL PROVIDED

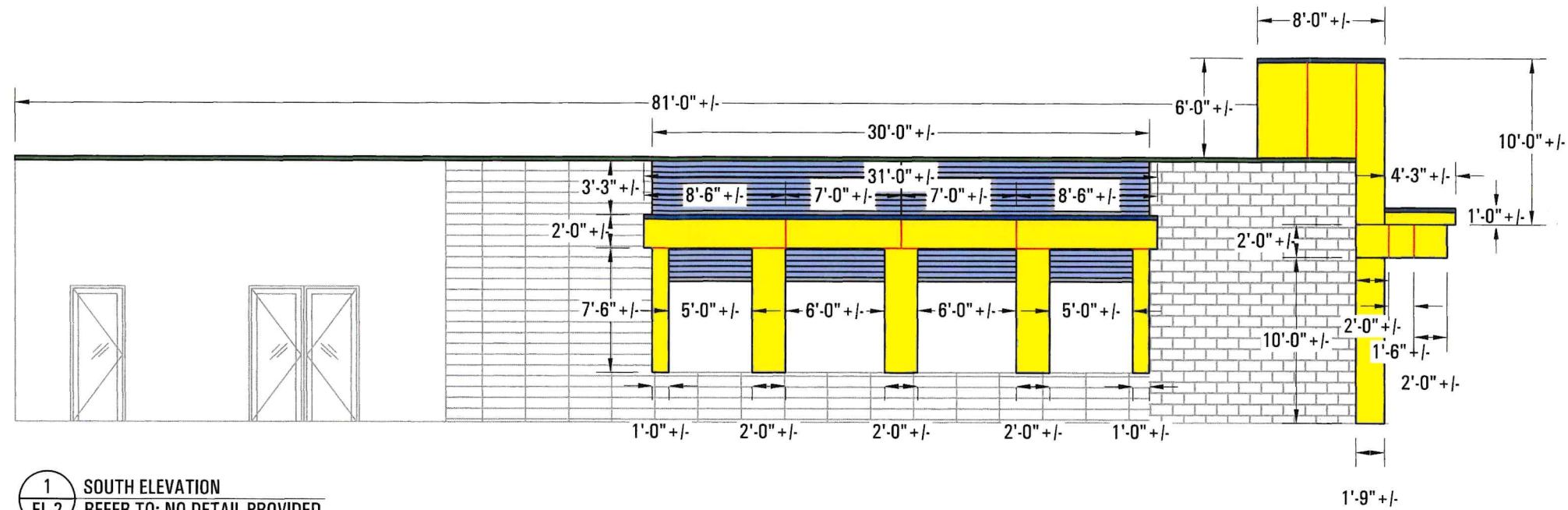
- INDICATES THE APPROXIMATE LOCATIONS WHERE THE 24 GAUGE PREFINISHED GALVALUME METALMASTER ROOFMASTER CUSTOM SHOP FABRICATED COPING, USING BERRIDGE SHEET METAL MATERIAL, IS TO BE FURNISHED AND INSTALLED BY METALMASTER ROOFMASTER ON THIS PROJECT, (TYP.).
- INDICATES THE APPROXIMATE LAYOUT AND LOCATIONS WHERE THE 24 GAUGE PREFINISHED GALVALUME BERRIDGE BR-12 BOX RIB CONCEALED FASTENER CORRUGATED METAL FASCIA/WALL PANELS ARE TO BE FURNISHED AND INSTALLED HORIZONTALLY BY METALMASTER ROOFMASTER ON THIS PROJECT, (TYP.).
- INDICATES THE APPROXIMATE LAYOUT AND LOCATIONS WHERE THE .040 PREFINISHED ALUMINUM METALMASTER CUSTOM SHOP FABRICATED COPING CAP, USING REYNOBOND SHEET METAL MATERIAL, IS TO BE FURNISHED AND INSTALLED BY METALMASTER ROOFMASTER ON THIS PROJECT, (TYP.).
- INDICATES THE APPROXIMATE LOCATIONS WHERE THE 4 MM FR CORE REYNOBOND COMPOSITE ALUMINUM METALMASTER CUSTOM SHOP FABRICATED FASCIA/WALL PANELS ARE TO BE FURNISHED AND INSTALLED BY METALMASTER ROOFMASTER, (TYP.).
- INDICATES THE APPROXIMATE LAYOUT AND LOCATIONS OF THE COMPOSITE ALUMINUM FASCIA/WALL PANEL JOINTS, (TYP.).
- INDICATES THE ENTIRE MAIN BUILDING STRUCTURE, WHERE NO WORK IS TO BE PERFORMED BY METALMASTER ROOFMASTER ON THIS PROJECT, TYP. (N.I.C.)

*NOTE: PLEASE NOTE THAT THE TYPICAL JOINTS OF THE FASCIA/WALL PANELS AND ITS RELATED SHEET METAL TRIMS AND FLASHINGS WILL NOT SPECIFICALLY LINE UP WITH EACH OTHER, AND/OR ANY JOINTS ABOVE OR BELOW ON THIS PROJECT, TYP. (N.I.C.).







*NOTE: ALL DIMENSIONS AND PANEL JOINT LAYOUTS AT THE COMPOSITE ALUMINUM FASCIA/WALL PANEL LOCATIONS ARE APPROXIMATE AND ARE TO BE VERIFIED IN THE FIELD PRIOR TO FABRICATION. IF A DIFFERENT PANEL LAYOUT IS REQUIRED AT THE COMPOSITE ALUMINUM FASCIA/WALL PANEL LOCATIONS, PLEASE NOTE THE NECESSARY CHANGES ON THIS PAGE. IN ADDITION, ADJUSTMENTS TO THE DIMENSIONS AND PANEL JOINT LAYOUTS OF THE COMPOSITE ALUMINUM FASCIA/WALL PANEL LOCATIONS MAY NEED TO BE MADE IN THE FIELD, IN ORDER TO ACCOMMODATE THE FIELD CONDITIONS, AS RECOGNIZED BY METALMASTER ROOFMASTER, ONLY, (TYP.).

*NOTE: ALL WORK SHOWN THAT IS NOT REFERENCED SPECIFICALLY TO BE COMPOSITE ALUMINUM FASCIA/WALL PANEL MATERIAL ON THIS PAGE (EL-1) IS SHOWN FOR REFERENCE AND COORDINATION PURPOSES ONLY, AND IS TO BE DESIGNED, ENGINEERED, LOCATED, FURNISHED, AND INSTALLED AS REQUIRED BY GC/OTHERS, TYP. (N.I.C.).

METALMASTER ROOFMASTER		SCALE: NTS	
<i>Leader in the Industry</i>		EAST AND NORTH EXTERIOR ELEVATIONS	
4800 METALMASTER WAY, MCHENRY, IL 60050		REFER TO: NO DETAIL PROVIDED	
OFFICE: 815.459.6415 - FAX: 815.459.6596		JOB NAME: 15 W. NORTH AVENUE	
www.metalmaster-roofmaster.com		PAGE	
DATE: 01/25/2022		EL-1	
DRAWN BY: D.E.		LOCATION: VILLA PARK, IL	



1 SOUTH ELEVATION
EL-2 REFER TO: NO DETAIL PROVIDED

-  - INDICATES THE APPROXIMATE LOCATIONS WHERE THE 24 GAUGE PREFINISHED GALVALUME METALMASTER ROOFMASTER CUSTOM SHOP FABRICATED COPING, USING BERRIDGE SHEET METAL MATERIAL, IS TO BE FURNISHED AND INSTALLED BY METALMASTER ROOFMASTER ON THIS PROJECT, (TYP.).
-  - INDICATES THE APPROXIMATE LAYOUT AND LOCATIONS WHERE THE 24 GAUGE PREFINISHED GALVALUME BERRIDGE BR-12 BOX RIB CONCEALED FASTENER CORRUGATED METAL FASCIA/WALL PANELS ARE TO BE FURNISHED AND INSTALLED HORIZONTALLY BY METALMASTER ROOFMASTER ON THIS PROJECT, (TYP.).
-  - INDICATES THE APPROXIMATE LAYOUT AND LOCATIONS WHERE THE .040 PREFINISHED ALUMINUM METALMASTER CUSTOM SHOP FABRICATED COPING CAP, USING REYNOBOND SHEET METAL MATERIAL, IS TO BE FURNISHED AND INSTALLED BY METALMASTER ROOFMASTER ON THIS PROJECT, (TYP.).
-  - INDICATES THE APPROXIMATE LOCATIONS WHERE THE 4 MM FR CORE REYNOBOND COMPOSITE ALUMINUM METALMASTER CUSTOM SHOP FABRICATED FASCIA/WALL PANELS ARE TO BE FURNISHED AND INSTALLED BY METALMASTER ROOFMASTER, (TYP.).
-  - INDICATES THE APPROXIMATE LAYOUT AND LOCATIONS OF THE COMPOSITE ALUMINUM FASCIA/WALL PANEL JOINTS, (TYP.).
-  - INDICATES THE ENTIRE MAIN BUILDING STRUCTURE, WHERE NO WORK IS TO BE PERFORMED BY METALMASTER ROOFMASTER ON THIS PROJECT, TYP. (N.I.C.)

*NOTE: PLEASE NOTE THAT THE TYPICAL JOINTS OF THE FASCIA/WALL PANELS AND ITS RELATED SHEET METAL TRIMS AND FLASHINGS WILL NOT SPECIFICALLY LINE UP WITH EACH OTHER, AND/OR ANY JOINTS ABOVE OR BELOW ON THIS PROJECT, TYP. (N.I.C.).

*NOTE: ALL DIMENSIONS AND PANEL JOINT LAYOUTS AT THE COMPOSITE ALUMINUM FASCIA/WALL PANEL LOCATIONS ARE APPROXIMATE AND ARE TO BE VERIFIED IN THE FIELD PRIOR TO FABRICATION. IF A DIFFERENT PANEL LAYOUT IS REQUIRED AT THE COMPOSITE ALUMINUM FASCIA/WALL PANEL LOCATIONS, PLEASE NOTE THE NECESSARY CHANGES ON THIS PAGE. IN ADDITION, ADJUSTMENTS TO THE DIMENSIONS AND PANEL JOINT LAYOUTS OF THE COMPOSITE ALUMINUM FASCIA/WALL PANEL LOCATIONS MAY NEED TO BE MADE IN THE FIELD, IN ORDER TO ACCOMMODATE THE FIELD CONDITIONS, AS RECOGNIZED BY METALMASTER ROOFMASTER, ONLY, (TYP.).

*NOTE: ALL WORK SHOWN THAT IS NOT REFERENCED SPECIFICALLY TO BE COMPOSITE ALUMINUM FASCIA/WALL PANEL MATERIAL ON THIS PAGE (EL-2) IS SHOWN FOR REFERENCE AND COORDINATION PURPOSES ONLY, AND IS TO BE DESIGNED, ENGINEERED, LOCATED, FURNISHED, AND INSTALLED AS REQUIRED BY GC/OTHERS, TYP. (N.I.C.).

METALMASTER
ROOFMASTER
Leader in the Industry
4800 METALMASTER WAY, MCHENRY, IL 60050
OFFICE: 815.459.6415 - FAX: 815.459.6596
www.metalmaster-roofmaster.com

SCALE: NTS	SOUTH EXTERIOR ELEVATION	
MAT'L: N/A	REFER TO: NO DETAIL PROVIDED	
FINISH: N/A	JOB NAME: 15 W. NORTH AVENUE	PAGE
COLOR: N/A	LOCATION: VILLA PARK, IL	EL-2
DATE: 01/25/2022		
DRAWN BY: D.E.		

SAMPLE WARRANTIES

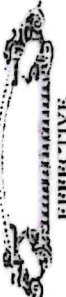
COMPONENT/SYSTEM	WARRANTY PROVIDED
<p>WORKMANSHIP WARRANTY FOR THE FOLLOWING:</p> <ul style="list-style-type: none"> • CONCEALED FASTENER CORRUGATED METAL FASCIA/WALL PANEL WORK. • CONCEALED FASTENER CORRUGATED METAL FASCIA/WALL PANEL RELATED SHEET METAL TRIM AND FLASHING WORK. • COMPOSITE ALUMINUM FASCIA/WALL PANEL WORK. • COMPOSITE ALUMINUM FASCIA/WALL PANEL RELATED SHEET METAL TRIM AND FLASHING WORK. 	<p>1 YEAR METALMASTER STANDARD CONTRACTOR WARRANTY (SAMPLE ATTACHED).</p>
<p>24 GAUGE PREFINISHED GALVALUME SHEET METAL FINISH WARRANTY FOR THE FOLLOWING:</p> <ul style="list-style-type: none"> • CONCEALED FASTENER CORRUGATED METAL FASCIA/WALL PANELS. • CONCEALED FASTENER CORRUGATED METAL FASCIA/WALL PANEL RELATED SHEET METAL TRIMS AND FLASHINGS. 	<p>40 YEAR STANDARD BERRIDGE MATERIAL FINISH WARRANTY (SAMPLE ATTACHED).</p>
<p>.040 PREFINISHED ALUMINUM AND 4 MM FR CORE REYNOBOND COMPOSITE ALUMINUM METALMASTER CUSTOM SHOP FABRICATED FINISH WARRANTY FOR THE FOLLOWING:</p> <ul style="list-style-type: none"> • COMPOSITE ALUMINUM FASCIA/WALL PANELS. • COMPOSITE ALUMINUM FASCIA/WALL PANEL RELATED SHEET METAL TRIMS AND FLASHINGS. 	<p>30 YEAR REYNOBOND STANDARD PAINT FINISH WARRANTY (SAMPLE ATTACHED).</p>

***NOTE: NO MANUFACTURER'S LABOR AND/OR MATERIAL/WATERTIGHTNESS WARRANTIES ARE TO BE PROVIDED BY METALMASTER ROOFMASTER FOR THE CONCEALED FASTENER CORRUGATED METAL FASCIA/WALL PANELS AND/ OR THE COMPOSITE ALUMINUM FASCIA/WALL PANELS ON THIS PROJECT, TYP. (N.I.C.)**

Warranty



Warranty



METALMASTER ROOFMASTER

Metalmaster Roofmaster, Inc. ("Metalmaster Roofmaster") hereby warrants all work performed by Metalmaster Roofmaster only on the below referenced project against any defect of material and/or workmanship for a period of one (1) year from the effective date shown above and in strict accordance with the terms set forth herein and to the exclusion of all other terms. Provided Metalmaster Roofmaster receive written notice during the warranty period of any defects in workmanship and/or material, Metalmaster Roofmaster will diligently correct any applicable defects in workmanship and/or material under the terms hereof. As a condition precedent of any obligations of Metalmaster Roofmaster under this warranty, the Owner shall have furnished written notice to Metalmaster Roofmaster within 24 hours upon discovery by the Owner or the Owner's agent of the condition requiring repair.

Metalmaster Roofmaster is not liable for any loss or damage during the warranty period caused in whole or in part by: (a) Any and all negligence, intentional actions, misuse and/or abuse by the owner, (including owner's agents, employees, contractors, business invitees, third parties and/or anyone having access to the system); (b) Failure by the Owner to provide routine maintenance; (c) Routine wear and tear; (d) Any act(s), conduct or omission(s) by any person, acts of war, terrorism, vandalism, natural forces or disasters; (e) Deterioration or failure of adjacent or surrounding building components; (f) Condensation, ice backup or infiltration in, through or around adjacent or surrounding building components; (g) Any acids, harmful chemicals, alteration, repair, disturbance, roofing penetrations, heavy traffic, installation or attachment of any kind that does not comply with published specifications and/or which were not performed by Metalmaster Roofmaster; (h) The architecture, engineering, construction and/or design of any of the following: the roof, roofing system, any product or materials supplied or installed by Metalmaster Roofmaster, and/or the building. This warranty shall not take effect and shall not be valid and enforceable until such time as Metalmaster Roofmaster is paid in full in strict accordance with the contractual payment obligations for the project giving rise to this Warranty. This warranty shall be secondary and subordinate to any warranty offered by any manufacturer of any product incorporated into the job giving rise to this Warranty (a "Manufacturer Warranty"), which said Manufacturer Warranty shall be exhausted in full prior to this Warranty taking effect.

Metalmaster Roofmaster's liability and obligations under this Warranty are limited solely to the repair of its material and workmanship only. Under no circumstance shall Metalmaster Roofmaster be liable under this Warranty for: (a) economic damages, (b) consequential damages and special damages; (c) any interior damage to the Owner's building; and/or (d) any damage to material not supplied or installed by Metalmaster Roofmaster. Metalmaster Roofmaster is not liable for any loss or damage to the exterior, interior or contents of any structure under any circumstance. Specific performance of necessary repair work shall be the sole and absolute remedy available to the Warranty holder for any cause of action based in whole or in part upon a breach of this Warranty. Absent written consent, this Warranty shall not be transferable to any third party.

OWNER

METALMASTER ROOFMASTER, INC.

PROJECT NAME

DAVID KOZIAL, EXECUTIVE VICE PRESIDENT

PROJECT LOCATION

Dated this 1st day of January, 2023

Non Transferable



BERRIDGE SAMPLE MANUFACTURER'S STANDARD PAINT FINISH WARRANTY FOR THE CONCEALED FASTENER CORRUGATED METAL FASCIA/WALL PANELS AND THEIR RELATED SHEET METAL TRIMS AND FLASHINGS, ONLY.

Kynar 500® or Hylar 5000™ Limited Finish Warranty

MATERIAL DESCRIPTION:

JOB NAME:

SOLD TO:

**FILE NUMBER:
INVOICE NUMBER(S):**

OWNER:

**EFFECTIVE DATE:
DATE OF ISSUE:**

Berridge Manufacturing Company warrants that Kynar 500® or Hylar 5000™ 70% full-strength Fluoropolymer finish will perform as an effective surfacing material within the scope of the conditions and limitations defined in this warranty document:

EFFECTIVE SURFACING MATERIAL IS DEFINED TO MEAN:

1. Freedom from cracking, chipping or peeling due to the deterioration of the finish for a period of forty (40) years from the effective date, exclusive of mechanical damage or other abnormal contingencies.
2. Freedom from fade or color change in excess of 5 ΔE units calculated in accordance with ASTM D2244 paragraph 6.2.2 CIEL*a*b*, 10° Observer, specular included for a period of thirty (30) years from the effective date.
3. Freedom from chalking in excess of a number 8 rating when measured in accordance with the standard procedures specified in ASTM D4214 for a period of thirty (30) years from the effective date.

TERMS AND CONDITIONS OF WARRANTY:

1. Berridge shall not have any obligation under this Warranty until all invoices for installation, supplies and services have been paid in full to Berridge and to the Roofer.
2. **BERRIDGE HAS NO OBLIGATION NOR RESPONSIBILITY FOR DAMAGE TO FINISH OR MATERIALS CAUSED BY THE FOLLOWING CONDITIONS:**
 - A. Materials installed in industrial, corrosive or aggressive environments including, but not limited to, areas subject to marine conditions, salt water, salt water spray, chemicals, or harmful gases with the exception of normal air pollution.
 - B. Acts of God, falling objects, fire or external forces.
 - C. Abnormal or harmful gases, fumes or chemicals other than general air pollution.
 - D. Physical damage after installation, intentional or unintentional, whether caused by abuse, misuse, negligence, vandalism, or excessive foot traffic on roof area.
 - E. Any act or acts which damages finish after installation of materials on project.
 - F. Physical damage caused during the forming process due to machinery or roll forming process used.
 - G. Slopes of the roof or sections with inadequate drainage or otherwise as to allow standing water, puddling or staining.
 - H. Deterioration of finish or materials due to improper storage prior to or during installation process.
 - I. Deterioration of the finish or substrate caused by standing water or condensation.
 - J. Discoloration or damage to panel finish caused by failure to remove factory-applied protective strippable plastic film.

3. **CUSTOMER MUST NOTIFY BERRIDGE MANUFACTURING COMPANY IN WRITING WITHIN THIRTY (30) DAYS FROM DISCOVERY OF THE CONDITION WHICH IS THE BASIS OF ANY CLAIM AND ALLOW AN INSPECTION OF THE MATERIALS DURING NORMAL BUSINESS HOURS.**

4. **BERRIDGE MANUFACTURING COMPANY'S OBLIGATION WITH RESPECT TO THIS WARRANTY IS LIMITED AS FOLLOWS:**

- A. In the event of a valid claim, Berridge Manufacturing Company shall, at its option: a.) assume the reasonable costs to restore the finish on the materials; b.) furnish replacement materials; or c.) refund the original purchase price paid to Berridge for the materials.
- B. Berridge Manufacturing Company's maximum liability for any claim under this Limited Warranty will be the lesser of the three amounts calculated pursuant to a, b or c of paragraph 4A above.
- C. It will be at the sole discretion of Berridge Manufacturing Company to determine which action will be taken with respect to any claim under this Limited Warranty.
- D. In no event shall Berridge Manufacturing Company's liability exceed the lesser of the cost of replacing or restoring the defective panels.
- E. The warranty on any repaired or replaced product shall be for the remainder of the warranty period applicable to the original purchase.
- F. **EXCEPT AS SET FORTH HEREIN, BERRIDGE MANUFACTURING COMPANY MAKES NO WARRANTIES, EXPRESS OR IMPLIED, INCLUDING, BUT NOT LIMITED TO, THE WARRANTY OF FITNESS FOR A PARTICULAR PURPOSE, AND HEREBY EXPRESSLY DENIES THE SAME.**

5. This warranty is for materials used for Roofing, Trim and Sidewall applications only and when installed in the Continental United States, Alaska and Canada unless Berridge Manufacturing Company agrees otherwise in writing.

6. This warranty is tendered for the sole benefit of the original owner of the project named herein and is not transferable or assignable.

7. Berridge's only liability and responsibility is to comply with the terms and conditions of this Warranty. This Warranty supersedes and is in lieu of any and all other warranties (whether express or implied) that are either in addition to or in conflict with the term(s) and condition(s) stated herein.

8. In the event a court of competent jurisdiction rules that any portion of this Limited Warranty is unenforceable, the remainder of this Limited Warranty shall be construed and enforced as if the stricken portion was not a part hereof originally.

Rev 01/18/2021 - 40YR Kynar Warranty



**REYNOBOND SAMPLE MANUFACTURER'S STANDARD
PAINT FINISH WARRANTY FOR THE COMPOSITE ALUMINUM
FASCIA/WALL PANELS AND THEIR RELATED SHEET METAL
TRIMS AND FLASHINGS, ONLY.**

**LIMITED WARRANTY AND REMEDY
PVDF COIL COATED FINISHES**

ARCONIC ARCHITECTURAL PRODUCTS LLC

This limited warranty ("warranty") is issued by Arconic Architectural Products LLC ("Arconic") to the property owner (the "owner") identified below and applies to the finish on Arconic product(s) identified below coated with either Colorweld® 500, Colorweld® 500 Mica, Colorweld® 500XL, Colorweld® 300, Colorweld® 300 Mica, Colorweld® 300XL, coatings (the "products") and installed at the property (the "property") identified below.

PROPERTY OWNER _____

PROPERTY ADDRESS _____

CITY _____ STATE (OR COUNTY) _____ ZIP _____

DATE INSTALLED _____

CUSTOMER'S NAME _____

CUSTOMER'S ADDRESS _____

CITY _____ STATE (OR COUNTY) _____ ZIP _____

CUSTOMER'S SIGNATURE _____

PRODUCTS: Reynobond® ACM AS3000B 3mm Bonded Sheet AS2000 2mm Sheet
 AS1500 1.5mm Sheet AS1000 1mm Sheet Reynolux Profile Products

SUBSTRATE: Aluminum

PRODUCTS: Colorweld 500 Colorweld 500 Mica Colorweld 500XL
 Colorweld 300 Colorweld 300 Mica Colorweld 300XL

Customer Purchase Order Number(s): _____

AAP LLC Sales Order Number(s): _____

Please send a completed copy of this warranty form to your Customer Service Representative within 10 business days of the Date Installed.

Warranty coverage is subject to the terms, conditions, limitations, remedies and legal rights set forth below:

1. The warranty period shall commence six (6) months from Arconic's initial shipment of the product, or upon substantial completion of the job, whichever occurs first, and the duration of this warranty (the "warranty period") shall be in accordance with the warranty table shown below in this document and shall apply worldwide.
2. The warranty period applicable to any refinished, repaired or replaced products shall be for the remaining un-expired portion of the original warranty period.
3. Subject to the terms and conditions set forth in this warranty, Arconic warrants that during the warranty period the finish on products will not peel, check, or crack (except for such slight crazing or cracking as may occur on normal roll-formed edges or break bends at the time of roll forming or other fabrication of pre-painted panels, sheet or coil and which is accepted in the industry as standard or peeling due to corrosion of the metal substrate) as a direct result of manufacturing defects.
4. Arconic warrants that, in the absence of ponding or standing water, the finish on products will not chalk in excess of a numerical rating of 8 during the warranty periods explained in the chart shown below when measured in accordance with the standard procedures specified in ASTM D-4214, Method A. Notwithstanding the foregoing, Arconic makes no warranty against chalking for any embossed products that are installed 46° or more from the vertical.
5. Arconic warrants that, in the absence of ponding or standing water, the finish on products will not fade or change during the warranty periods explained in the accompanying chart in excess of 5Δ E units, when measured according to ASTM D-2244-02, paragraph 6.2.2 CIEL*a*b*10°. Measurements are taken on exposed paint surfaces which have been sufficiently cleaned of external deposits and chalk. Notwithstanding the foregoing, Arconic makes no warranty against fading or color change for any embossed products that are installed 46° or more from the vertical.
6. This warranty covers only the particular finish defects described in this certificate and only if they arise during normal use and service. It does not cover finish defects attributable to causes or occurrences beyond Arconic's control and unrelated to the manufacturing process, including but not limited to, mechanical abrasion or mechanical damage, faulty or improper fabrication or installation, normal weathering and aging, exposure to corrosive atmosphere (such as those contaminated with salt spray, acid rain, harmful chemicals or vapors), mildew, unreasonable use, misuse, physical abuse, accidental damage, vandalism, use of incompatible accessories, fire, flood, earthquake, lighting, ice, windstorms, or other acts of God, windborne objects, building settlement or structural failures (including walls and foundations) or the use of harmful cleaning compounds, intermittent or continual submersion in water or any other liquid or solid material, deliberate damage, improper handling by erectors, or any other physical damage. Arconic recommends that there be a systematic fresh water rinse maintenance program in effect in areas of high salt concentration (such as adjacent to the seashore and/or industrial



ARCONIC

- atmospheres) so as to prevent the accumulation of concentrated salt deposits. It does not cover the normal weathering or aging of any exposed core material.
7. This warranty does not cover damage to the coating that occurs prior to installation of the product, including, without limitation, contamination occurring during shipment of the product to the jobsite or during storage at the jobsite. Forming panels at temperatures below an ambient temperature of 60°F (16°C) may adversely affect the appearance and performance of the Colorweld finish.
 8. This warranty applies only to finish on products with Arconic's standard substrate metals (i.e., galvanized steel conforming to the latest issue of ASTM A924 and ASTM A653, G90 Class, or aluminum of either 3105, 3003, 3004, 5005, Alclad 3003 or Alclad 3004 alloy). Unless this warranty is extended to the owner through a separate document signed by an officer of Arconic, it shall not apply if the owner or Arconic's customer requested the use of a substrate metal that is non-standard.
 9. Non-uniform color changes that result from unequal exposure to sunlight and/or the elements are not covered by this warranty unless such color change meets the definition of color change as referenced in section 5 above.
 10. All claims hereunder must be submitted in writing to: Arconic Architectural Products LLC, P.O. Box 4129 Eastman, GA 31023-4129. This claim must be accompanied by this certificate, fully completed and signed by the customer that furnished the product to the owner or a copy thereof. **IN ORDER TO QUALIFY FOR WARRANTY COVERAGE, ALL CLAIMS MUST BE SUBMITTED WITHIN THIRTY (30) DAYS FROM THE DATE THE DAMAGE OR DEFECT IS FIRST DISCOVERED OR COULD HAVE BEEN DISCOVERED, BUT IN NO EVENT MAY CLAIMS BE SUBMITTED MORE THAN THIRTY (30) DAYS FOLLOWING THE EXPIRATION OF THE WARRANTY PERIOD.**
 11. Arconic shall be given a reasonable opportunity to inspect the product claimed to be defective. If after inspection of the product, Arconic determines that the claimed defect is covered by this warranty, Arconic, as its sole option, shall refinish, repair, or replace, the defective product without charge to the owner.
 12. In no event does Arconic's warranty cover the cost of labor or sundry materials required to remove and/ or replace any defective product.
 13. All warranty work will be performed by Arconic or by a company, customer, contractor, applicator, or distributor selected by Arconic. At no time does this warranty confer upon the claiming party or any other party the right to proceed with repair, replacement or restoration without written notice and agreement by a duly authorized officer of Arconic. Any such work undertaken by the claiming party or any other party shall be for the claiming party's own account and shall result in this warranty becoming null and void. As color variances may occur between replacement or refinished product in comparison with the originally installed product due to normal weathering and aging of the originally installed product, this condition will not be indicative of a defect in either the replacement product or the originally installed product.
 14. Arconic reserves the right to discontinue or modify its product lines and coating colors. If the original product or coating color is no longer available, Arconic agrees to use commercially reasonable efforts to substitute a comparable product.
 15. **IT IS UNDERSTOOD AND AGREED THAT THE REMEDIES PROVIDED FOR HEREIN FOR THE FINISH OF THE PRODUCT DESCRIBED ABOVE ARE EXCLUSIVE WHETHER FOR BREACH OF EXPRESS WARRANTIES OR OTHERWISE AND SHALL CONSTITUTE THE OWNER'S EXCLUSIVE REMEDY AND ARCONIC'S EXCLUSIVE LIABILITY. IN NO EVENT SHALL ARCONIC BE LIABLE FOR LABOR COSTS, DIRECT, INDIRECT, INCIDENTAL, PUNITIVE, SPECIAL OR CONSEQUENTIAL DAMAGES FOR ANY BREACH OF ANY EXPRESS OR IMPLIED WARRANTIES IN CONNECTION WITH THE PRODUCT.**
 16. **THIS WARRANTY IS THE ONLY EXPRESS WARRANTY EXTENDED BY ARCONIC IN CONNECTION WITH THE PRODUCT, OTHER THAN ARCONIC'S STANDARD COATING WARRANTY, IF ANY, AND THE LIMITED WARRANTY SET OUT IN ARCONIC'S SALES TERMS AND CONDITIONS, FOR THE PRODUCT, AND IT EXCLUDES ALL OTHER WARRANTIES, REPRESENTATIONS OR GUARANTEES, EXPRESS OR IMPLIED, WRITTEN OR ORAL, BY OPERATION OF LAW OR OTHERWISE, INCLUDING WITHOUT LIMITATION, THE IMPLIED WARRANTIES OF MERCHANTABILITY AND FITNESS FOR A PARTICULAR PURPOSE. ARCONIC'S AGGREGATE TOTAL CUMULATIVE LIABILITY UNDER THIS WARRANTY IS LIMITED TO THE DOLLAR AMOUNT OF THE PURCHASE PRICE.**
 17. Owner is solely responsible for proper selection and installation of Arconic's products. Owner agrees that it will use Arconic products only for their intended uses and according to the specifications and limitations established by Arconic from time to time. Owner shall indemnify, defend and hold Arconic harmless from and against any and all damages arising out of or relating to improper product selection, application, use, misuse, neglect, abuse of products or improper installation or incorporation of products.
 18. This warranty is extended only to the owner and is not assignable or transferable. Any such assignment or transfer shall render the warranty null and void.
 19. Laws and building and safety codes governing the design and use of Arconic's products, and specifically aluminum composite materials, vary widely. Arconic does not control the selection of product configurations, nor how Arconic's products are fabricated, transformed or otherwise configured or used or how Arconic's products are combined with other materials. Arconic disclaims any responsibility for any of the foregoing and assumes no responsibility therefor. Customer and Owner acknowledge that it is the responsibility of Customer, Owner, the architect, the general contractor, the installer and the fabricator/transformer, consistent with their roles, to make these determinations in strict conformity to all applicable national, regional, state, provincial and local building codes and regulations and interpretation, including without limitation those relating to building construction, safety and any other applicable regulations. **CUSTOMER AND OWNER FURTHER ACKNOWLEDGE RECEIPT OF INFORMATION CONCERNING PRODUCT HAZARDS AS CONTAINED ON ARCONIC'S WEBSITE AND PRODUCTS, AND ACKNOWLEDGE THAT ANY LABORATORY TESTING INFORMATION PROVIDED BY ARCONIC APPLIES ONLY TO THE PARTICULAR PRODUCT OR ASSEMBLY TESTED AND DOES NOT NECESSARILY REPRESENT HOW PRODUCTS WILL ACTUALLY PERFORM IN USE, AND THAT REPORTS AND TEST DATA CORRESPONDING TO A PARTICULAR TESTED PRODUCT SAMPLE OR ASSEMBLY ARE NOT A GUARANTEE THAT THE SAME PRODUCT OR ASSEMBLY WOULD ALWAYS ACHIEVE THE SAME TEST RESULT.** Arconic is dependent upon Customer and Owner to provide true, accurate and complete information relating to product purchases.
 20. This warranty sets forth the entire agreement between the owner and Arconic relating to the characteristics set forth herein of products. This warranty may not be modified or changed except by a written document signed by an officer of Arconic Architectural Products LLC.
 21. The sale of Arconic's products hereunder with shipping addresses located in the United States shall be governed by the laws of the State of Delaware, excluding its laws related to choice or conflicts of law. The sale of Arconic products hereunder with shipping addresses located in Canada shall be governed by the laws of Ontario and the federal laws of Canada applicable therein. The United Nations Convention on Contracts for the International Sale of Goods is expressly disclaimed and does not apply to the sale of Seller products. Any and all disputes between the parties that may arise pursuant to this order will be heard and determined before an appropriate arbitrator, federal or state court located in Wilmington, Delaware. The owner hereto



ARCONIC

acknowledges such court has the jurisdiction to interpret and enforce the provisions herein and/ or an arbitrator's judgment, and the owner and the Customer waives any and all objections that they may have as to personal jurisdiction or venue in any of the above courts.

		Type of Environment or Location			
		Residential, Commercial and School Buildings used for habitation distribution centers, hotels, shopping malls, office buildings assembly factories and schools located in rural or residential areas at least 1500 ft. from coastline	Severe Marine Less than 1500 ft. from coastline	Industrial Steel mills, power generating stations, oil fields, oil refineries, ore mines, chemical plants, paper mills, or other unusual environmental exposure	
Colorweld® 500XL	Peel, Check or Crack (in years)		30	25	25
	Color Δ E<5.0 (in years)	Between 20° North and 20° South Latitude	25	15	15
		Above 20° North and below 20° South Latitude	30	25	25
	Chalking >8 Rating (in years)	Between 20° North and 20° South Latitude	25	15	15
		Above 20° North and below 20° South Latitude	30	25	25

Colorweld® 500 and 500 Mica	Peel, Check or Crack (in years)		30	20	No Warranty
	Color Δ E<5.0 (in years)	Between 20° North and 20° South Latitude	20	12	No Warranty
		Above 20° North and below 20° South Latitude	30	20	No Warranty
	Chalking >8 Rating (in years)	Between 20° North and 20° South Latitude	25	12	No Warranty
		Above 20° North and below 20° South Latitude	30	20	No Warranty

Colorweld® 300, Colorweld® 300 Mica, and Colorweld® 300XL	Peel, Check or Crack (in years)		20
	Color Δ E<5.0 / 7.0 Vertical/Horizontal (in years)	Between 20° North and 20° South Latitude	10
		Above 20° North and below 20° South Latitude	20
	Chalking Rating >8 / 6 Vertical/Horizontal (in years)	Between 20° North and 20° South Latitude	10
		Above 20° North and below 20° South Latitude	20

- Colorweld® 300 finishes are not warrantable for severe marine or industrial application.
- This limited warranty applies only to products sold by Arconic and applied to metal that is used for installations occurring between the latitudes shown above unless the customer and Arconic specifically and in writing agree otherwise prior to Arconic's sale of the product to a coater.
- Applications exposed to salt spray or within 2500 feet of the seacoast, must be maintained by washing with fresh tap water (in accordance with AAMA 610.1-1979) at least annually and documentation of this maintenance provided upon request (Copy of 610.1 provided on request). It is acknowledged that fading or color changes may not be uniform if the surfaces are not equally exposed to the sun and elements.
- Vertical installations are those measured at least 46° from horizontal.

**PRODUCT LITERATURE
FOR THE
CONCEALED FASTENER
CORRUGATED METAL
FASCIA/WALL PANELS**

***NOTE: NO INDEPENDENT/PROJECT SPECIFIC ENGINEERED
CALCULATIONS ARE TO BE PROVIDED BY
METALMASTER ROOFMASTER FOR THE
CONCEALED FASTENER CORRUGATED METAL
FASCIA/WALL PANELS ON THIS PROJECT, TYP.
(N.I.C.).**

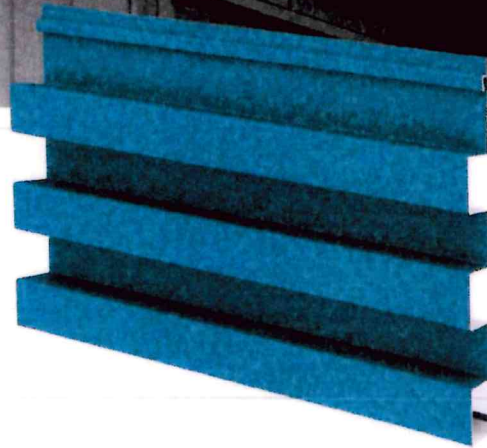
* AT THE CONCEALED FASTENER CORRUGATED METAL FASCIA/WALL PANEL AREAS, ONLY: 24 GAUGE PREFINISHED GALVALUME BERRIDGE BR-12 CONCEALED FASTENER CORRUGATED METAL FASCIA/WALL PANELS, INSTALLED HORIZONTALLY, TO BE ATTACHED WITH SCREW FASTENERS AT +/-16" O.C., TO PENETRATE INTO/THROUGH THE SUBSTRATE BELOW.

Berridge BR-12 Panel

WALL AND FASCIA PANEL SYSTEM



~~The Berridge BR-12 Panel is a metal wall panel designed for horizontal and vertical wall applications. This bold concealed fastener panel interlocks with the Berridge HG 16, HR 4, HR 16, HS 6, HS 12, and the Reveal Series wall panels to provide endless design possibilities.~~



Materials

~~24 and 22 Gauge Steel
6062 and 6061 Aluminum~~

Specifications

~~Uses: Wall, Fascia, Screen Wall, Berridge Fencing System~~

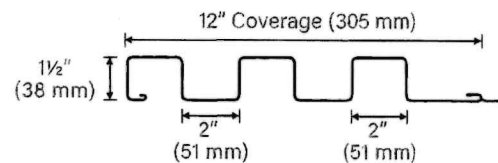
Coverage: 12"

Finishes: Smooth

Fasteners: Concealed

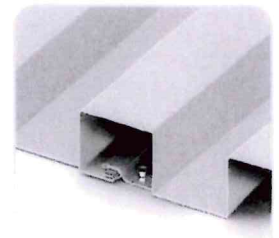
~~Applications: Vertical on fencing, horizontal or vertical over open framing or solid sheathing~~

Pattern: 1 1/2" height and 2" rib with 2" reveal



Installation

- Panel is available from the factory in continuous lengths to a maximum of 40'
- ~~Interlocks with HG 16, HR 4, HR 16, HS 6, HS 12, and the Reveal Series panels~~
- Use siding starter strip to start the panel
- Use channel closure at inside and outside corners with or without rubber closures
- Use standard channel at jambs with rubber closures
- Use special channel at jambs without rubber closures
- ~~BR rubber closures available for enhanced weather resistance~~



Pictured Above
Project: Moreland Walk Condos
Installing Contractor: Atlanta Metalworks
Color: Matte Black

Detail of BR-12 Panel Interlock

BERRIDGE BR-12 PANEL TESTING AND CERTIFICATION SUMMARY CHART

CATEGORY	CHARACTERISTIC	TEST METHOD	PURPOSE	RESULT
PERFORMANCE	<input checked="" type="checkbox"/> Uplift Resistance	ASTM E-1592	Test method to determine uplift resistance of open framing systems	See Load Chart on Berridge website
	<input type="checkbox"/> Water Penetration	ASTM E-331**	Test method for water penetration of metal roofs by uniform static air pressure difference	No Leakage at 15.0 PSF Pressure Differential
AIR AND MOISTURE	<input type="checkbox"/> Air Leakage	ASTM E-283**	Test method for rate of air leakage through exterior metal roofs	Less than 0.01 CFM at 6.24 PSF Pressure Differential
	WALL LISTINGS	<input type="checkbox"/> Florida Product Approval	TAS 125	Local and state approval of products and systems for compliance with the structural requirements of the Florida Building Code
FL #37310.2 (24 GA - Steel Girts) FL #37310.1 (0.032 AL - Steel Girts)				

- Steel only - Steel and Aluminum

For further details please visit www.Berridge.com

** See HR-16 Panel for test results on ASTM E-331 and ASTM E-283 with similar panel seams



CORPORATE HEADQUARTERS

2610 Harry Wurzbach Road
 San Antonio, TX 78209
 (800) 669-0009
www.Berridge.com

**PRODUCT LITERATURE
FOR THE
COMPOSITE ALUMINUM
FASCIA/WALL PANELS**

***NOTE: NO INDEPENDENT/PROJECT SPECIFIC ENGINEERED
CALCULATIONS ARE TO BE FURNISHED OR
INSTALLED BY METALMASTER ROOFMASTER FOR
THE COMPOSITE ALUMINUM FASCIA/WALL PANELS
ON THIS PROJECT, TYP. (N.I.C.).**



AT THE COMPOSITE ALUMINUM FASCIA/WALL PANEL LOCATIONS, ONLY:
*** 4 MM FR CORE REYNOBOND COMPOSITE ALUMINUM METALMASTER CUSTOM SHOP FABRICATED FASCIA/WALL PANELS, (TYP.).**

Technical Data Reynobond®

Products composition		Reynobond® FR	Reynobond® FR	Reynobond® FR
Thickness composite panel		0.157 in 4 mm	0.120 in 3 mm	-
Thickness pre-painted aluminium sheet		0.020 in (± 0.002 in) 0.5 mm (± 0.2 mm)	0.060 in (± 0.002 in) 1.5 mm (± 0.1 mm)	0.040 in (± 0.002 in) 1 mm (± 0.2 mm)
Alloy & temper		Series 3000	Series 3000	Series 3000
Core		FR	-	-
Front side finish		Anti-corrosive treatment plus: COLORWELD® 500/500XL or DURAGLOSS® DL/PFX	Anti-corrosive treatment plus: COLORWELD® 500/500XL or DURAGLOSS® DL/PFX	Anti-corrosive treatment plus: COLORWELD® 500/500XL or DURAGLOSS® DL/PFX
Reverse side finish		Washcoat - Other on request	Washcoat - Other on request	Washcoat - Other on request
Products characteristics				
Width		62 in 1575 mm	62 in 1575 mm	62 in 1575 mm
Length		243 in 6172 mm	243 in 6172 mm	120 in 3084 mm
Weight		1.58 lb/ft ² 7.7 kg/m ²	1.75 lb/ft ² 8.5 kg/m ²	0.52 lb/ft ² 2.5 kg/m ²
Tolerance in squareness		<0.118 in < 3 mm	<0.118 in < 3 mm	<0.118 in < 3 mm
Tolerance in bow		≤ 2 mm/500 mm over lengths and widths	≤ 2 mm/500 mm over lengths and widths	≤ 2 mm/500 mm over lengths and widths
Products performance				
Tensile strength (R _m)		6.3 ksi 43.90 Mpa	20.3 ksi 140 Mpa	-
Flexural Modulus (Core Yield Shear stress)		176 psi 1.21 Mpa	765 psi 5.27 Mpa	-
Stiffness (EI)		0.035 lb/in ² 0.242 kN.m ² /m	0.024 lb/in ² 0.166 kN.m ² /m	-
Thermal expansion		0.0288 in/ft OR 2.4 mm/m for a temperature variation of 100°C (212°F)	0.0288 in/ft OR 2.4 mm/m for a temperature variation of 100°C (212°F)	0.0288 in/ft OR 2.4 mm/m for a temperature variation of 100°C (212°F)
Temperature resistance		-40°F/+180°F -40°C/+80°C	-40°F/+180°F -40°C/+80°C	-
Maximum allowable deflection		L/30	L/90	-
Fire classification				
Flame Spread Index		<25	<25	-
Smoke Developed Index		ASTM E84 <450	<450	-
Self Ignition Temperature		ASTM D1929 824°F 440°C	836°F 447°C	-

Check model building code for acceptable deflection limits.

Our paint datasheets are also available, please ask for the dedicated datasheet.

The technical data refers to currently available products. Please note that the specific characteristics of each project have to be taken into account (country, delivery time, size of transport containers, etc.)

Information contained herein or related hereto is intended only for evaluation by technically skilled persons, with any use thereof to be at their independent discretion and risk. Such information is believed to be reliable, but AAP shall have no responsibility or liability for results obtained or damages resulting from such use. AAP grants no license under, and shall have no responsibility or liability for infringement of, any patent or other proprietary right. Nothing in this document should be construed as a warranty or guarantee by AAP, and the only applicable warranties will be those set forth in AAP acknowledgment or in any printed warranty documents issued by AAP. The foregoing may be waived or modified only in writing by an AAP officer.

Disclaimer

Laws and building and safety codes governing the design and use of AAP's products, and specifically aluminum composite materials, vary widely. It is the responsibility of the owner, the architect, the general contractor, the installer and the fabricator/transformer, consistent with their roles, to determine the appropriate materials for a project in strict conformity to all applicable national, regional and local building codes and regulations. REYNOBOND IS COMBUSTIBLE; IT COULD CATCH FIRE AND BURN. SEE AAP WEBSITE FOR PRODUCT WARNINGS. ANY LABORATORY TESTING INFORMATION PROVIDED BY AAP APPLIES ONLY TO THE PARTICULAR PRODUCT OR ASSEMBLY TESTED AND DOES NOT NECESSARILY REPRESENT HOW PRODUCTS WILL ACTUALLY PERFORM IN USE.



ARCONIC ARCHITECTURAL PRODUCTS, LLC

50 Industrial Boulevard
 Eastman, GA 31023
 Tel. 1.800.841.7774

samples.literature@arconic.com
 www.reynobond.com

METALMASTER ROOFMASTER

Leader in the Industry

4800 METALMASTER WAY, MCHENRY, IL 60050
OFFICE: 815.459.6415 • FAX: 815.459.6596
www.metalmaster-roofmaster.com

Dear Architect:

On the following pages, manufacturer's "COLOR CHARTS" have been submitted for your color selections. Please note that color selections must be made for all of the locations noted below in order for the purchasing of materials to begin.

1. A color selection from the Berridge color chart must be made for the concealed fastener corrugated metal fascia/wall panels and its related sheet metal trims and flashings, only.

* Berridge standard sheet metal color selected: MATTE BLACK
* Authorized acceptance of the Berridge standard sheet metal color listed above: Robert M. Hahn Sr. ROBERT M. HAHN SR.
* Date: 2/2/23

2. A color selection from the Reynobond color chart must be made for the composite aluminum fascia/wall and their related sheet metal trims and flashings, only.

* Reynobond standard sheet metal color selected: (BNSA996B DURANAR SUNSTORM) SILVER CROSS
* Authorized acceptance of the Reynobond standard sheet metal color listed above: Robert M. Hahn Sr. ROBERT M. HAHN SR.
* Date: 2/2/23

Due to the lead times on certain colors, it is imperative that a color is selected and marked on the Color Chart. Actual color samples can be provided upon request. In addition, certain colors have limited availability and must be verified from the back of the color chart prior to making your final color selections.

Your cooperation in this matter is greatly appreciated.

Respectfully,
METALMASTER/ROOFMASTER

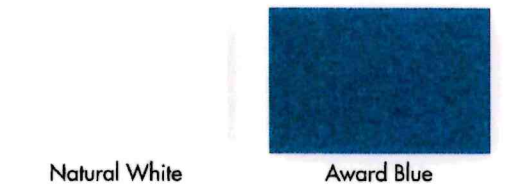


Standard Colors



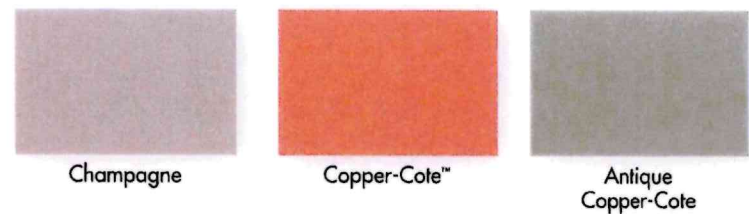
Premium Colors

Berridge premium colors require a nominal surcharge.



Metallic Colors

Berridge metallic colors are premium finishes which require a nominal surcharge.

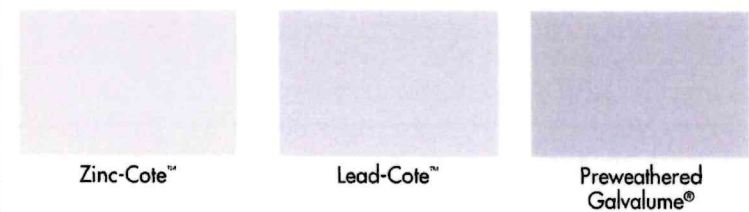


Natural Metal Finish

Berridge Acrylic-Coated Galvalume® is a coated sheet product that combines the corrosion resistance of Galvalume® steel sheet with a clear, organic resin applied to the top side and bottom side of Galvalume® substrate.



Acrylic-Coated Galvalume®



Please consult the BMC Technical department at Technical@Berridge.com for LEED and Energy Star compliance information. Due to limitations in the printing process, please request actual color chips for accurate color viewing.



BERRIDGE STOCK AVAILABILITY AND COLOR DETAILS

S - Stock Color N - Non-Stocking Color N/A - Not Available

Standard Colors	24 Gauge		22 Gauge*		0.032 Aluminum*		0.040 Aluminum*		SR	EM	SRI
	48"	42"	48"	42"	48"	42"	48"	42"			
Aged Bronze	S	S	S	N	S	N	S	N/A	0.30	0.86	30
Almond	S	S	S	N	S	N	S	N/A	0.65	0.83	77
Bristol Blue	S	S	N	N	N	N	N	N/A	0.33	0.85	33
Buckskin	S	S	S	N	N	N	N	N/A	0.32	0.83	32
Burgundy	S	S	N	N	N	N	N	N/A	0.29	0.85	29
Charcoal Grey	S	S	S	N	N	N	N	N/A	0.31	0.84	30
Cityscape	S	S	N	N	N	N	N	N/A	0.48	0.85	54
Colonial Red	S	S	N	N	N	N	N	N/A	0.33	0.85	34
Copper Brown	S	S	N	N	N	N	N	N/A	0.30	0.85	29
Dark Bronze	S	S	S	N	S	N	S	N/A	0.28	0.85	27
Deep Red	S	S	N	N	N	N	N	N/A	0.39	0.84	41
Evergreen	S	S	N	N	N	N	N	N/A	0.30	0.83	29
Forest Green	S	S	S	N	N	N	N	N/A	0.25	0.83	22
Hartford Green	S	S	N	N	N	N	N	N/A	0.28	0.83	26
Hemlock Green	S	S	N	N	N	N	N	N/A	0.31	0.83	30
Matte Black	S	S	N	N	N	N	N	N/A	0.26	0.89	26
Medium Bronze	S	S	S	N	S	N	S	N/A	0.31	0.85	31
Parchment	S	S	S	N	S	N	S	N/A	0.52	0.83	58
Patina Green	S	S	N	N	N	N	N	N/A	0.34	0.86	36
Royal Blue	S	S	N	N	N	N	N	N/A	0.26	0.85	25
Shasta White	S	S	S	N	S	N	S	N/A	0.60	0.84	70
Sierra Tan	S	S	S	N	S	N	S	N/A	0.39	0.85	42
Teal Green	S	S	N	N	N	N	N	N/A	0.27	0.87	27
Terra - Cotta	S	S	N	N	N	N	N	N/A	0.32	0.83	31
Zinc Grey	S	S	S	N	S	N	S	N/A	0.39	0.85	42
Acrylic-Coated Galvalume®	S	S	S	S	N/A	N/A	N/A	N/A	0.67	0.20	59
Premium Colors*											
Award Blue	S	S	N	N	N	N	N	N/A	0.17	0.83	11
Natural White	S	S	N	N	N	N	N	N/A	0.76	0.84	93
Metallic Colors*											
Antique Copper-Cote	S	S	N	N	N	N	N	N/A	0.33	0.84	34
Champagne	S	S	N	N	N	N	N	N/A	0.40	0.85	43
Copper-Cote™	S	S	N	N	N	N	N	N/A	0.51	0.85	59
Lead-Cote™	S	S	N	N	N	N	N	N/A	0.46	0.84	50
Preweathered Galvalume®	S	S	N	N	N	N	N	N/A	0.40	0.85	43
Zinc-Cote™	S	S	N	N	N	N	N	N/A	0.53	0.83	59

Testing results for Kynar 500®/Hylar 5000® coil coating applications:

- Specular Gloss: (ASTM D-523) Low and medium gloss only
- Color Uniformity: (ASTM D-2244) Color controlled both instrumentally and visually
- Dry Film Thickness: (ASTM D-7091, ASTM D-1005, NCCA 11-13, 11-14, 11-15) Primer 0.20 ± 0.05 mil, Topcoat 0.75 ± 0.05 mil
- Hardness: (ASTM D-3363, NCCA 11-12, Eagle Turquoise Pencils) HB Minimum
- Adhesion (X-Cut): (ASTM D-3359) No adhesion loss
- Adhesion (Crosshatch): (ASTM D-3359) No adhesion loss
- Abrasion Coefficient: (ASTM D-968) 100 liters/mil topcoat
- Direct Impact Flexibility: (ASTM D-2794, Gardner Impact Tester, 1/10" Distortion) Excellent, no removal
- Reverse Impact Flexibility: (NCCA Spec. 11, ASTM D-2794, Gardner Impact Tester, 5/8" ball impact force in inch pounds equal to metal thickness) Excellent, no cracking or loss of adhesion
- Formability: (ASTM D-4145, 180° T-Bend on 1/8 Mandrel) No cracks or loss of adhesion
- Erosion: (20 years, 45° South Florida) Maximum 1.5% loss
- Humidity Resistance: (ASTM D-2247) Passes 2000 hours on Galvalume® and 4000 hours on Aluminum
- Acid Resistance: (ASTM D-1308, Proc. 3.1.1, 10% Sulfuric Acid spot test, 24 hour exposure) Excellent, no effect
- Salt Spray Resistance: (ASTM B-117) Passes 2000 hours on Galvalume® and 4000 hours on Aluminum
- Alkali Resistance: (ASTM D-1308, Proc. 5.2, 10% Sodium Hydroxide, 24 hour exposure) Excellent, no effect
- Detergent Resistance: (ASTM D-2248, 72 hours immersion in 3% solution at 100°F) Excellent, no effect
- Resistance to Acid Pollutants: (ASTM D 1308 Proc. 3.1.1, 24 hour exposure 10% HNO₃ vapors) Excellent, no effect
- Weathering - Color Retention: (ASTM D-2244, 20 years, 45° South Florida) Maximum 5 NBS units color change
- Weathering - Chalk Resistance: (ASTM D-4214, 20 years, 45° South Florida) Not worse than No. 8 rating

Notes:

1. ASTM - American Society for Testing Materials
2. NCCA - National Coil Coaters Association
3. Galvalume® is 55% Aluminum-Zinc alloy coated sheet steel and is a registered trademark of BIEC International Inc.

S Stock Color; Not subject to a minimum order
 N Non-Stock Color; Subject to inventory on hand; 4,500 sq minimum order for 22 Gauge and 0.032 & 0.040 Aluminum
 N/A Not Available
 * Consult BMC on product availability for 22 Gauge and 0.032 and 0.040 Aluminum. Premium and Metallic colors are subject to a surcharge, contact BMC for additional information

**BMC SAN ANTONIO
 BRANCH FACILITY**
 6515 Fratt Rd.
 San Antonio, TX 78218
 210-650-3050
 Fax: 210-650-0379

**BMC HOUSTON
 BRANCH FACILITY**
 1720 Maury St.
 Houston, TX 77026
 713-223-4971
 Fax: 713-236-9422

**BMC DALLAS
 BRANCH FACILITY**
 2015 California Crossing
 Dallas, TX 75220
 972-506-8496
 Fax: 972-506-8478

**BMC DENVER
 BRANCH FACILITY**
 7505 E. 41st Ave.
 Denver, CO 80216
 303-322-3703
 Fax: 303-322-3810

**BMC CHICAGO
 BRANCH FACILITY**
 1175 Carolina Dr.
 W. Chicago, IL 60185
 630-231-7495
 Fax: 630-231-7520

**BMC RALEIGH
 BRANCH FACILITY**
 1100 Corporation Pkwy #129
 Raleigh, NC 27610
 919-537-5705
 Fax: 210-650-0379

**BMC PHOENIX
 BRANCH FACILITY**
 5717 W. Washington St.
 Phoenix, AZ 85043
 602-385-1237
 Fax: 210-650-0379

**BMC ATLANTA
 BRANCH FACILITY**
 319 Lee Industrial Blvd.
 Austell, GA 30168
 770-941-5141
 Fax: 770-941-7344

**BMC OKLAHOMA CITY
 BRANCH FACILITY**
 1400 Exchange Ave.
 Oklahoma City, OK 73108
 405-248-7404
 Fax: 210-650-0379

**BMC KANSAS CITY
 BRANCH FACILITY**
 1235 Southwest Blvd.
 Kansas City, KS 66103
 913-227-0855
 Fax: 210-650-0379

**BERRIDGE CALIFORNIA
 SALES CORPORATION****
 8442 Sultana Ave.
 Fontana, CA 92335
 562-402-2081
 Fax: 562-865-7878

**BERRIDGE FLORIDA
 SALES CORPORATION****
 8802 Venture Cove
 Tampa, FL 33637
 813-335-4505
 Fax: 210-650-0379

**Berridge California and Florida Sales Corporations are separate entities from Berridge Manufacturing Company



BERRIDGE MANUFACTURING COMPANY
 Corporate & Sales Headquarters
 2610 Harry Wurzbach San Antonio, TX 78209
 210-650-3050 • Fax 210-650-0379
 Manufacturing Facility
 2201 Rudeloff Rd. Seguin, TX 78155
 830-401-5200 • Fax: 830-303-0530

Roofs of Distinction

www.berridge.com

Spring 2018 • Berridge Color Chart - 15M Printed in the U.S.A.

Arconic
Architectural
Products



Colorweld[®] 500/500XL

FINISHES

Our coil-coated Colorweld 500 and Colorweld 500XL finishes offer superior performance. From soothing neutrals to shimmering silvers, these premium low- to medium-gloss finishes feature advanced resins with 70% polyvinylidene fluoride (PVDF) that provide excellent flexibility, strength and weather resistance.

For more information or to request a color sample of our Reynobond composite material, contact your local sales manager or visit reynobond.com.

DISCLAIMER

Reynobond is a registered trademark of Arconic. Colorweld is a registered trademark of Arconic. All other trademarks are the property of their respective owners. The colors shown in this advertisement are for informational purposes only and do not represent the actual color of the material. The actual color of the material may vary due to lighting and other factors. The colors shown in this advertisement are for informational purposes only and do not represent the actual color of the material. The actual color of the material may vary due to lighting and other factors.

Arconic is a registered trademark of Arconic. Colorweld is a registered trademark of Arconic. All other trademarks are the property of their respective owners. The colors shown in this advertisement are for informational purposes only and do not represent the actual color of the material. The actual color of the material may vary due to lighting and other factors. The colors shown in this advertisement are for informational purposes only and do not represent the actual color of the material. The actual color of the material may vary due to lighting and other factors.



Colorweld® 500

Series One | 2-Coat Solid Finishes | 30-year warranty | AAMA 2605

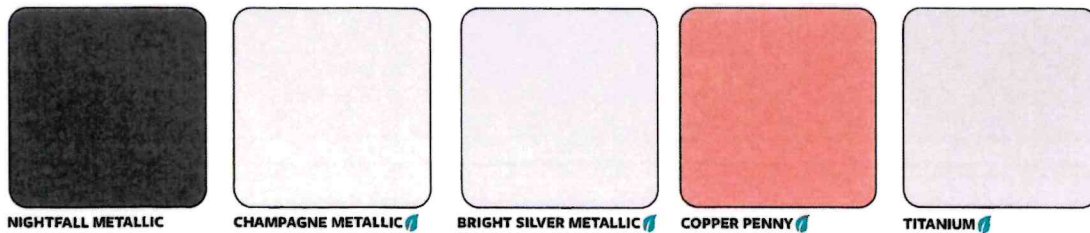


Series Two | Premium 2-Coat Mica Finishes | 30-year warranty | AAMA 2605



Colorweld® 500XL Compatible with PPG's DuraPrep® Prep™ 400 graffiti and overspray cleaner.

Series Three | Premium 3-Coat Metallic Finishes | 30-year warranty | AAMA 2605



Environment-friendly cool-pigment finish available upon customer request



UNIVERSITY DERMATOLOGY & AESTHETICS

IMAGINE YOUR HOME
Closets
by Design
1-800 BY DESIGN



IMAGINE YOUR HOME

UNIVERSITY DERMATOLOGY & AESTHETICS





IMAGINE YOUR HOME TOTALLY ORGANIZED

UNIVERSITY DERMATOLOGY & AESTHETICS

12
9 3
6



UNIVERSITY DERMATOLOGY & AESTHETICS

UNIVERSITY DERMATOLOGY & AESTHETICS

IMAGINE YOUR HOME TO
Closets
byDesign
1-800 BY DESIGN



UNIVERSITY DERMATOLOGY & AESTHETICS

IMAGINE YOUR HOME TOTAL
Closets
byDesign
BY DESIGN
LAWRENCE







Village of Skokie APPEARANCE COMMISSION APPLICATION

Community Development Department - Building & Zoning Division
5127 Oakton St. Skokie, IL 60077
Phone 847/933-8223 Fax 847/933-8230

The Appearance Commission meets the 2nd Wednesday of each month at 7:30 p.m.

Until further notice, applications will only be accepted in a PDF format.

APPLICATION DATE: SEPTEMBER 26, 2023

APPLICATION TYPE (Please check all that apply):

New Construction 1st Floor Addition 2nd Floor Addition Façade Signage Other

LAND USE:

Single Family Residential Multifamily Residential Mixed Use Commercial Industrial Other

SUBJECT ADDRESS: 5110 BROWN STREET SKOKIE, ILLINOIS 60077

OWNER INFORMATION:

Please print legibly.

NAME(S): AVRAM BOGOJEL

ADDRESS: 5110 brown street CITY, STATE ZIP: SKOKIE, IL 60077

PHONE#: 773-447-0846 EMAIL: abconstructionh@aol.com

AGENT/PETITIONER INFORMATION (if other than owner):

NAME(S): Edward Yung DAYTIME PHONE #: 847-845-3352

ADDRESS: 1100 west northwest hwy CITY, STATE ZIP: Mount Prospect, IL 60056

EMAIL: yungarch@comcast.net SIGNATURE: Edward Yung

Please submit the following PDFs to appearance@skokie.org to complete your digital-only application:

1. Elevations, floor plans, and site plans. Scale 1/4" = 1'-0" is preferred, but not required. If the file size is greater than 5MB, multiple emails are allowed. Ensure "Appearance Commission PDF" and the project's property address are in the subject line of the email. Color elevations or one color rendering is required.
2. Completed Zoning Information Worksheet (residential projects only)
3. Photographs (all sides of the subject building and the fronts of neighboring buildings)
4. Excerpts of brochures and/or cut sheets of new materials and colors proposed for the project. Matching existing materials and colors can be confirmed with the submitted photographs.
5. Plat of Survey

*** The Building, Zoning, will not take in or hold material or color samples.

*** Visit <https://www.skokie.org/357/Appearance-Commission> to access the staff report prior to the meeting.

Fee Schedule

Residential Site (new) ... \$100 plus \$50.00 per unit
Non-Residential Site* (new) ... \$100 plus \$50.00 per 1,000 square feet (based on square footage of building)

* Any non-residentially zoned site (Business, Industrial, Mixed-Use districts)

Any Other Appearance Review (Additions, Façade, Sign Package, etc.) ... \$50.00

If you have already paid for a preliminary plan review there is no charge.

For Office Use Only:

Case Number _____ Meeting Date _____

Acct # NR Amt \$ _____ Cash / Credit Card/ Check # _____

Any required fees or monies owed by the applicant to the Village must be paid as a condition of approval.

2023 Appearance Commission Schedule

<u>Meeting Date</u>	<u>Submittal Deadline</u>
January 11, 2023	December 28, 2022
February 8, 2023	January 25, 2023
March 8, 2023	February 22, 2023
April 26, 2023	April 12, 2023
May 10, 2023	April 26, 2023
June 14, 2023	May 31, 2023
July 12, 2023	June 28, 2023
August 9, 2023	July 26, 2023
September 13, 2023	August 30, 2023
October 11, 2023	September 27, 2023
November 8, 2023	October 25, 2023
December 20, 2023	December 6, 2023

GENERAL NOTES:

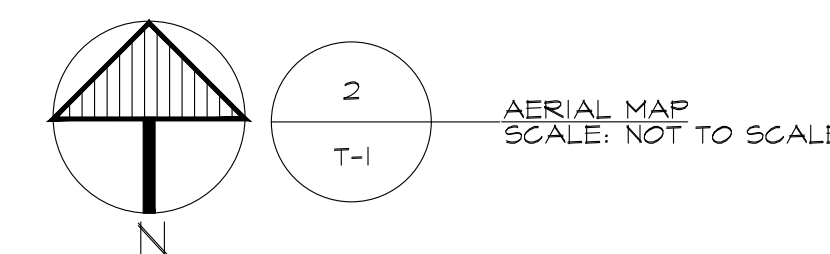
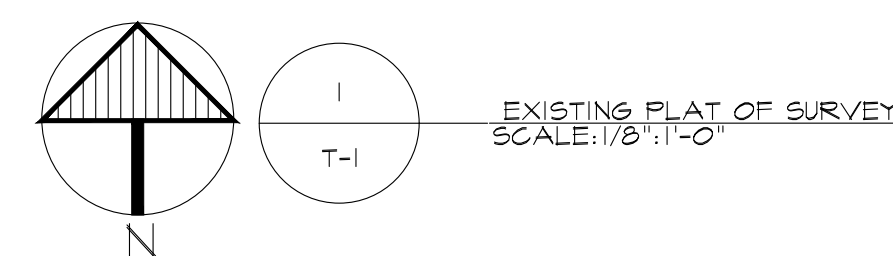
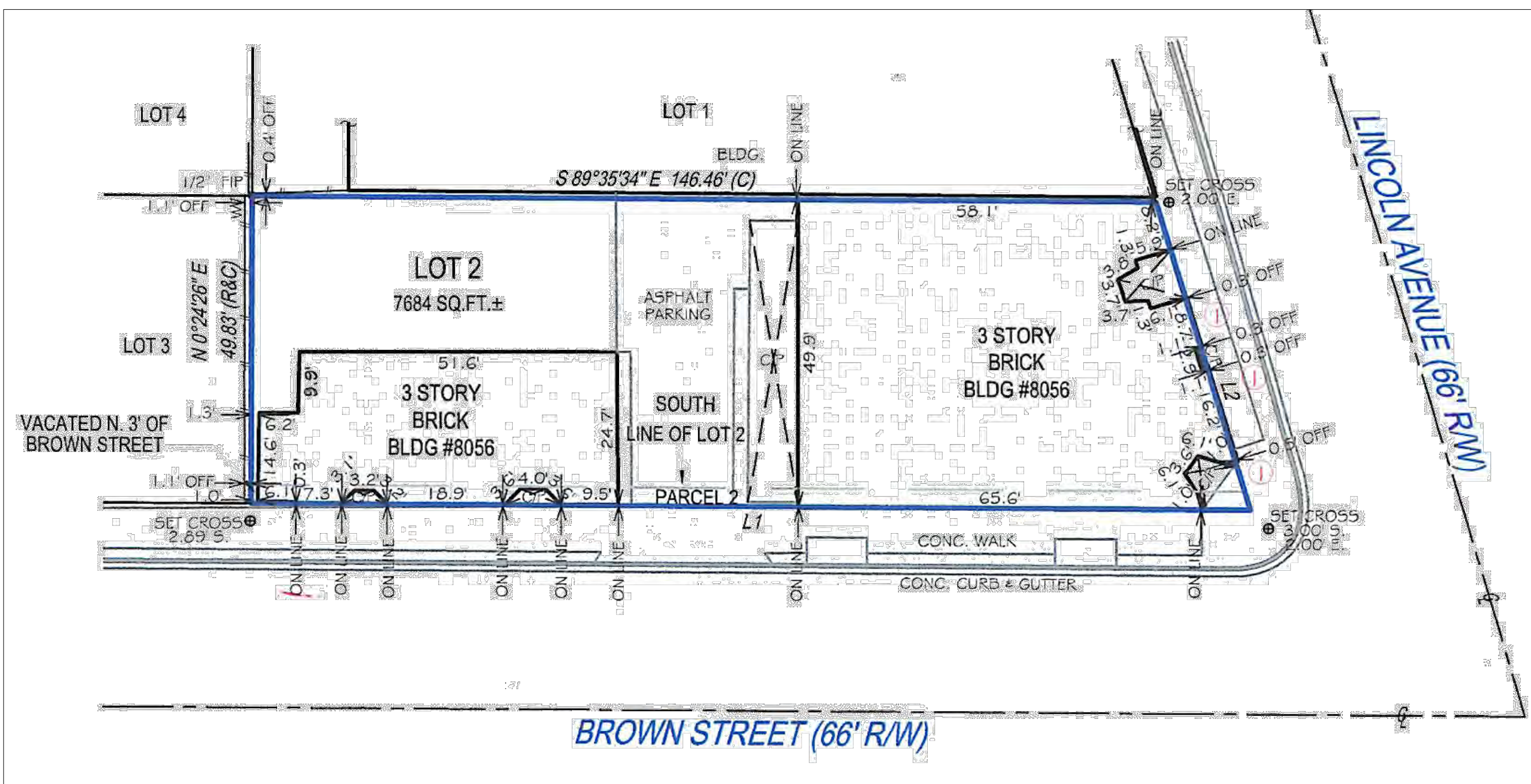
- Contractor shall visit the premises prior to submitting the proposal and note the conditions therein pertaining to the work to be done.
- Contractor shall verify all dimensions and conditions shown on the drawings at the job site, and shall notify in writing to the architect of any omissions, discrepancies, and/or conflicts before proceeding with any new construction or be responsible for the same.
- Do not scale the drawings; dimensions govern.
- The contractor shall review the drawings for any discrepancies and shall report any such discrepancies as might be found to the architect within fifteen (15) days of bid award or be responsible for the same.
- The contractor shall in signing the contract does warrant that all the work and materials will comply with requirements of the contract documents and shall be of good and workmanlike quality and free from any defects in workmanship and materials.
- The contractor shall be responsible for securing all required building permits and for insuring that all the work conforms to applicable building codes.
- The contractor shall be responsible for complying with all construction and operating requirements of the landlord as indicated in the landlord's lease and construction exhibits.
- Where demolition work is called for on the drawings, the contractor shall notify the architect in writing at least five (5) days prior to commencement of demolitions.
- Where color or design selections are required, the contractor shall submit samples for the architect's approval and selections.
- Shop drawings shall be submitted to the architect for approval prior to fabrications of any work specified here in. The contractor shall be responsible for all field dimensions and prior installation of said work.
- Where specified products and manufacturer are specified, the contractor may use an equal, if approved as such, by the architect. In such cases, the contractor shall submit specifications sheets and samples as applicable for the architect's approval prior to ordering.
- The contractor shall do all the cutting and patching required by all the trades to make a complete and finished job in every respect.
- After removal of any partition, trim moulding or other items as called for on the drawings, contractor shall patch the floors, walls and/or ceiling as required by one of the following:
 - All existing materials to be patched and remain exposed to sight shall be patched as required to match existing when existing was new.
 - All existing material to be patched and covered with a existing when existing was new.
 - All existing material to be patched and covered with a new material, shall be patched as required to receive installation of new material.
 - Where new vinyl flooring is called for, remove existing flooring, patch and level floor as required prior to installation.
- Contractor shall adequately protect preceding and existing work from damage caused by his operations. Breakage and damage shall be repaired or replaced at no cost to the owner.
- The general contractor shall coordinate the work to achieve a complete workmanlike installation for each condition.
- General contractor and each subcontractor shall clean up and remove rubbish, scraps, etc. accumulated from his operation as his work progresses.
- All work is to conform with the Village of Skokie Building Codes.

THIRD FLOOR ADDITION & COMPLETE REHABILITATION OF EXISTING MIXED-USE 5110 WEST BROWN STREET SKOKIE, ILLINOIS

LIST OF DRAWINGS

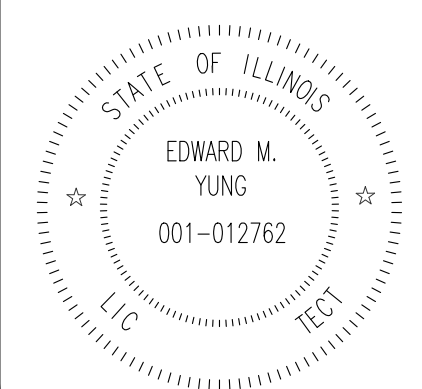
T-1	TITLE SHEET & NOTES	A-4.1	ARCHITECTURAL COLORED ELEVATIONS
S-1	SITE PLAN	A-4.2	ARCHITECTURAL COLORED ELEVATIONS
A-1.1	ARCHITECTURAL FIRST FLOOR PLAN	A-5	EXISTING PHOTOGRAPHS
A-1.2	ARCHITECTURAL PLANS		
A-1.3	FOUNDATION AND FRAMING PLAN		
A-1.4	FRAMING PLANS		
A-2.1	ARCHITECTURAL EXISTING N & S ELEVATIONS		
A-2.2	ARCHITECTURAL EXISTING E & W ELEVATIONS		
A-2.3	ARCHITECTURAL PROPOSED N & S ELEVATIONS		
A-2.4	ARCHITECTURAL PROPOSED E & W ELEVATIONS		

ALL WORK PERFORMED HEREIN SHALL COMPLY WITH ALL APPLICABLE STATE AND LOCAL CODES PERTAINING TO SINGLE FAMILY DWELLINGS: BUILDING CODES
 2021 International Building Code
 2021 International Fuel Gas Code
 2021 International Property Maintenance Code
 2021 International Residential Code Building Code
 2018 International Energy Conservation Code with Illinois Amendments
 Mechanical:
 2021 International Mechanical Code
 Electrical:
 2020 National Electrical Code NFPA 70
 Plumbing:
 2014 State of Illinois Plumbing Code
 Fire Protection:
 2012 International Fire Code with Amendments page
 2021 Life Safety Code



THESE DRAWINGS WERE PREPARED UNDER MY DIRECT SUPERVISION AND TO THE BEST OF MY KNOWLEDGE, COMPLY WITH THE CODES AND ORDINANCES OF THE VILLAGE OF SKOKIE, ILLINOIS.

Edward M. Yung
 EDWARD M. YUNG
 ILL. # 001-012762
 YUNG ARCHITECTS
 ILL. # 184.007886-001

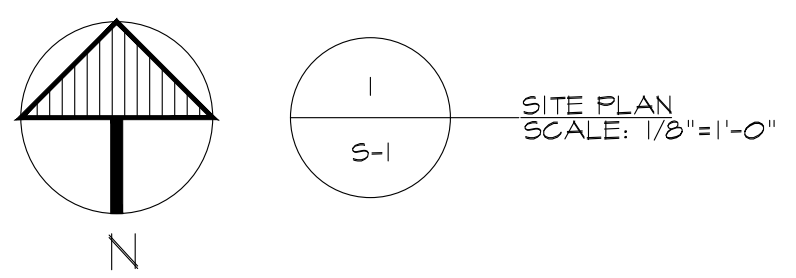
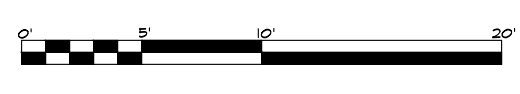
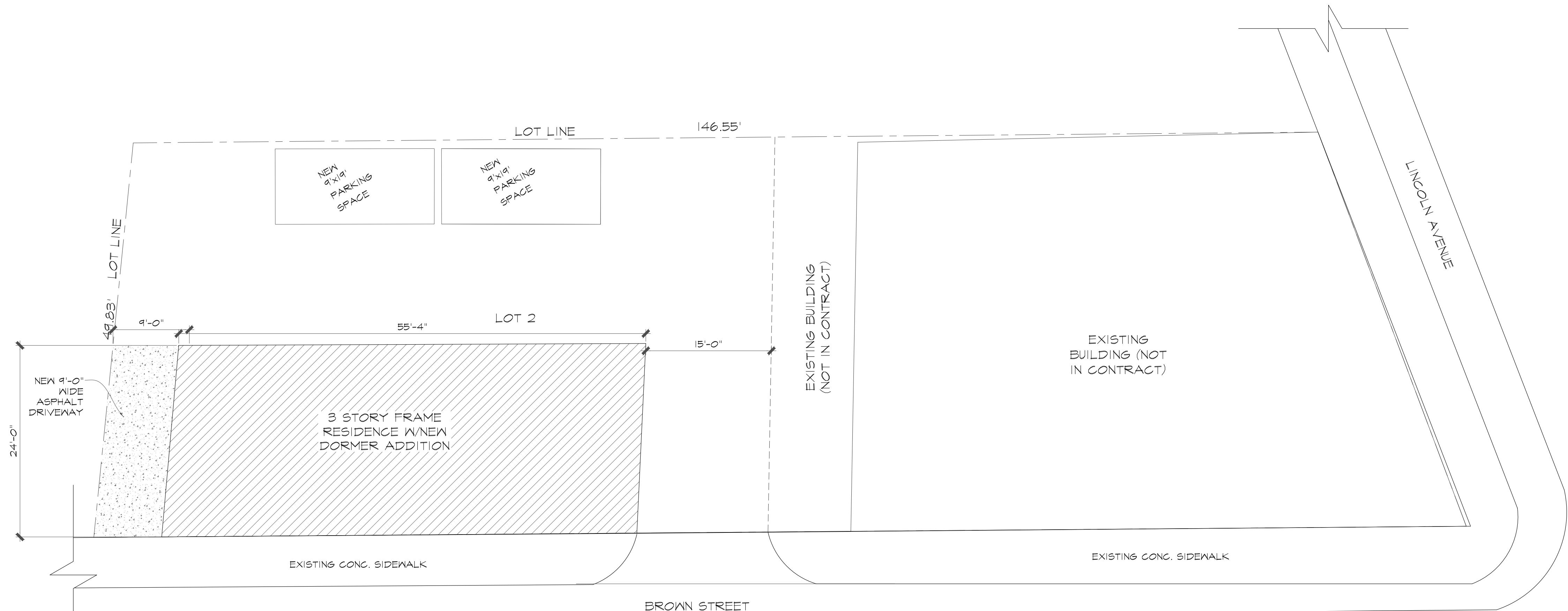


YUNG Architects LTD.

ARCHITECTS/PLANNERS/INTERIORS/CONSTRUCTION MANAGERS
 1100 WEST NORTHWEST HIGHWAY, MT. PROSPECT, ILLINOIS 60056
 TELEPHONE: (847) 845-3352 EMAIL: YUNGARCH@COMCAST.NET

THIRD FLOOR ADDITION & COMPLETE REHABILITATION OF EXISTING MIXED-USED 5110 WEST BROWN STREET SKOKIE, ILLINOIS 60077

DATE	
REVISIONS	
NUMBER	
DRAWN BY:	EMY & LSC
DATE ISSUED:	04-09-2023
PROJECT	2317
SHEET TITLE:	TITLE SHEET, SITE PLAN & GENERAL NOTES
SHEET #:	T-1



SITE PLAN SCALE: 1/8"=1'-0"

SITE DATA:
 ZONING: CX-CORE MIXED-USE
 The CX Core Mixed-Use district is intended for areas close to rapid transit hubs and employment centers. Buildings shall be designed to promote walking and have a pedestrian orientation, with curb cuts on retail streets strongly discouraged. Ground floor uses on retail streets must be reserved for retail and other service uses open to customers. Upper story uses may be other commercial uses or residences. Taller buildings up to 156 feet in height are encouraged and shall have a minimum of two usable floors of building along retail streets. Entire blocks shall be zoned CX, where possible, to increase opportunities for pedestrian-oriented site and building design, conveniently located public parking, and open spaces.

PROPERTY SIZE (LOT 2)
 77' X 44' = 3388 S.F.

BUILDING STATISTICS (HABITABLE)
 FIRST FLOOR +2 STORIES (TOTAL): 3580 S.F.

BUILDING STATISTICS (INHABITABLE)
 FINISHED BASEMENT: 605 S.F.
 UNEXCAVATED CRAWL SPACE: 527.5 S.F.

TOTAL: 1132.5 S.F.
REQUIRED:
 MIN. HEIGHT ALONG RETAIL STREET: 25 FEET
 BASE BUILDING HEIGHT: 45 FEET
 MAX BUILDING HEIGHT: 156 FEET
 MIN. SIDE YARD NOT ABUTTING A RESIDENTIAL STREET: 0/6 FEET
 MIN. SIDE YARD ABUTTING A RESIDENTIAL STREET: 6 FEET
 MIN. REAR YARD ABUTTING AN ALLEY: 5 FEET
 MIN. REAR YARD NOT ABUTTING AN ALLEY: 0 FEET
 BASE FAR RATIO: 2.50
 MAX UNDER SITE PLAN APPROVAL: 9.00
 FIRST FLOOR COMMERCIAL USE 75-100% FAR RATIO: 4.50

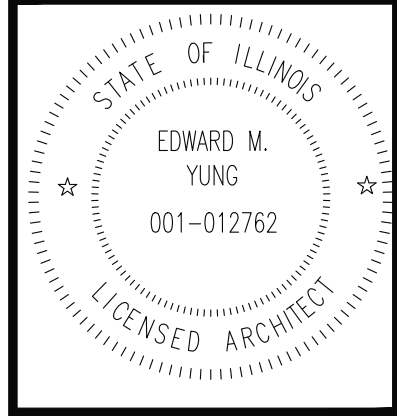
ACTUAL:
 BUILDING HEIGHT: 29 FEET
 SIDE SETBACKS: WEST SETBACK: NINE FEET EAST SETBACK: 16 FEET EIGHT INCHES
 REAR SETBACK: 24 FEET
 FAR RATIO: 0.92
 2 4'X11' PARKING SPOTS

YUNG Architects LTD.

ARCHITECTS/PLANNERS/INTERIORS/CONSTRUCTION MANAGERS
 1100 WEST NORTHWEST HIGHWAY, MT. PROSPECT, ILLINOIS 60056
 TELEPHONE: (847) 845-3352 EMAIL: YUNGARCH@COMCAST.NET

THIRD FLOOR ADDITION & COMPLETE REHABILITATION OF EXISTING MIXED-USED 5110 WEST BROWN STREET SKOKIE, ILLINOIS 60077

DATE	REVISIONS	NUMBER



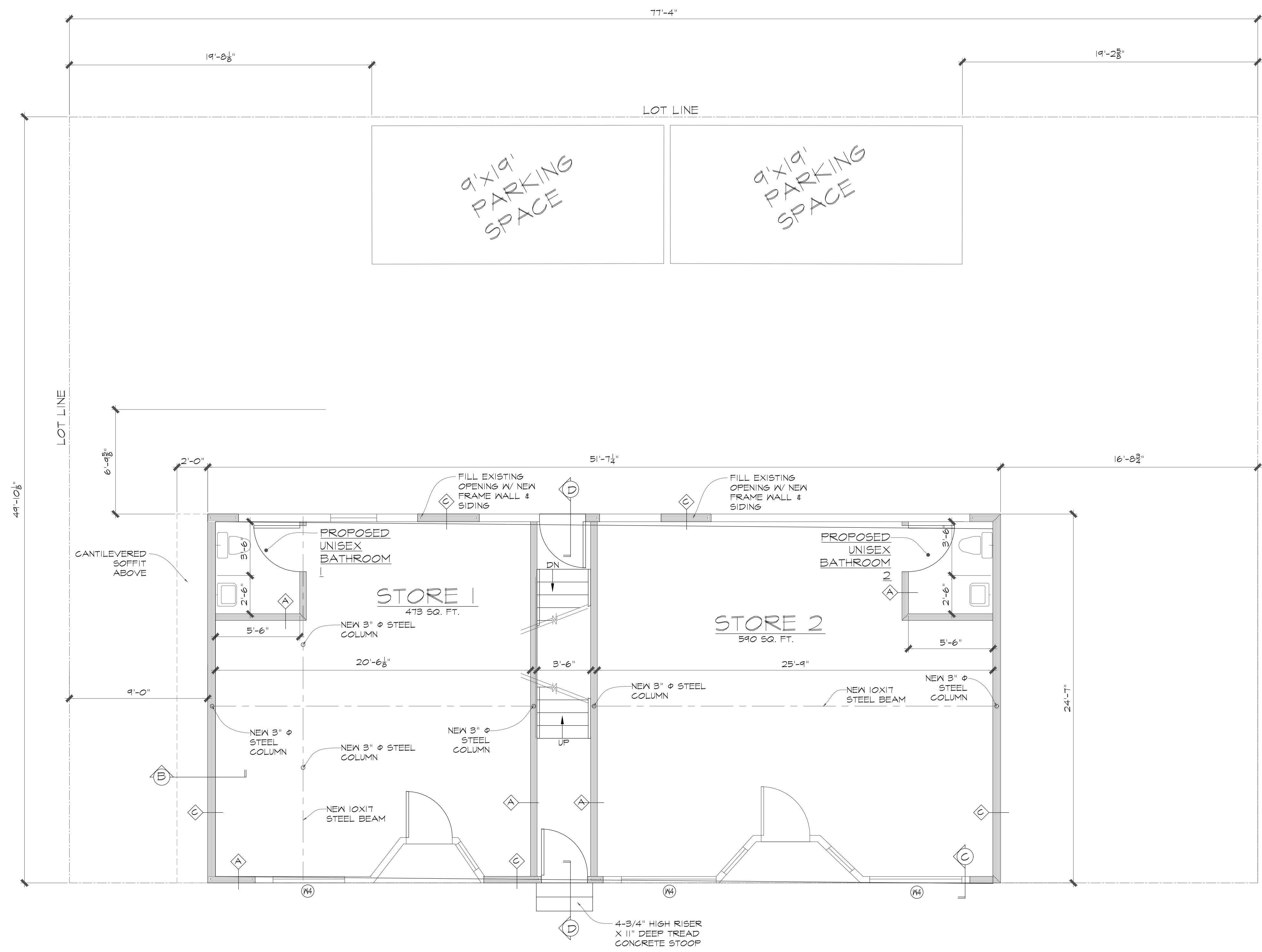
DRAWN BY: L.S.C.

DATE ISSUED: XX-XX-2022

PROJECT # 22XX

SHEET TITLE: SITE PLAN

SHEET #: **S-1**



FIRST FLOOR ARCHITECTURAL PLAN
SCALE: 1/4"=1'-0"



- ARCHITECTURAL GENERAL NOTES:**
1. ALL INTERIOR FINISHES TO COMPLY WITH SECTION 15-B-420 C.B./15-B-440 C.B.C.
 2. ALL EXIT DOORS TO REMAIN KEYLESS IN THE DIRECTION OF EGRESS.
 3. ALL GLASS TO COMPLY WITH SECTION 13-124-350 C.B.C. AND SHALL BE SAFETY GLAZED.
 4. ALL MATERIALS FOR INTERIOR FINISHES FOR WALLS AND CEILING SHALL NOT BE LESS RESISTANT TO FLAME SPREAD THAN CLASS 1.
 5. ALL FLOOR COVERING SHALL MEET CLASS "A" REQUIREMENTS.
 6. WATER RESISTANT GYPSUM BACKER BOARD IS REQUIRED AROUND ALL TUB AND SHOWER WALLS.
 7. PROVIDE TEMPERED GLASS IN ALL PATIO DOORS AND BATHROOM WINDOWS.

- ARCHITECTURAL CONSTRUCTION NOTES**
1. CUTS, NOTCHES, AND HOLES BORED IN TRUSSES, LAMINATED VENEER LUMBER, GLUE-LAMINATED MEMBERS OR I-JOISTS ARE NOT PERMITTED UNLESS THE EFFECTS OF SUCH ARE SPECIFICALLY ADDRESSED. (SECTION R502.0.2)
 2. EXTERIOR OR LOAD-BEARING WALLS WITH PLATES CUT, DRILLED OR NOTCHES MORE THAN 50% OF THE WIDTH OF THE STUD SHALL HAVE A GALVANIZED METAL TIE 6 GAUGE AND 1 1/2" INCHES WIDE FASTENED TO EACH PLATE. (SECTION R312.2)
 3. EXTERIOR OR LOAD-BEARING WALLS WITH STUDS DRILLED WITHIN 5/8" OF THE FACE OF THE STUD SHALL BE REINFORCED WITH A STRUCTURAL STUD SHOE. (SECTION R312.2)
 4. LOAD BEARING WALLS ON THE FIRST FLOOR MAY HAVE TO BE EXPOSED IN ORDER TO VERIFY THEY ARE NOT CUT, NOTCHED, OR DAMAGED BEYOND CODE ALLOWANCES FOR NEW LOAD BEARING WALLS.

WINDOW SCHEDULE

TAG	TYPE	SIZE (WxH)	LIGHT (SF.)	VENT (SF.)	REMARKS
(N)	SLIDER	4'-0" X 3'-0"	12	6	
(N)	SLIDER	3'-0" X 3'-0"	9	4.5	
(N)	DOUBLE-HUNG	2'-6" X 2'-6"	6.25	3.125	
(N)	FIXED	6'-2" X 6'-0"	37		

DOOR SCHEDULE

TAG	DOOR TYPE	SIZE (WxHxT)	MATL	FINISH	DOOR FR. MATL	DOOR FR. FINISH	HDW LOCK SET	REMARKS
(1)	SWING	3'-0" x 7'-0" x 1 3/4"	WD	S/V		PAINT	I	
(2)	SWING	2'-8" x 7'-0" x 1 3/8"	WD	S/V		PAINT	I	
(3)	SWING	2'-4" x 7'-0" x 1 3/8"	WD	S/V		PAINT	I	
(4)	SWING	2'-6" x 7'-0" x 1 3/8"	WD	S/V		PAINT	I	
(5)	SWING	1'-8" x 7'-0" x 1 3/8"	WD	S/V		PAINT	I	
(6)	BI-FOLD	2'-8" x 7'-0" x 1 3/8"	WD	S/V		PAINT	I	
(1)	BI-FOLD	4'-0" x 7'-0" x 1 3/8"	WD	S/V		PAINT	I	

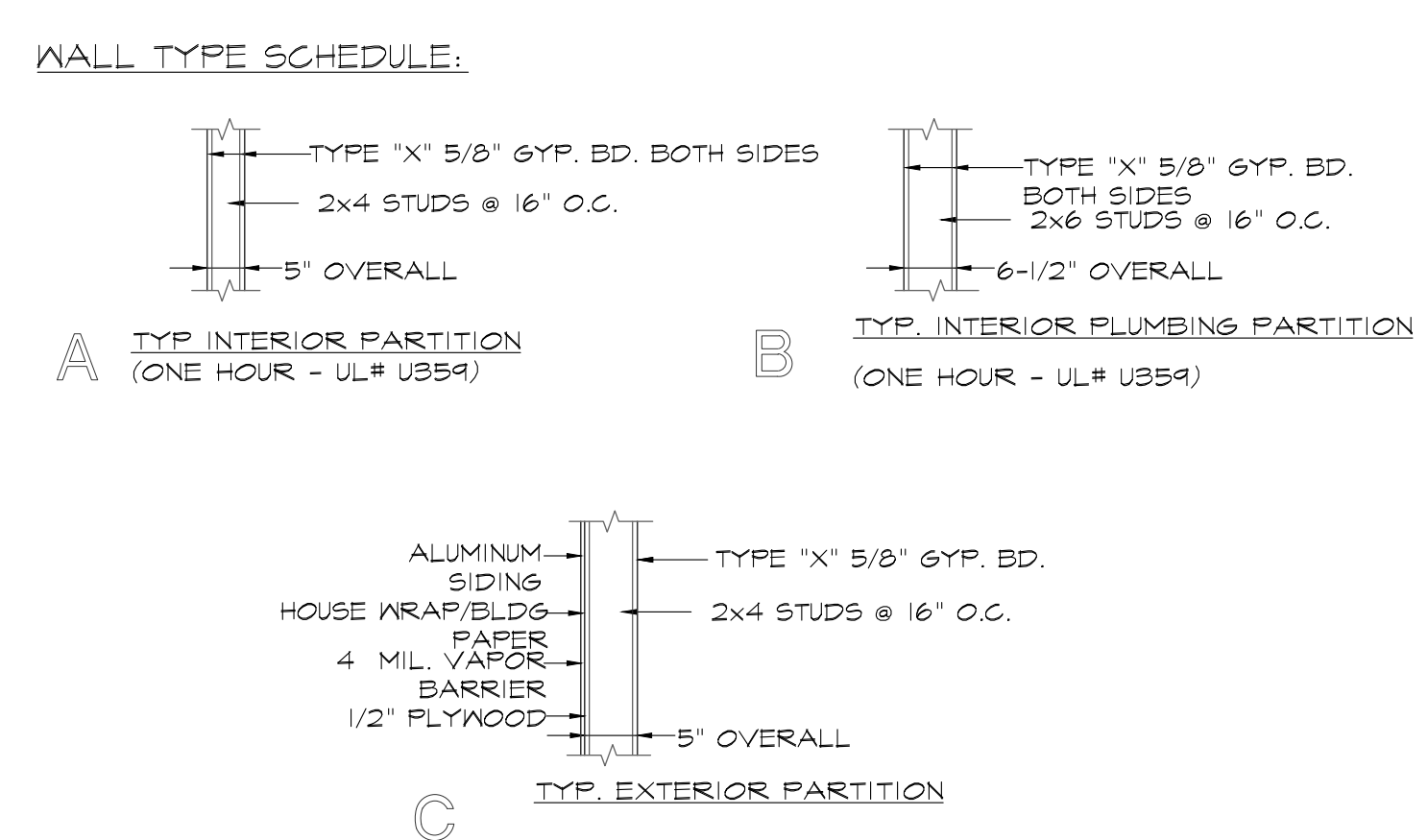
MATERIAL SCHEDULE

ALUMINUM	AL	WOOD	WD
STAIN & VARNISH	S/V	VINYL	VYL
STEEL	STL	PRIME & PAINT	P/P

HARDWARE SCHEDULE

MARK	FUNCTION	MARK	FUNCTION	MARK	FUNCTION
1	ENTRY LOCKSET	5	DEADBOLT	9	WEATHER PROOF
2	PRIVACY LOCKSET	6	PANIC	6	SILL
3	PASSAGE LOCKSET	7	CLOSER	7	
4	DUMMY KNOB	8	EYE VIEWER	8	

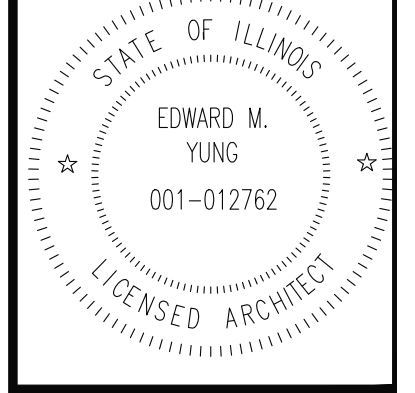
- WALL LEGEND:**
- NEW INTERIOR WALL
 - EXISTING WALL TO REMAIN
 - EXISTING WALL TO BE REMOVED



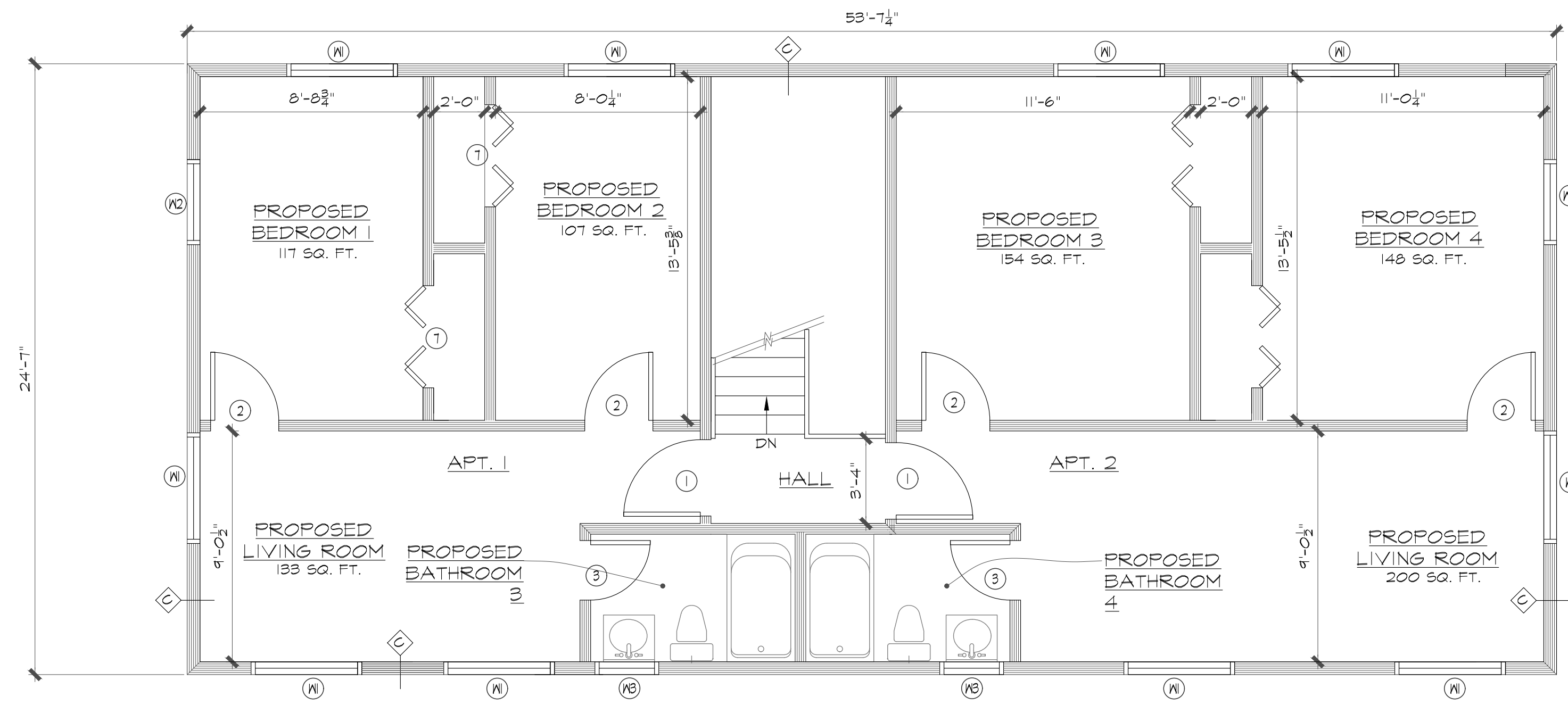
YUNG Architects LTD.
 ARCHITECTS/PLANNERS/INTERIORS/CONSTRUCTION MANAGERS
 1100 WEST NORTHWEST HIGHWAY, MT. PROSPECT, ILLINOIS 60056
 TELEPHONE: (847) 845-3352 EMAIL: YUNGARCH@COMCAST.NET

THIRD FLOOR ADDITION & COMPLETE REHABILITATION OF EXISTING MIXED-USE 5110 WEST BIRCHVALE STREET SKOKIE, ILLINOIS 60077

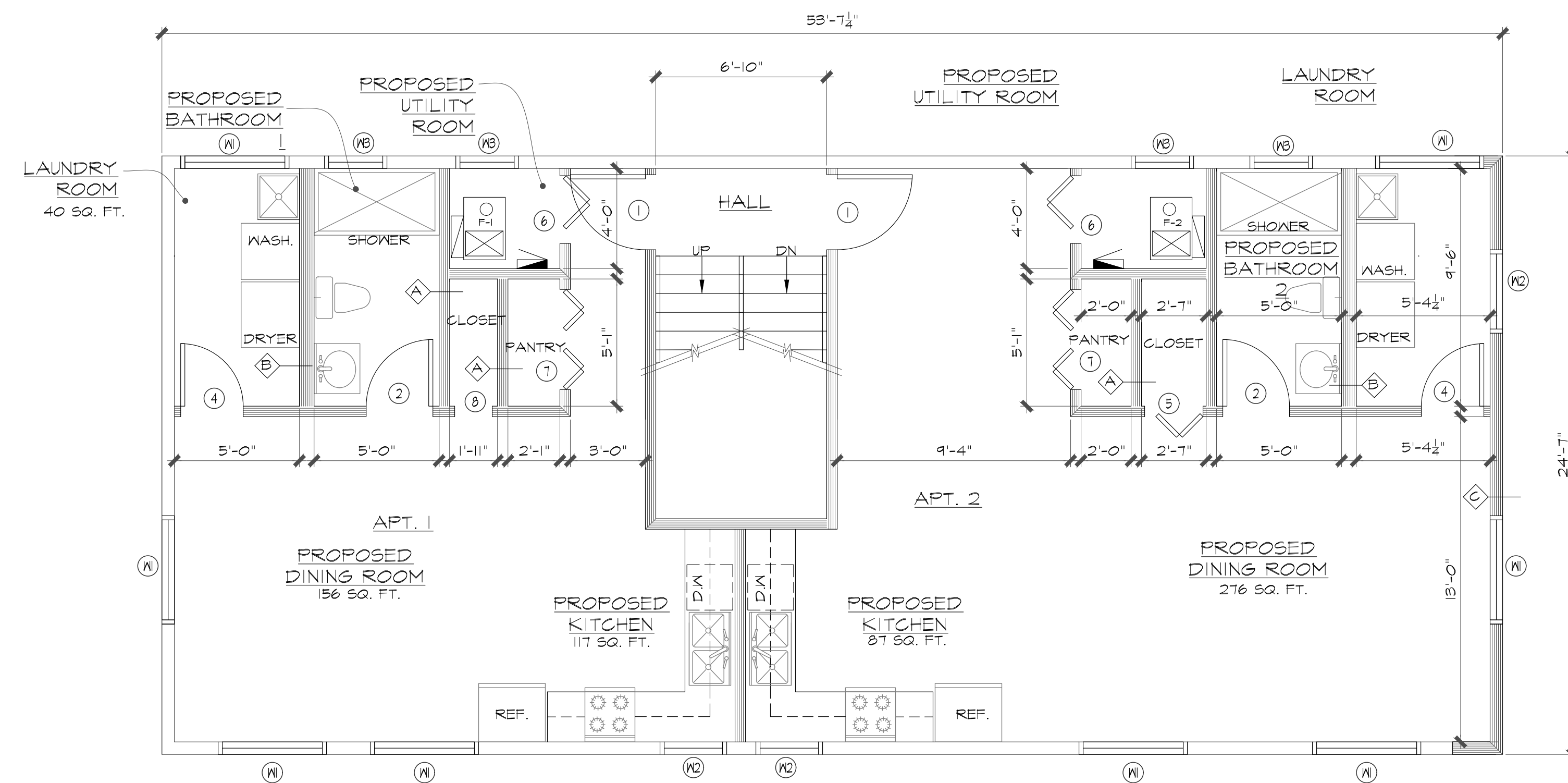
DATE	REVISIONS	NUMBER



DRAWN BY: L.S.C.
 DATE ISSUED: XX-XX-2022
 PROJECT # 22XX
 SHEET TITLE: ARCHITECTURAL PLANS, SCHEDULES AND NOTES
 SHEET #:
A-1.1



THIRD FLOOR ARCHITECTURAL PLAN
SCALE: 1/4"=1'-0"



SECOND FLOOR ARCHITECTURAL PLAN
SCALE: 1/4"=1'-0"



ARCHITECTURAL GENERAL NOTES:

- ALL INTERIOR FINISHES TO COMPLY WITH SECTION 15-8-420 C.B./15-8-440 C.B.C.
- ALL EXIT DOORS TO REMAIN KEYLESS IN THE DIRECTION OF EGRESS.
- ALL GLASS TO COMPLY WITH SECTION 13-124-350 C.B.C. AND SHALL BE SAFETY GLAZED.
- ALL MATERIALS FOR INTERIOR FINISHES FOR WALLS AND CEILING SHALL NOT BE LESS RESISTANT TO FLAME SPREAD THAN CLASS 1.
- ALL FLOOR COVERING SHALL MEET CLASS "A" REQUIREMENTS.
- WATER RESISTANT GYPSUM BACKER BOARD IS REQUIRED AROUND ALL TUB AND SHOWER WALLS.
- PROVIDE TEMPERED GLASS IN ALL PATIO DOORS AND BATHROOM WINDOWS.

WINDOW SCHEDULE

TAG	TYPE	SIZE (WxH)	LIGHT (SF.)	VENT (SF.)	REMARKS
(N)	SLIDER	4'-0" X 3'-0"	12	6	
(M)	SLIDER	3'-0" X 3'-0"	9	4.5	
(B)	DOUBLE-HUNG	2'-6" X 2'-6"	6.25	3.125	
(H)	FIXED	6'-2" X 4'-3"	26.18		

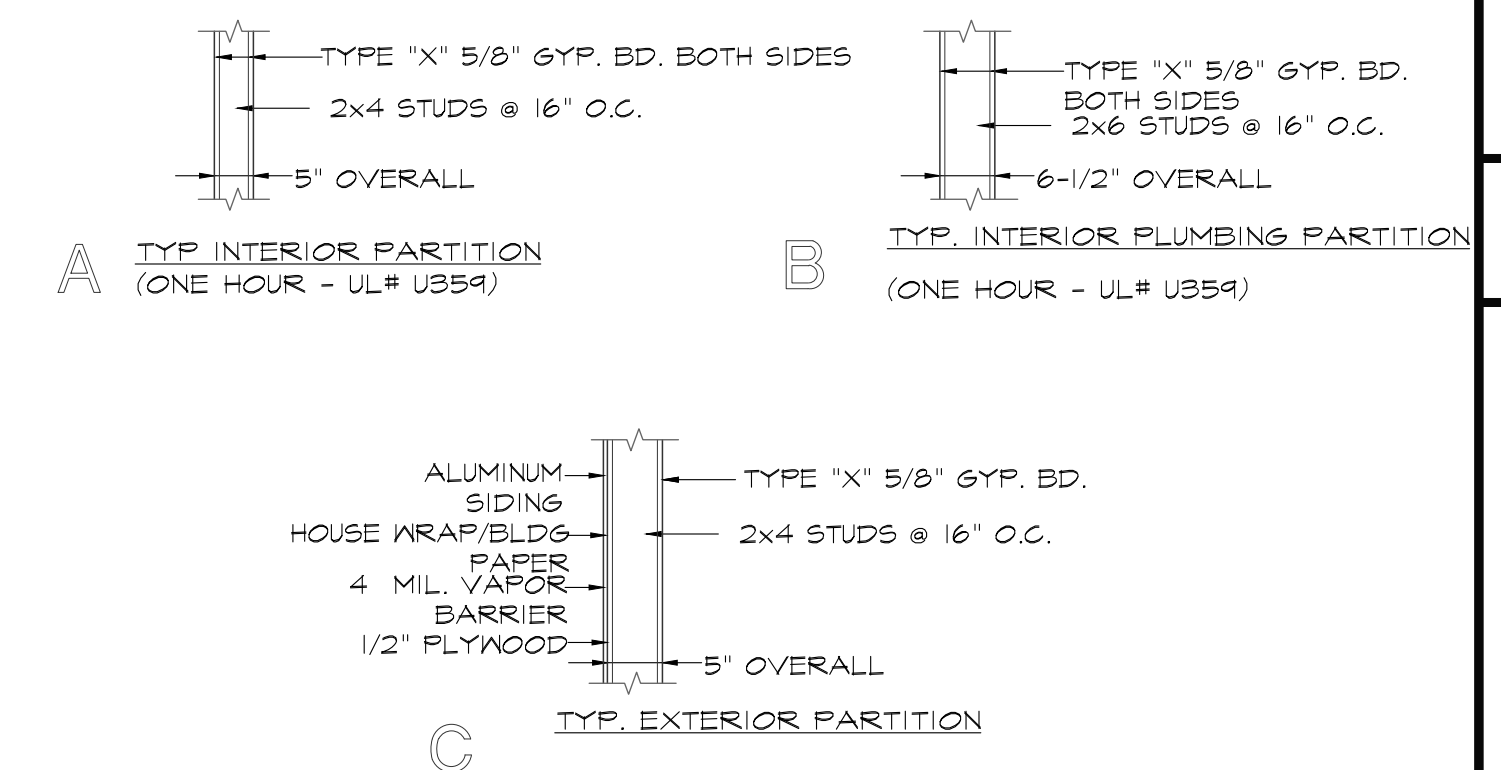
DOOR SCHEDULE

TAG	DOOR	DOOR FR.	HDW	LOCK SET	REMARKS
(1)	SWING 3'-0" x 7'-0" x 1 3/4"	WD	S/V	PAINT	1
(2)	SWING 2'-8" x 7'-0" x 1 3/8"	WD	S/V	PAINT	1
(3)	SWING 2'-4" x 7'-0" x 1 3/8"	WD	S/V	PAINT	1
(4)	SWING 2'-6" x 7'-0" x 1 3/8"	WD	S/V	PAINT	1
(5)	BI-FOLD 2'-4" x 7'-0" x 1 3/8"	WD	S/V	PAINT	1
(6)	BI-FOLD 2'-8" x 7'-0" x 1 3/8"	WD	S/V	PAINT	1
(7)	BI-FOLD 4'-0" x 7'-0" x 1 3/8"	WD	S/V	PAINT	1
(8)	BI-FOLD 1'-6" x 7'-0" x 1 3/8"	WD	S/V	PAINT	1

WALL LEGEND:

- NEW INTERIOR WALL
- EXISTING WALL TO REMAIN
- EXISTING WALL TO BE REMOVED

WALL TYPE SCHEDULE:



ARCHITECTURAL CONSTRUCTION NOTES

- CUTS, NOTCHES, AND HOLES BORED IN TRUSSES, LAMINATED VENEER LUMBER, GLUE-LAMINATED MEMBERS OR I-JOISTS ARE NOT PERMITTED UNLESS THE EFFECTS OF SUCH ARE SPECIFICALLY ADDRESSED. (SECTION R502.8.2)
- EXTERIOR OR LOAD-BEARING WALLS WITH PLATES CUT, DRILLED OR NOTCHES MORE THAN 50% OF THE WIDTH OF THE STUD SHALL HAVE A GALVANIZED METAL TIE 1/8 GAUGE AND 1 1/2 INCHES WIDE FASTENED TO EACH PLATE. (SECTION R312.2)
- EXTERIOR OR LOAD-BEARING WALLS WITH STUDS DRILLED WITHIN 5/8" OF THE FACE OF THE STUD SHALL BE REINFORCED WITH A STRUCTURAL STUD SHOE. (SECTION R312.2)
- LOAD BEARING WALLS ON THE FIRST FLOOR MAY HAVE TO BE EXPOSED IN ORDER TO VERIFY THEY ARE NOT CUT, NOTCHED, OR DAMAGED BEYOND CODE ALLOWANCES FOR NEW LOAD BEARING WALLS.

ENERGY CONSERVATION (2018 INTERNATIONAL ENERGY CONSERVATION CODE) NOTES:

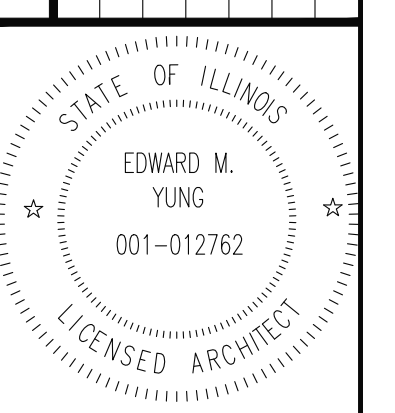
- ALL PLANS SUBMITTED FOR PERMIT AFTER JUNE 30 2019, ARE REQUIRED TO COMPLY WITH THE 2018 INTERNATIONAL ENERGY CONSERVATION CODE AS ADOPTED AND AMENDED BY THE STATE OF ILLINOIS
- A. THE MINIMUM WALL R-VALUE FOR INSULATION IS R-20 (OR R-13/R-5)
- B. THE MINIMUM CEILING R-VALUE FOR INSUL. IS R-49
- C. THE MINIMUM BASEMENT R-VALUE FOR INSUL. IS R-19 (R-15 CONTINUOUS)
- ALL WINDOWS SHALL HAVE A MAXIMUM U FACTOR OF 0.30

YUNG Architects LTD.

ARCHITECTS/PLANNERS/INTERIORS/CONSTRUCTION MANAGERS
1100 WEST NORTHWEST HIGHWAY, MT. PROSPECT, ILLINOIS 60056
TELEPHONE: (847) 845-3352 EMAIL: YUNGARCH@COMCAST.NET

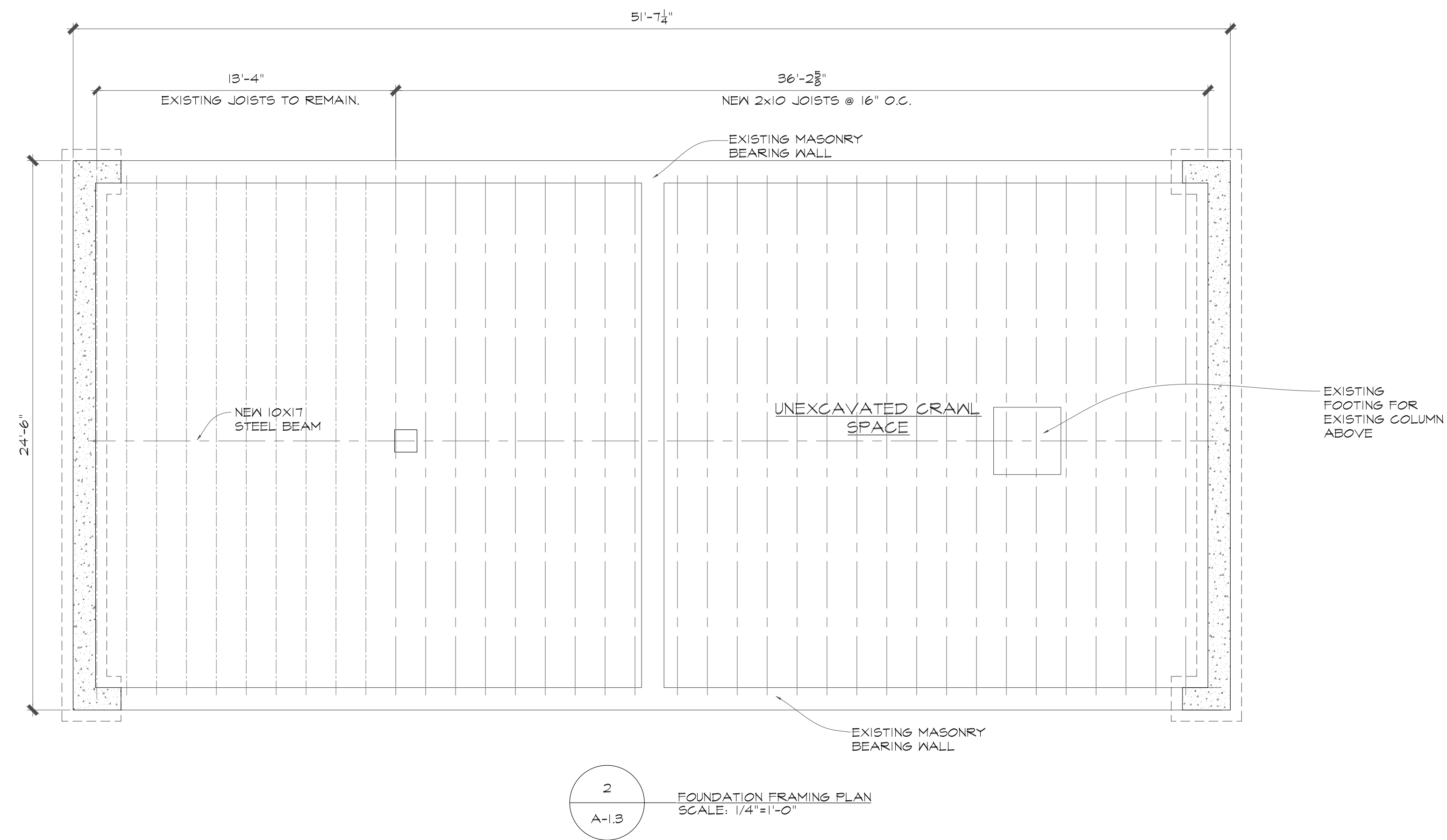
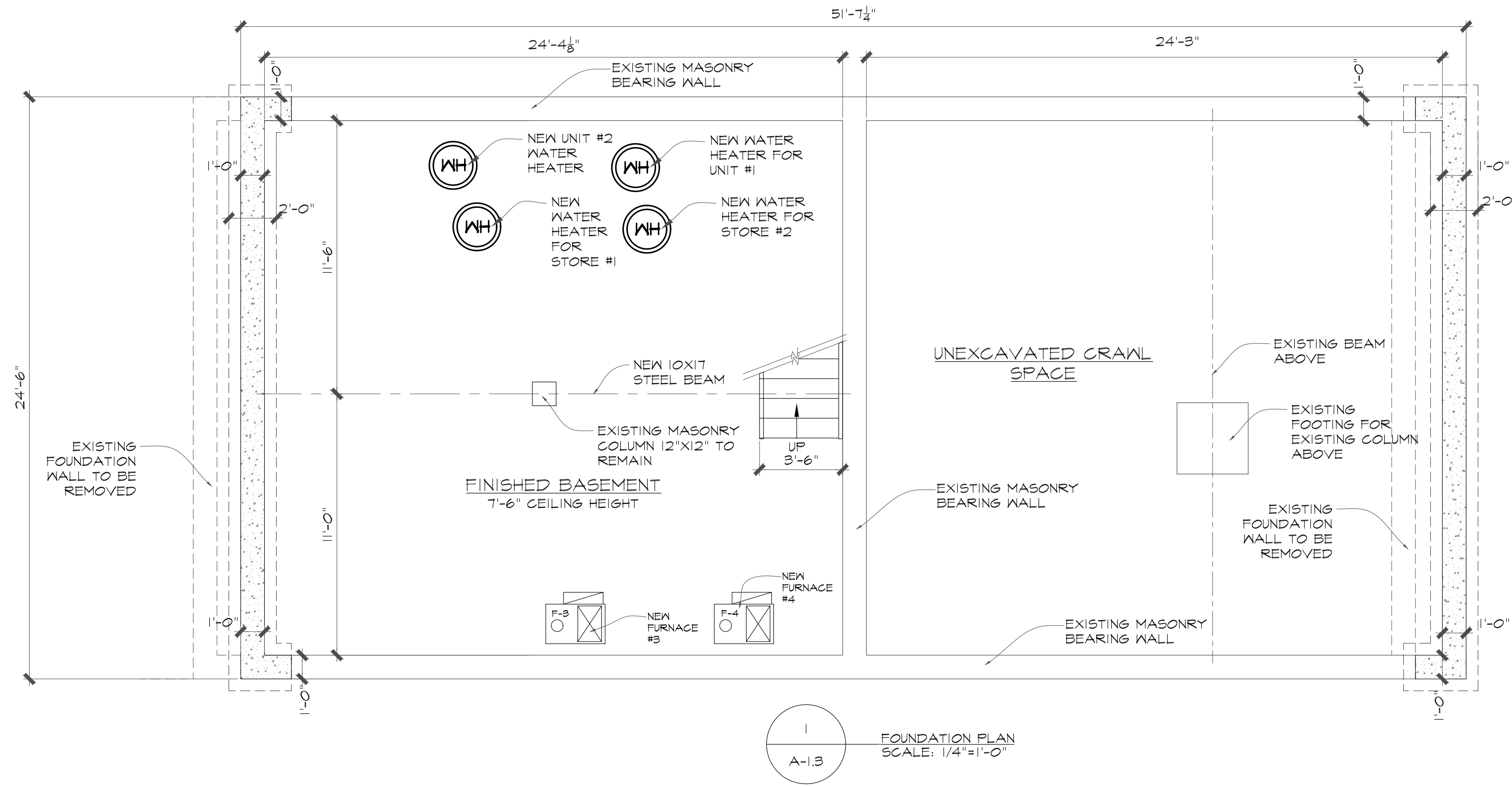
THIRD FLOOR ADDITION & COMPLETE REHABILITATION OF EXISTING MIXED-USED 5110 WEST BROWN STREET SKOKIE, ILLINOIS 60077

DATE	REVISIONS	NUMBER



DRAWN BY: L.S.C.
DATE ISSUED: XX-XX-2022
PROJECT # 22XX
SHEET TITLE: ARCHITECTURAL PLANS, SCHEDULES AND NOTES
SHEET #:

A-1.2



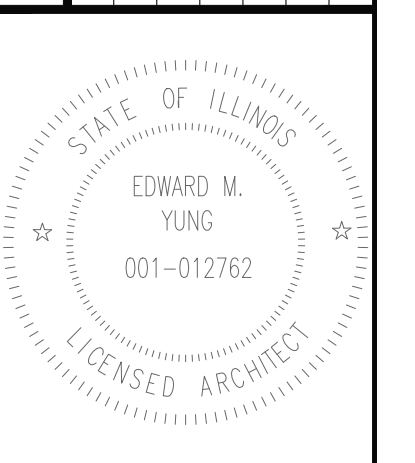
WALL LEGEND:
 ——— NEW INTERIOR WALL
 ——— EXISTING WALL TO REMAIN
 - - - - - EXISTING WALL TO BE REMOVED

YUNG Architects LTD.

ARCHITECTS/PLANNERS/INTERIORS/CONSTRUCTION MANAGERS
 1100 WEST NORTHWEST HIGHWAY, MT. PROSPECT, ILLINOIS 60056
 TELEPHONE: (847) 845-3352 EMAIL: YUNGARCH@COMCAST.NET

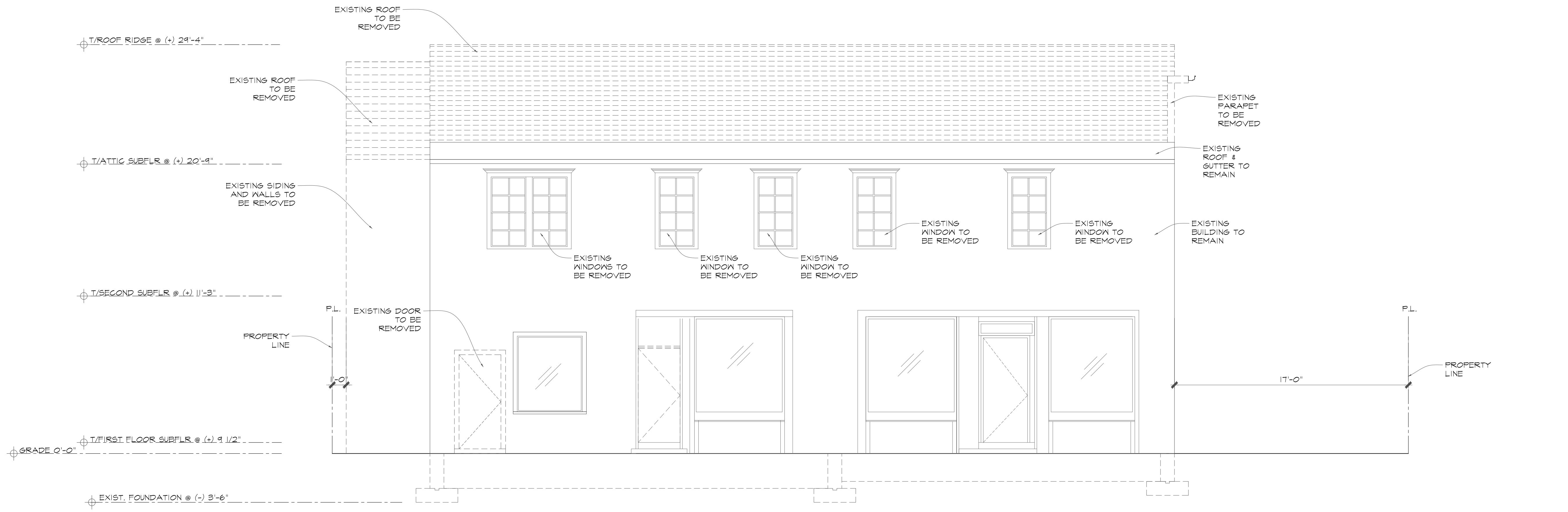
THIRD FLOOR ADDITION &
 COMPLETE REHABILITATION
 OF EXISTING MIXED-USE
 510 WEST BROWN STREET
 SKOKIE, ILLINOIS 60077

DATE	REVISIONS	NUMBER

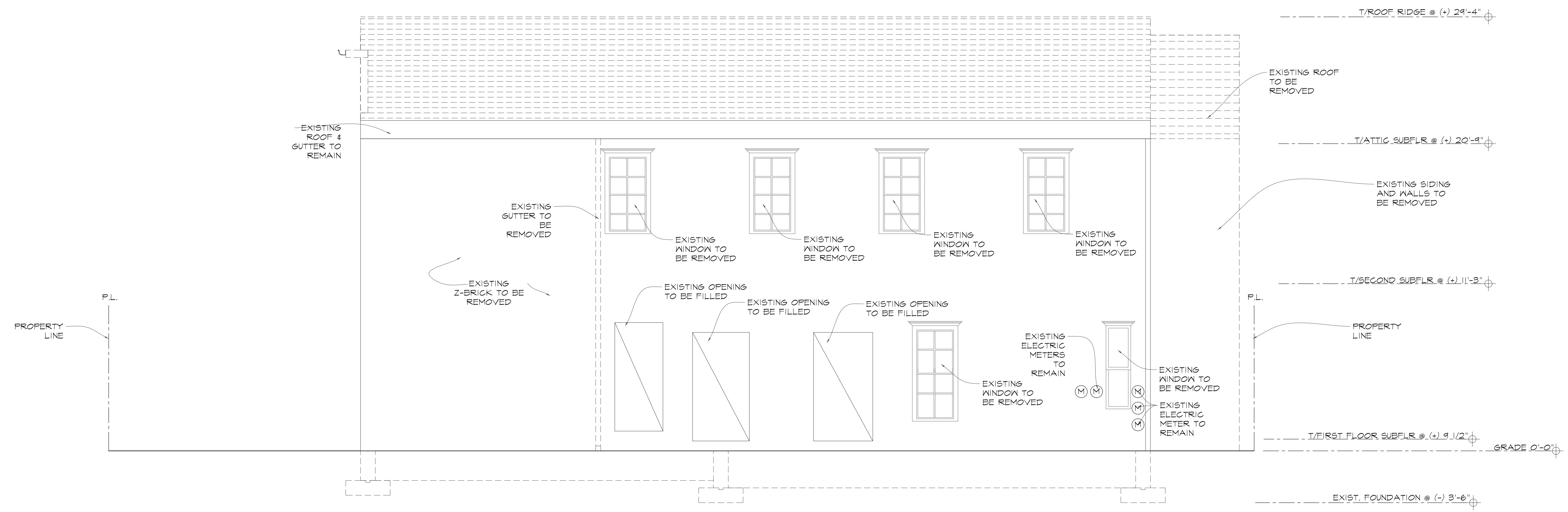


DRAWN BY:
L.S.C.
 DATE ISSUED:
XX-XX-2022
 PROJECT # 22XX
 SHEET TITLE:
BASEMENT PLAN

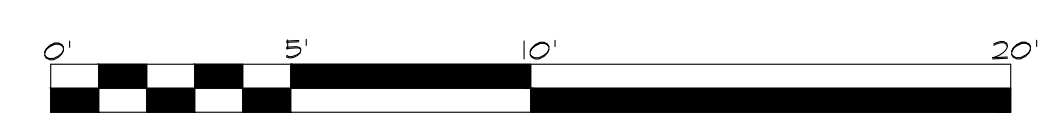
SHEET #:
A-1.3



1
A-2.1
EXISTING SOUTH ELEVATION
SCALE: 1/4"=1'-0"



2
A-2.1
EXISTING NORTH ELEVATION
SCALE: 1/4"=1'-0"

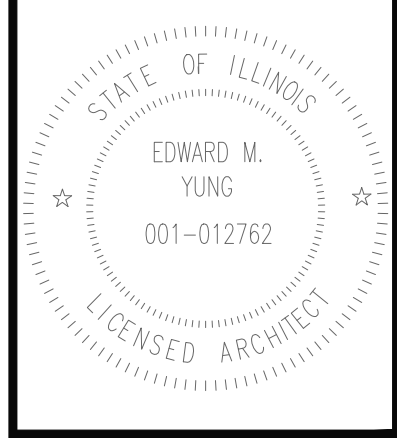


YUNG Architects LTD.

ARCHITECTS/PLANNERS/INTERIORS/CONSTRUCTION MANAGERS
1100 WEST NORTHWEST HIGHWAY, MT. PROSPECT, ILLINOIS 60056
TELEPHONE: (847) 845-3352 EMAIL: YUNGARCH@COMCAST.NET

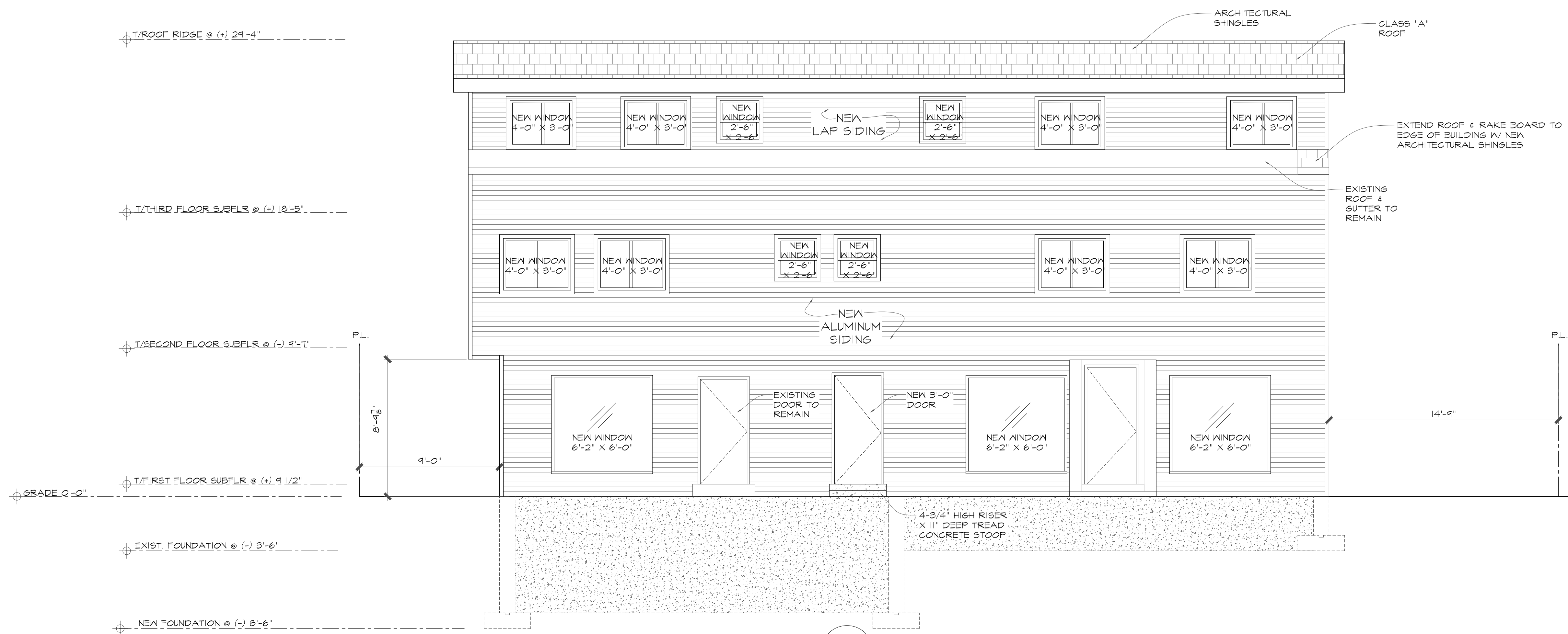
THIRD FLOOR ADDITION &
COMPLETE REHABILITATION
OF EXISTING MIXED-USED
5110 WEST BROWN STREET
SKOKIE, ILLINOIS 60077

DATE	REVISIONS	NUMBER
07/20/2023	REVISED PLANS 1	1



DRAWN BY:
L.S.C
DATE ISSUED:
XX-XX-2022
PROJECT # 22XX
SHEET TITLE:
ARCHITECTURAL
ELEVATIONS

SHEET #
A-2.1

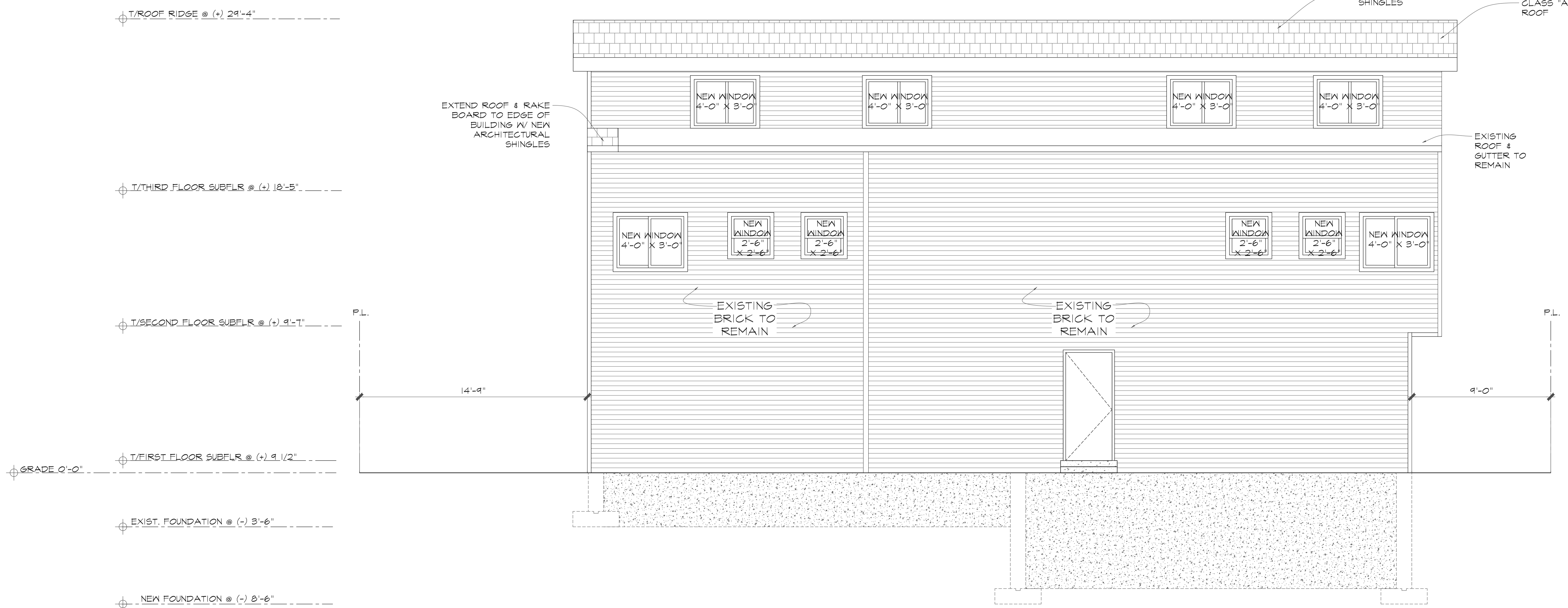


1
A-23
PROPOSED SOUTH ELEVATION
SCALE: 1/4"=1'-0"

ROOF VENTILATION NOTES:
TOTAL NET FREE VENTILATING AREA SHALL BE 1/150TH OF THE AREA BEING VENTILATED

ROOF PITCH 2:12

- 635 SQ. IN INTAKE @ SOFFITS
- 5 VENTS NEEDED W/ 8"X16" ALUMINUM UNDER EAVE SOFFIT VENTS
- 635 SQ. IN EXHAUST @ RIDGE VENT
- 10 VENTS NEEDED W/ 60 SQUARE INCH ROOF VENT



2
A-23
PROPOSED NORTH ELEVATION
SCALE: 1/4"=1'-0"

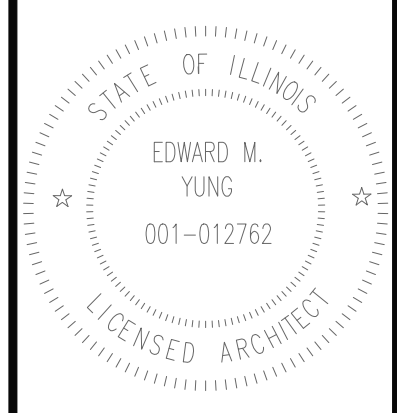


YUNG Architects LTD.

ARCHITECTS/PLANNERS/INTERIORS/CONSTRUCTION MANAGERS
1100 WEST NORTHWEST HIGHWAY, MT. PROSPECT, ILLINOIS 60056
TELEPHONE: (847) 845-3352 EMAIL: YUNGARCH@COMCAST.NET

THIRD FLOOR ADDITION &
COMPLETE REHABILITATION
OF EXISTING MIXED-USED
5110 WEST BROWN STREET
SKOKIE, ILLINOIS 60077

DATE	REVISIONS	NUMBER
07/20/2023	REVISED PLANS 1	1



DRAWN BY:
L.S.C

DATE ISSUED:
XX-XX-2022

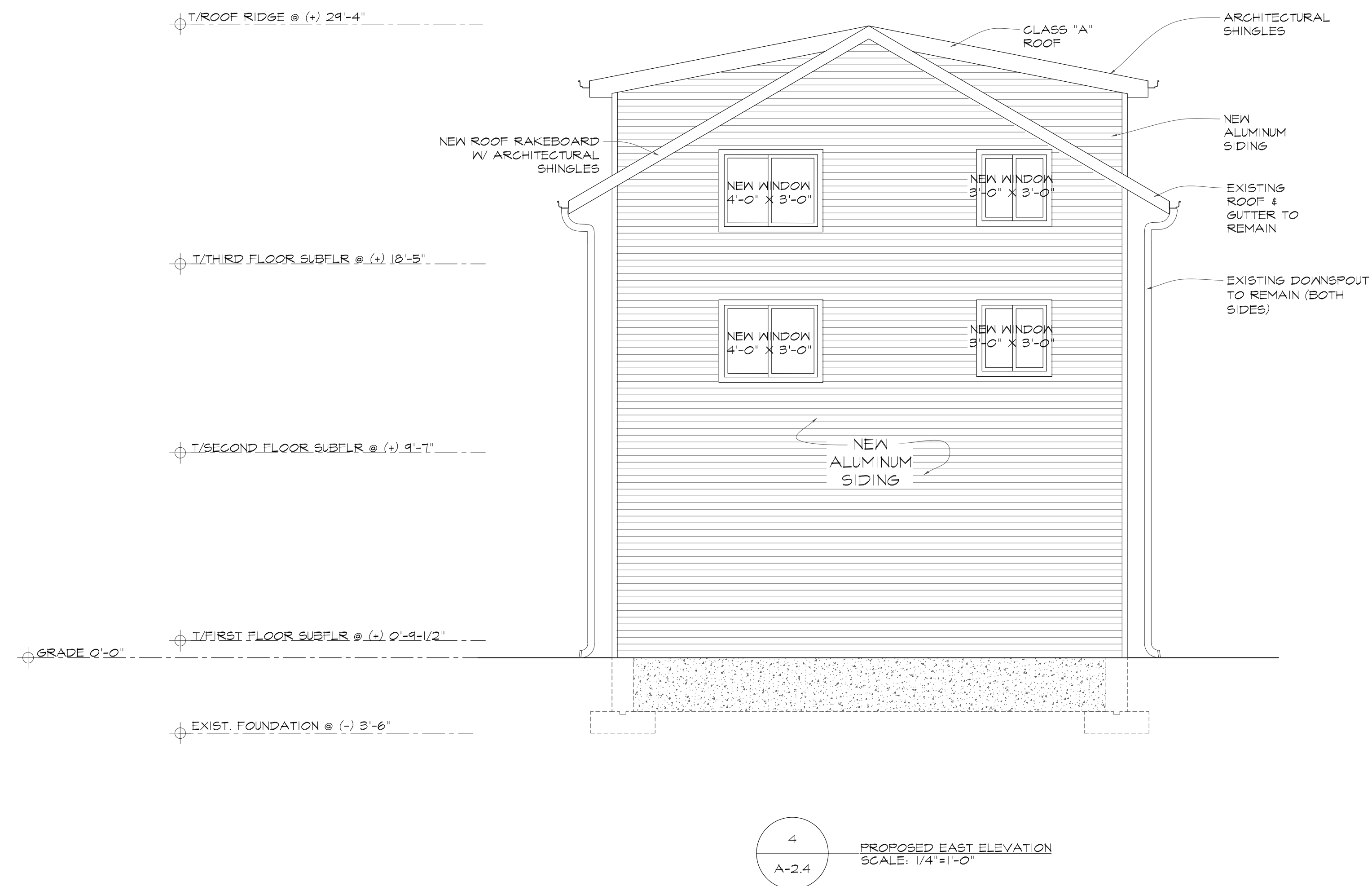
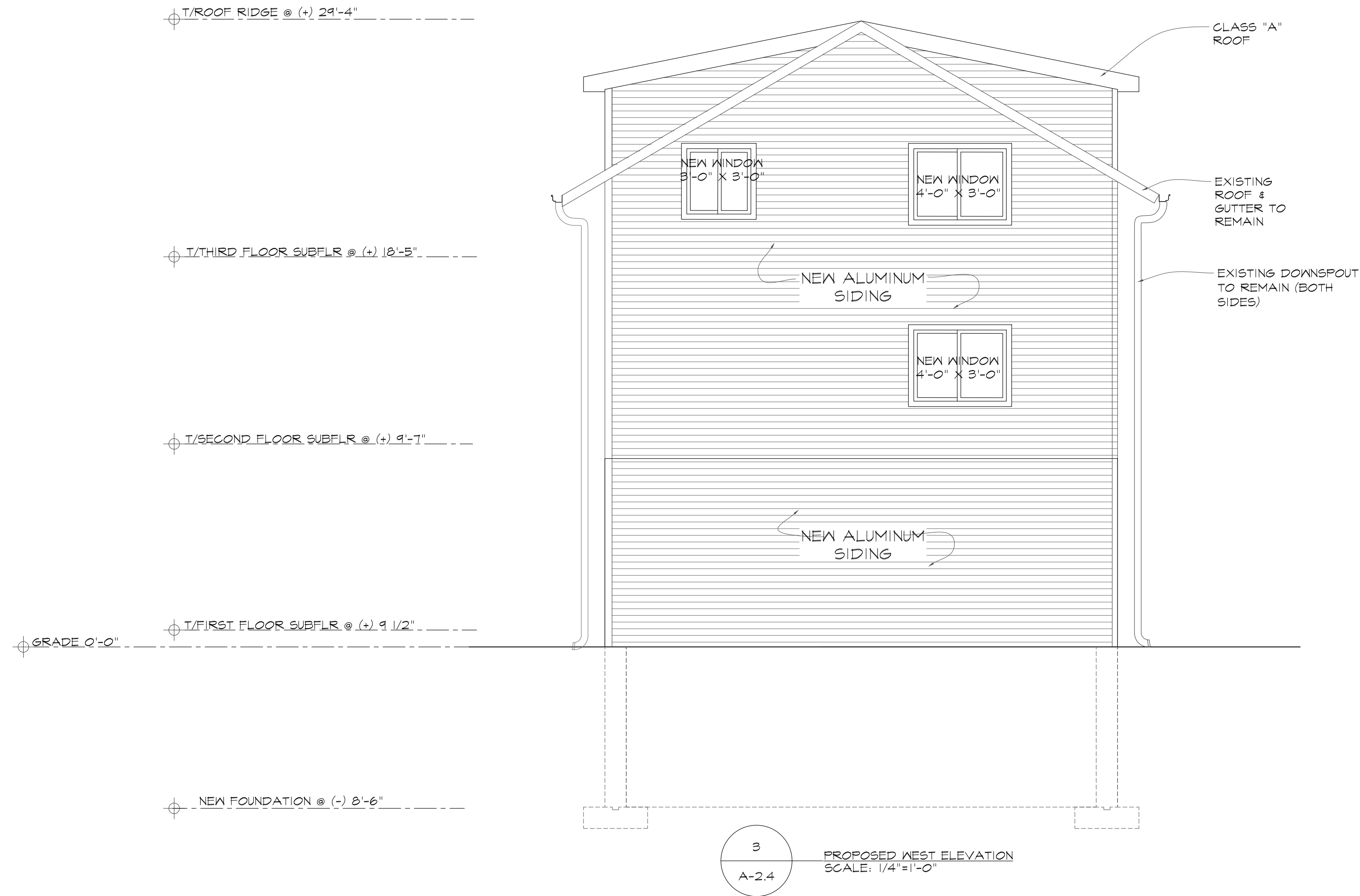
PROJECT # 22XX

SHEET TITLE:
ARCHITECTURAL
ELEVATIONS

SHEET #:
A-2.3

ROOF VENTILATION NOTES:
TOTAL NET FREE VENTILATING AREA SHALL BE
1/150TH OF THE AREA BEING VENTILATED

- ROOF PITCH 2:12
- 635 SQ. IN INTAKE @ SOFFITS
• 5 VENTS NEEDED W/ 2"X16" ALUMINUM UNDER
EAVE SOFFIT VENTS
 - 635 SQ. IN EXHAUST @ RIDGE VENT
• 10 VENTS NEEDED W/ 60 SQUARE INCH ROOF
VENT

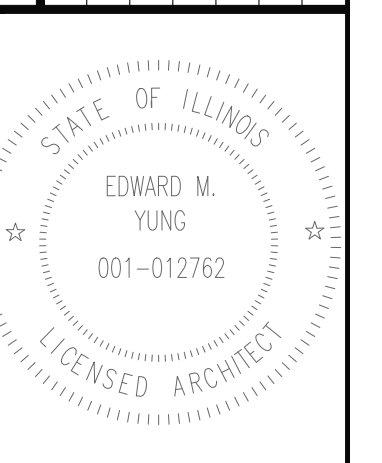


YUNG Architects LTD.

ARCHITECTS/PLANNERS/INTERIORS/CONSTRUCTION MANAGERS
1100 WEST NORTHWEST HIGHWAY, MT. PROSPECT, ILLINOIS 60056
TELEPHONE: (847) 845-3352 EMAIL: YUNGARCH@COMCAST.NET

THIRD FLOOR ADDITION &
COMPLETE REHABILITATION
OF EXISTING MIXED-USED
5110 WEST BROWN STREET
SKOKIE, ILLINOIS 60077

DATE	REVISIONS	NUMBER
07/20/2023	REVISED PLANS 1	1



DRAWN BY:
L.S.C

DATE ISSUED:
XX-XX-2022

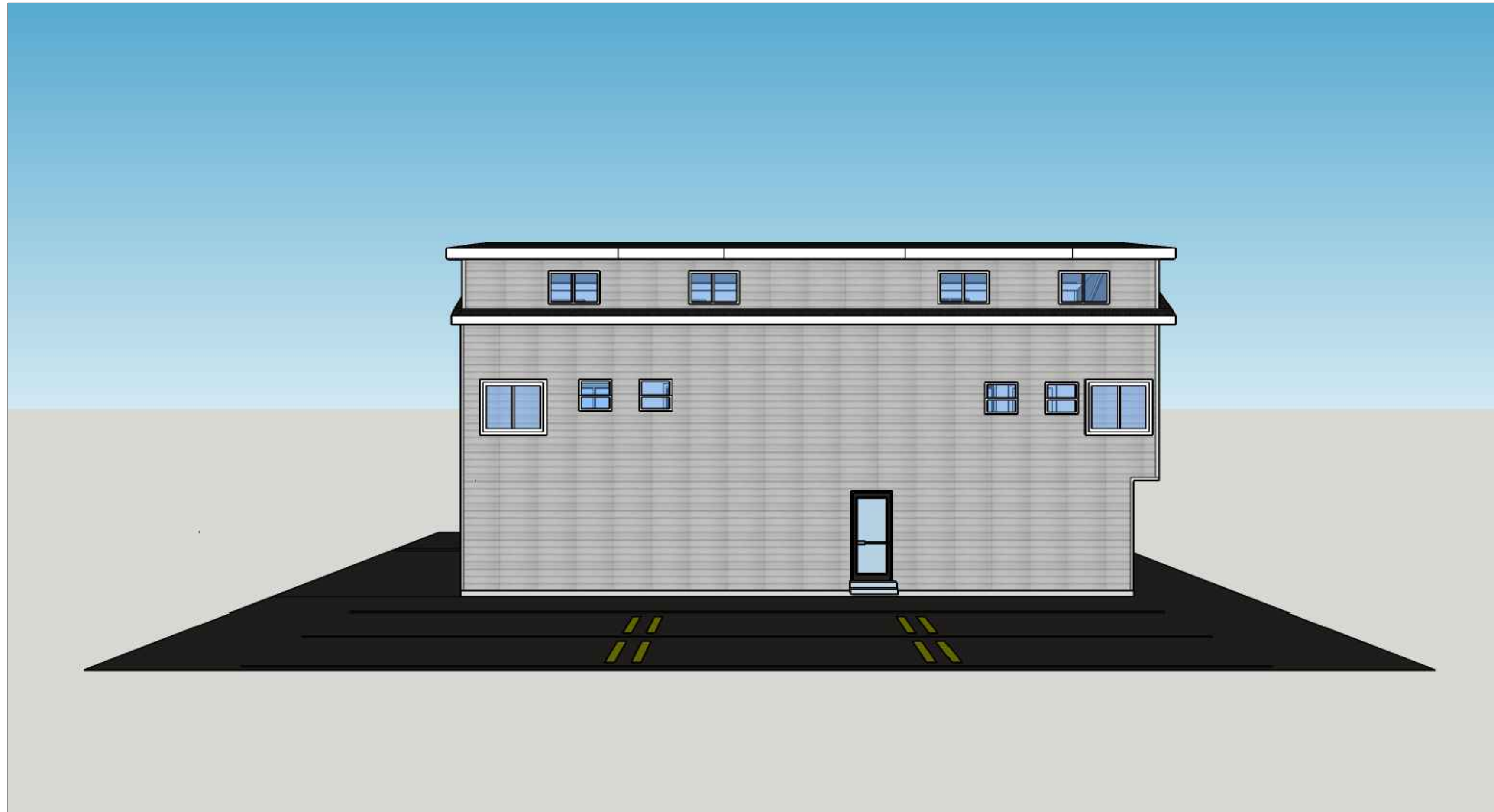
PROJECT # 22XX

SHEET TITLE:
ARCHITECTURAL
ELEVATIONS

SHEET #:
A-2.4



1
A-4.1
PROPOSED SOUTH COLORED ELEVATION
SCALE: NOT TO SCALE



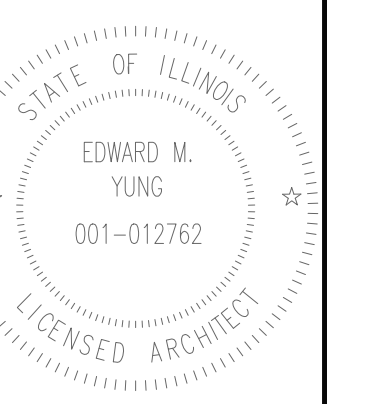
2
A-4.1
PROPOSED NORTH COLORED ELEVATION
SCALE: NOT TO SCALE

YUNG Architects LTD.

ARCHITECTS/PLANNERS/INTERIORS/CONSTRUCTION MANAGERS
1100 WEST NORTHWEST HIGHWAY, MT. PROSPECT, ILLINOIS 60056
TELEPHONE: (847) 845-3352 EMAIL: YUNGARCH@COMCAST.NET

THIRD FLOOR ADDITION &
COMPLETE REHABILITATION
OF EXISTING MIXED-USED
5110 WEST BROWN STREET
SKOKIE, ILLINOIS 60077

DATE	REVISIONS	NUMBER
07/20/2023	REVISED PLANS 1	1



DRAWN BY:
L.S.C

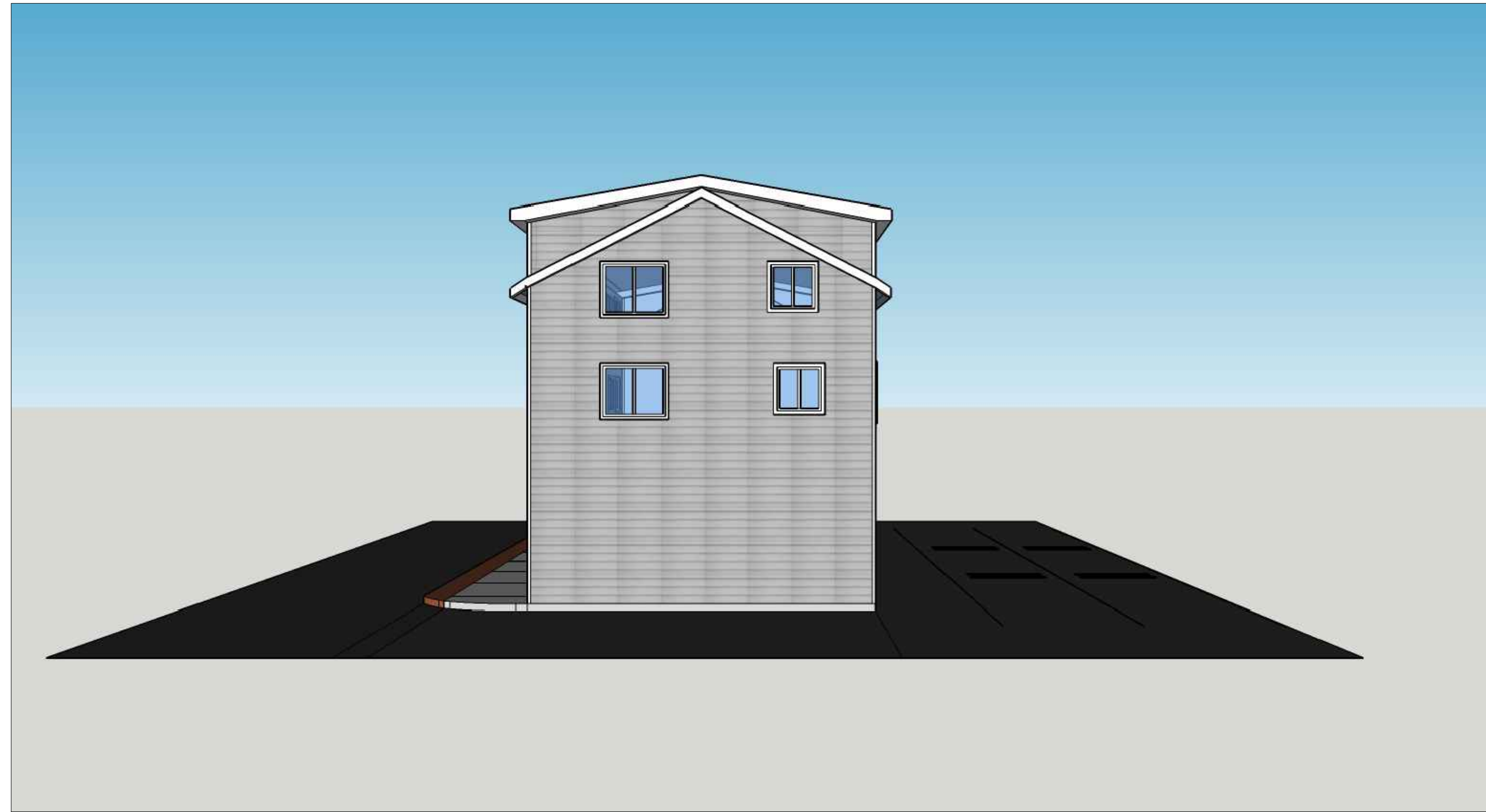
DATE ISSUED:
XX-XX-2022

PROJECT # 22XX

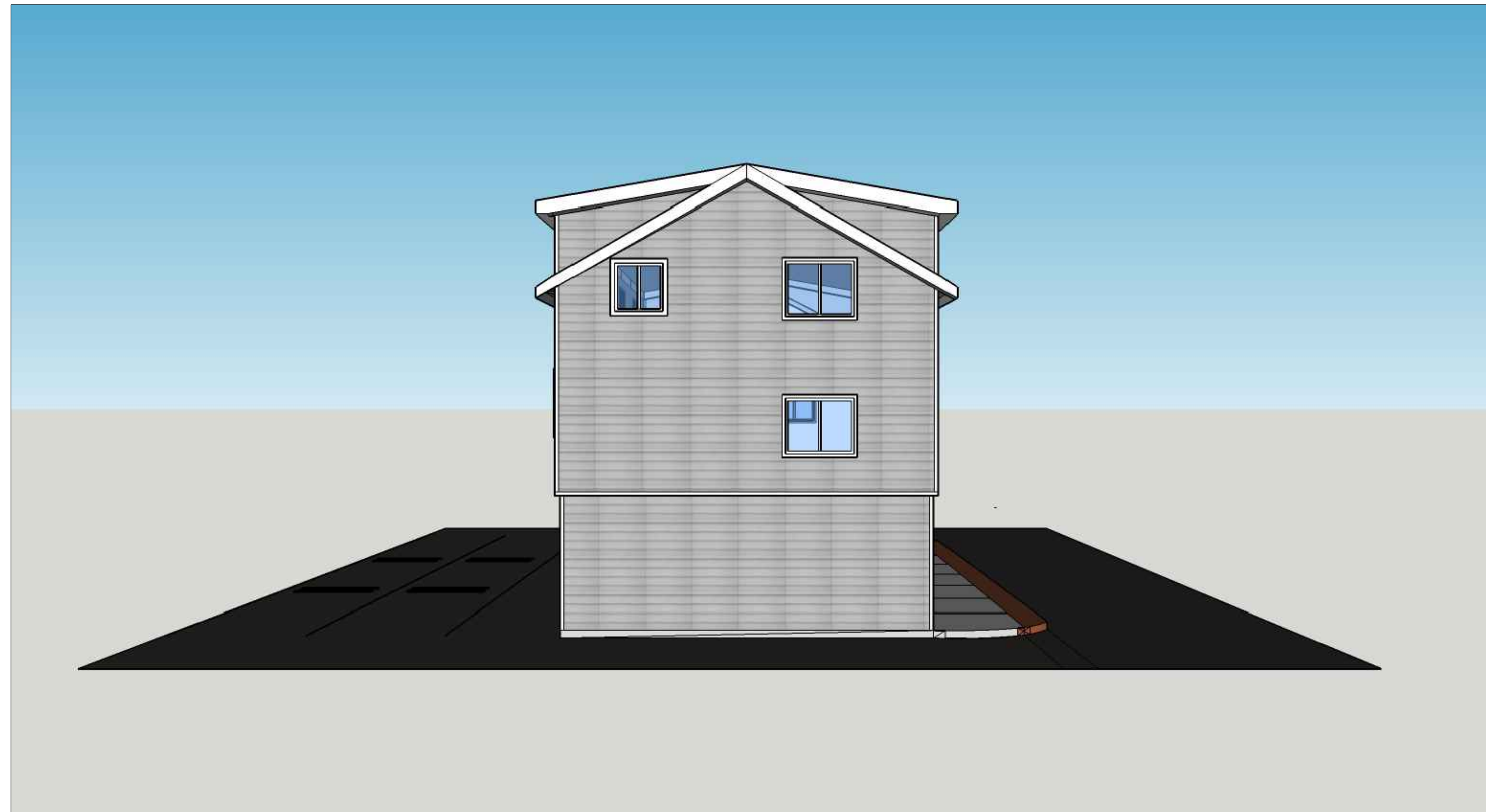
SHEET TITLE:
ARCHITECTURAL
COLORED
ELEVATIONS

SHEET #:

A-4.1



3
A-4.2 PROPOSED EAST COLORED ELEVATION
SCALE: NOT TO SCALE



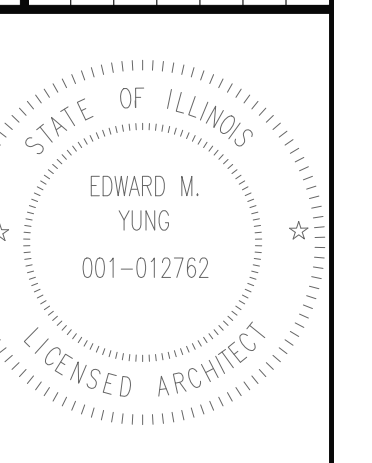
4
A-4.2 PROPOSED WEST COLORED ELEVATION
SCALE: NOT TO SCALE

YUNG Architects LTD.

ARCHITECTS/PLANNERS/INTERIORS/CONSTRUCTION MANAGERS
1100 WEST NORTHWEST HIGHWAY, MT. PROSPECT, ILLINOIS 60056
TELEPHONE: (847) 845-3352 EMAIL: YUNGARCH@COMCAST.NET

THIRD FLOOR ADDITION &
COMPLETE REHABILITATION
OF EXISTING MIXED-USED
5110 WEST BROWN STREET
SKOKIE, ILLINOIS 60077

DATE	REVISIONS	NUMBER
07/20/2023	REVISED PLANS 1	1



DRAWN BY:
L.S.C

DATE ISSUED:
XX-XX-2022

PROJECT # 22XX

SHEET TITLE:
ARCHITECTURAL
COLORED
ELEVATIONS

SHEET #:
A-4-2

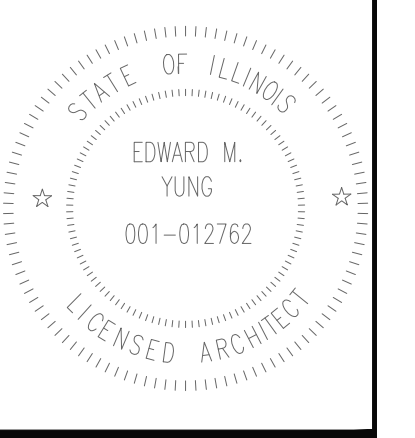


YUNG Architects LTD.

ARCHITECTS/PLANNERS/INTERIORS/CONSTRUCTION MANAGERS
 1100 WEST NORTHWEST HIGHWAY, MT. PROSPECT, ILLINOIS 60056
 TELEPHONE: (847) 845-3352 EMAIL: YUNGARCH@COMCAST.NET

THIRD FLOOR ADDITION &
 COMPLETE REHABILITATION
 OF EXISTING MIXED-USED
 5110 WEST BROWN STREET
 SKOKIE, ILLINOIS 60077

DATE	REVISIONS	NUMBER
07/20/2023	REVISED PLANS 1	1



DRAWN BY:
L.S.C

DATE ISSUED:
XX-XX-2022

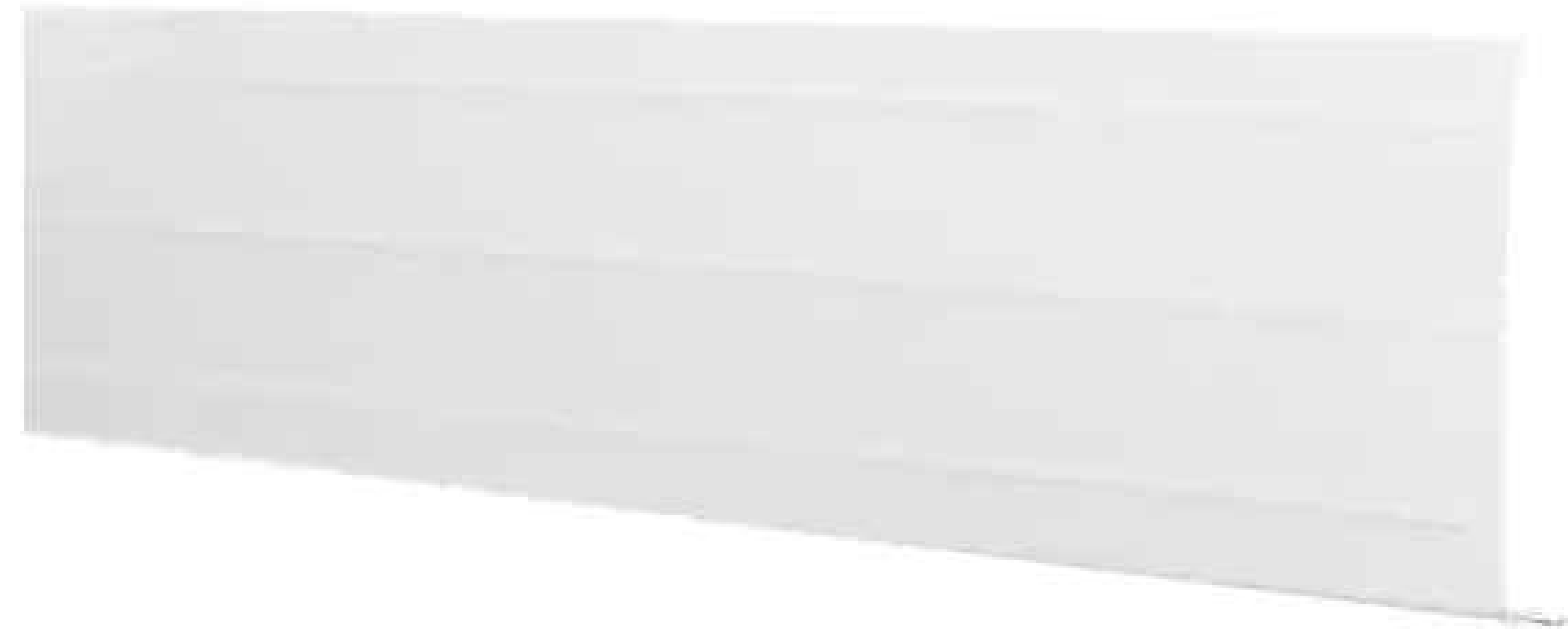
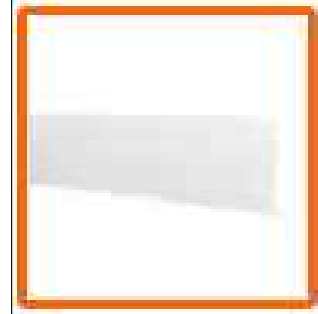
PROJECT # 22XX

SHEET TITLE:
PHOTOGRAPHS OF
EXISTING BUILDINGS

SHEET #:
A-5

Gibraltar Building Products
6 in. x 12 ft. Aluminum Fascia Trim with Smooth Finish in Birch White

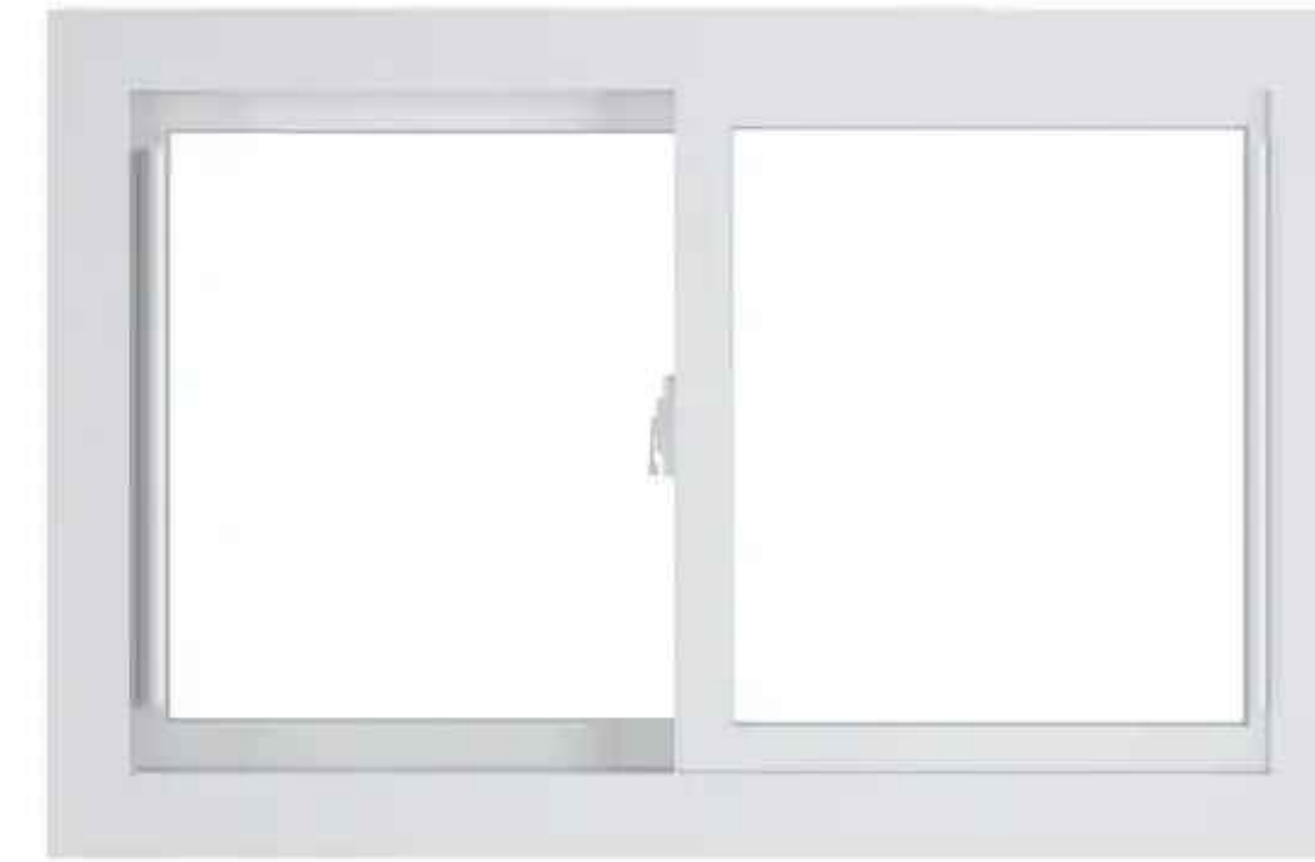
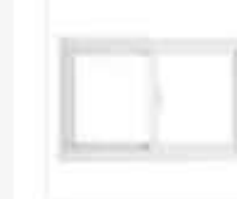
★★★★★ (61) Questions & Answers (13)



1
 ALUMINUM SIDING
 SCALE: NOT TO SCALE
 A-6

American Craftsman
35.75 in. x 23.25 in. 70 Series Low-E Argon Glass Sliding White Vinyl Replacement Window, Screen Incl

★★★★★ (371) Questions & Answers (233)

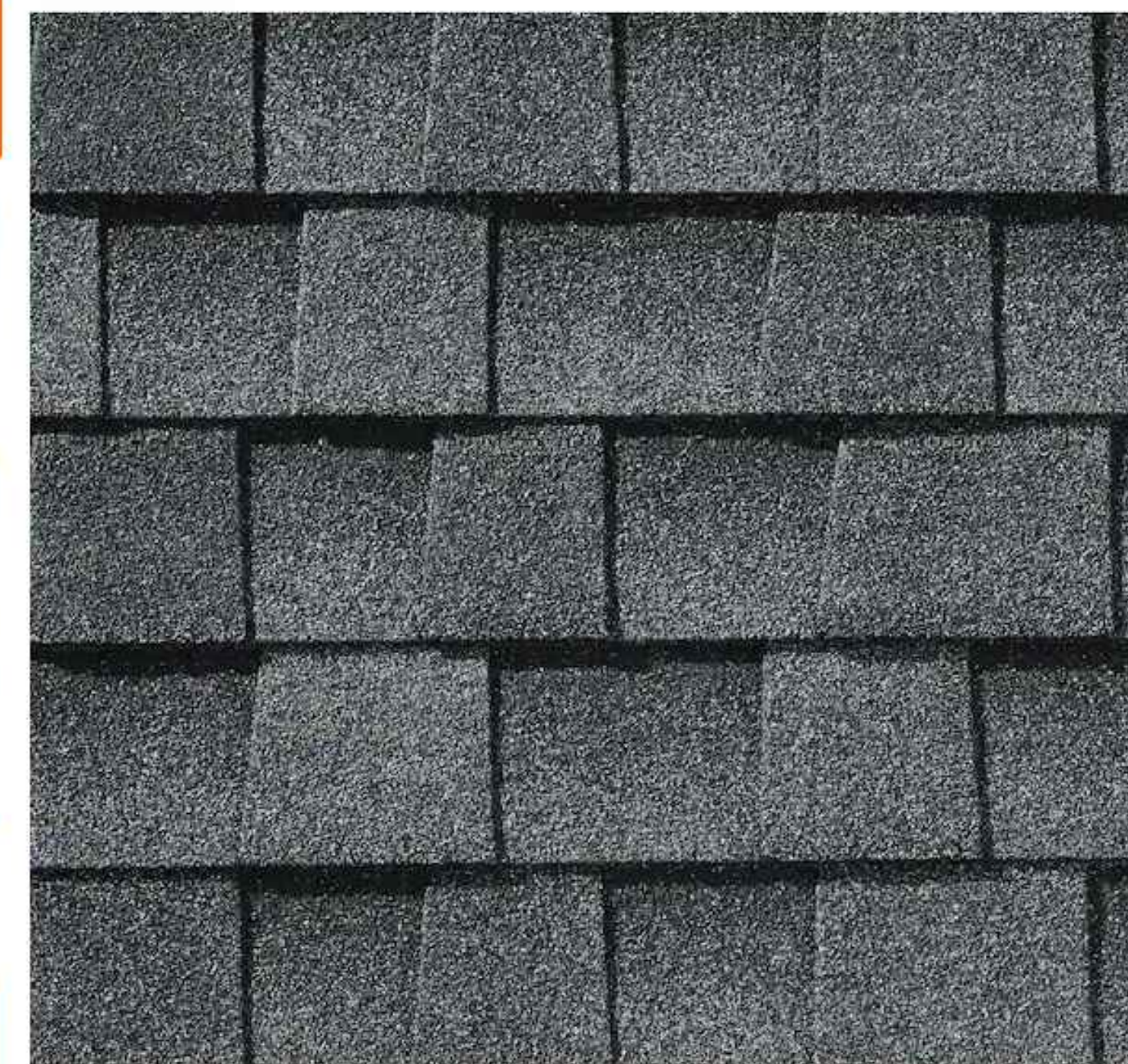
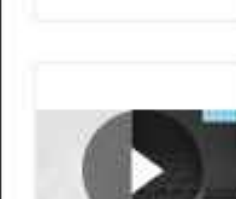
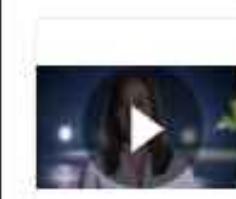


Hover Image to Zoom

2
 AMERICAN CRAFTSMAN WINDOW
 SCALE: NOT TO SCALE
 A-6

GAF
Timberline Natural Shadow Pewter Gray Algae Resistant Architectural Shingles (33.3 sq. ft. per Bundle) (21-Pieces)

★★★★★ (330) Questions & Answers (32)



Hover Image to Zoom

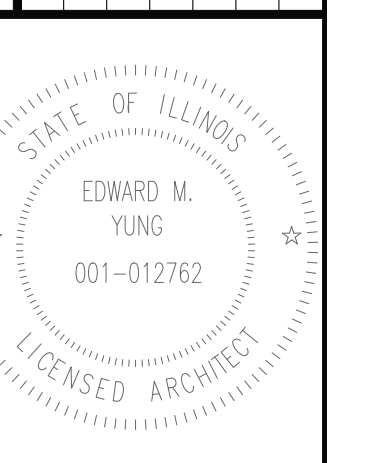
3
 PEWTER GRAY ARCHITECTURAL SHINGLES
 SCALE: NOT TO SCALE
 A-6

YUNG Architects LTD.

ARCHITECTS/PLANNERS/INTERIORS/CONSTRUCTION MANAGERS
 1100 WEST NORTHWEST HIGHWAY, MT. PROSPECT, ILLINOIS 60056
 TELEPHONE: (847) 845-3352 EMAIL: YUNGARCH@COMCAST.NET

THIRD FLOOR ADDITION &
 COMPLETE REHABILITATION
 OF EXISTING MIXED-USED
 5110 WEST BROWN STREET
 SKOKIE, ILLINOIS 60077

DATE	REVISIONS	NUMBER
07/20/2023	REVISED PLANS 1	1



DRAWN BY:
 L.S.C
 DATE ISSUED:
 XX-XX-2022
 PROJECT # 22XX

SHEET TITLE:
 MATERIAL SHEET

SHEET #:
A-6



Village of Skokie APPEARANCE COMMISSION APPLICATION

Community Development Department - Building & Zoning Division
5127 Oakton St. Skokie, IL 60077
Phone 847/933-8223 Fax 847/933-8230

The Appearance Commission meets the 2nd Wednesday of each month at 7:30 p.m.

Until further notice, applications will only be accepted in a PDF format.

APPLICATION DATE: 10-3-23

APPLICATION TYPE (Please check all that apply):

New Construction 1st Floor Addition 2nd Floor Addition Façade Signage Other

LAND USE:

Single Family Residential Multifamily Residential Mixed Use Commercial Industrial Other

SUBJECT ADDRESS: 4043 - Main St. Skokie, IL 60077

OWNER INFORMATION:

Please print legibly.

NAME(S): TSANT LLC (SAMRINA HASEEB)

ADDRESS: 503 Cardinal Dr. CITY, STATE ZIP: Mount Vernon, IL 62864

PHONE#: 618-406-1131 EMAIL: cdhaseeb@msn.com

AGENT/PETITIONER INFORMATION (if other than owner):

NAME(S): Mohammed Haseeb DAYTIME PHONE #: 618-406-1131

ADDRESS: 503 Cardinal Dr. CITY, STATE ZIP: Mt. Vernon, IL 62864

EMAIL: cdhaseeb@msn.com SIGNATURE: [Signature]

Please submit the following PDFs to appearance@skokie.org to complete your digital-only application:

1. Elevations, floor plans, and site plans. Scale 1/4" = 1'-0" is preferred, but not required. If the file size is greater than 5MB, multiple emails are allowed. Ensure "Appearance Commission PDF" and the project's property address are in the subject line of the email. Color elevations or one color rendering is required.
2. Completed Zoning Information Worksheet (residential projects only)
3. Photographs (all sides of the subject building and the fronts of neighboring buildings)
4. Excerpts of brochures and/or cut sheets of new materials and colors proposed for the project. Matching existing materials and colors can be confirmed with the submitted photographs.
5. Plat of Survey

*** The Building, Zoning, will not take in or hold material or color samples.

*** Visit <https://www.skokie.org/357/Appearance-Commission> to access the staff report prior to the meeting.

Fee Schedule

Residential Site (new) ... \$100 plus \$50.00 per unit
Non-Residential Site* (new) ... \$100 plus \$50.00 per 1,000 square feet (based on square footage of building)

* Any non-residentially zoned site (Business, Industrial, Mixed-Use districts)

Any Other Appearance Review (Additions, Façade, Sign Package, etc.) ... \$50.00

If you have already paid for a preliminary plan review there is no charge.

For Office Use Only:

Case Number _____ Meeting Date _____

Acct # NR Amt \$ _____ Cash / Credit Card/ Check # _____

Any required fees or monies owed by the applicant to the Village must be paid as a condition of approval.



Lab Services
Blood Test Panels

Medical Imaging
X-RAYS, CT, MRI

Advanced Family Health Alliance
Primary Care, Pediatrics, Geriatrics

Diabetes Care
Blood Glucose Tests

1000

200

A+ SIGN

849 E. Gardenia Ln
Palatine, IL 60074
630-709-9786

Drawing dates: 9/27/2023

Drawing name: HALAL GRILL & MARKET

Company:

Address: 4043 Main St

Phone: (618) 406-1131

City: Skokie

State: IL 60076



36 inch

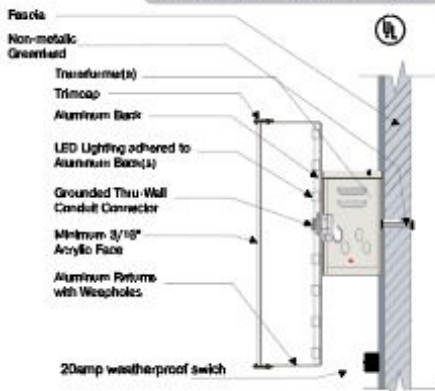
HALAL GRILL & MARKET

32 Feet



* WE USE ALL UL LISTED MATERIALS

LED INDIVIDUAL CHANNEL LETTERS



- (1 Set) 5" Deep LED Illuminated Channel Letter Sign
- Fabricate & install 1 set LED illuminated channel letter sign & Logo.
- Aluminum returns are pre-finished red.
- Logo black trim cap.
- Letter faces are Red acrylic with white vinyl applications. Logo Black.
- Letters are illuminated with red LEDs.
- Remote low voltage power supplies.
- Letters are flush mounted to 2 in raceway with appropriate anchors.
- Raceway painted to match the building.
- (1 Set) non-illuminated letters
- 1/2 thick white acrylic letters, flat cut, stud mounted to the wall.

Customer Approval | **Date**

Please review the following COLORS, LAYOUT, LOGOS, SIZES AND DESIGN IDEAS. Your signature AUTHORIZES A+Sign Source Inc. To manufacture items as shown above

Landlord Approval | **Date**



Village of Skokie APPEARANCE COMMISSION APPLICATION

Community Development Department - Building & Zoning Division
5127 Oakton St. Skokie, IL 60077
Phone 847/933-8223 Fax 847/933-8230

The Appearance Commission meets the 2nd Wednesday of each month at 7:30 p.m.

Until further notice, applications will only be accepted in a PDF format.

APPLICATION DATE: 12/29/22

APPLICATION TYPE (Please check all that apply):

New Construction 1st Floor Addition 2nd Floor Addition Façade Signage Other

LAND USE:

Single Family Residential Multifamily Residential Mixed Use Commercial Industrial Other

SUBJECT ADDRESS: 4600 Main Street, Skokie, IL

OWNER INFORMATION:

NAME(S): Arie Crown Hebrew Day School An Illinois Non-profit Corporation *Please print legibly.*

ADDRESS: 4600 Main St. CITY, STATE ZIP: Skokie, IL

PHONE#: 847-992-9191 EXT. 613 EMAIL: _____
ATTN: Sam Meadow

AGENT/PETITIONER INFORMATION (if other than owner):

NAME(S): Luz + Associates #1 LLC DAYTIME PHONE #: 312-961-0520

ADDRESS: 3030 W. Wabansia Ave CITY, STATE ZIP: Chicago, IL 60647

EMAIL: SIDELBERRY@GMAIL.COM SIGNATURE: [Signature]

Please submit the following PDFs to appearance@skokie.org to complete your digital-only application:

1. Elevations, floor plans, and site plans. Scale 1/4" = 1'-0" is preferred, but not required. If the file size is greater than 5MB, multiple emails are allowed. Ensure "Appearance Commission PDF" and the project's property address are in the subject line of the email. Color elevations or one color rendering is required.
2. Completed Zoning Information Worksheet (residential projects only)
3. Photographs (all sides of the subject building and the fronts of neighboring buildings)
4. Excerpts of brochures and/or cut sheets of new materials and colors proposed for the project. Matching existing materials and colors can be confirmed with the submitted photographs.
5. Plat of Survey

*** The Building, Zoning, will not take in or hold material or color samples.

*** Visit <https://www.skokie.org/357/Appearance-Commission> to access the staff report prior to the meeting.

Fee Schedule

Residential Site (new) ...	\$100 plus \$50.00 per unit
Non-Residential Site* (new) ...	\$100 plus \$50.00 per 1,000 square feet (based on square footage of building)

* Any non-residentially zoned site (Business, Industrial, Mixed-Use districts)

Any Other Appearance Review (Additions, Façade, Sign Package, etc.) ... \$50.00

If you have already paid for a preliminary plan review there is no charge.

For Office Use Only:

Case Number _____ Meeting Date _____

Acct # NR Amt \$ _____ Cash / Credit Card/ Check # _____

Any required fees or monies owed by the applicant to the Village must be paid as a condition of approval.



Owner/Developer:
Luz and Associates #1 LLC

Architect:
FitzGerald

4600 Main Street

Skokie, Illinois

December 28, 2022



NORTH ELEVATION

FIBER CEMENT CLADDING AND MISCELLANEOUS MASONRY
MASONRY BASE

← 35'-0"

TOWNHOMES: TYPE V CONSTRUCTION



SOUTH ELEVATION

FIBER CEMENT CLADDING AND MISCELLANEOUS MASONRY
MASONRY BASE

← 70'-0"
← 60'-0"

APARTMENT BUILDINGS: TYPE III CONSTRUCTION



EAST ELEVATION

← 70'-0"
← 60'-0"

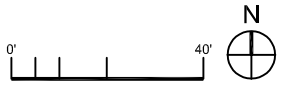
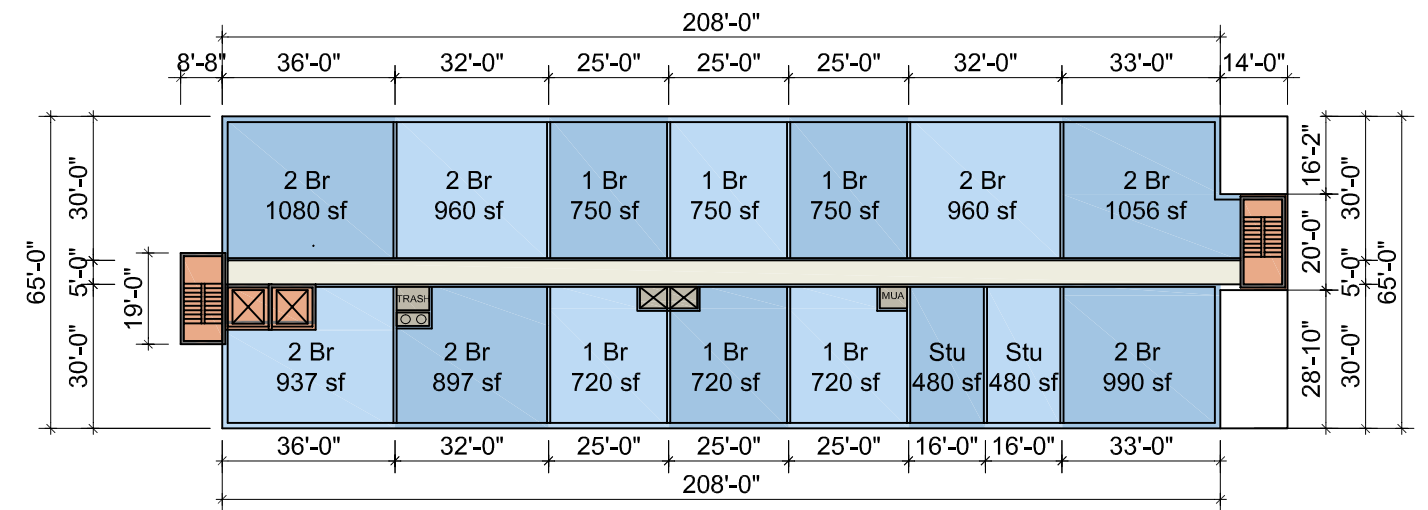
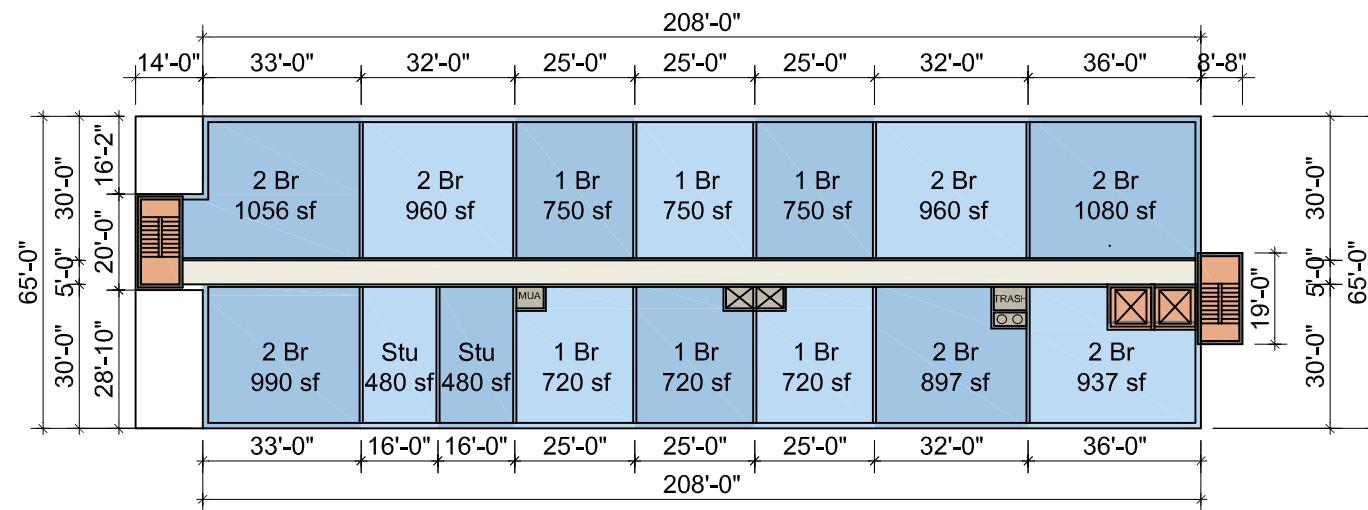
← 35'-0"



WEST ELEVATION

MASONRY BASE

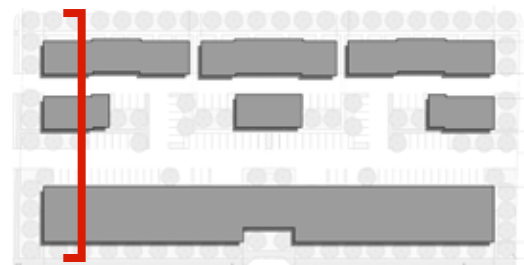
FIBER CEMENT CLADDING AND MISCELLANEOUS MASONRY



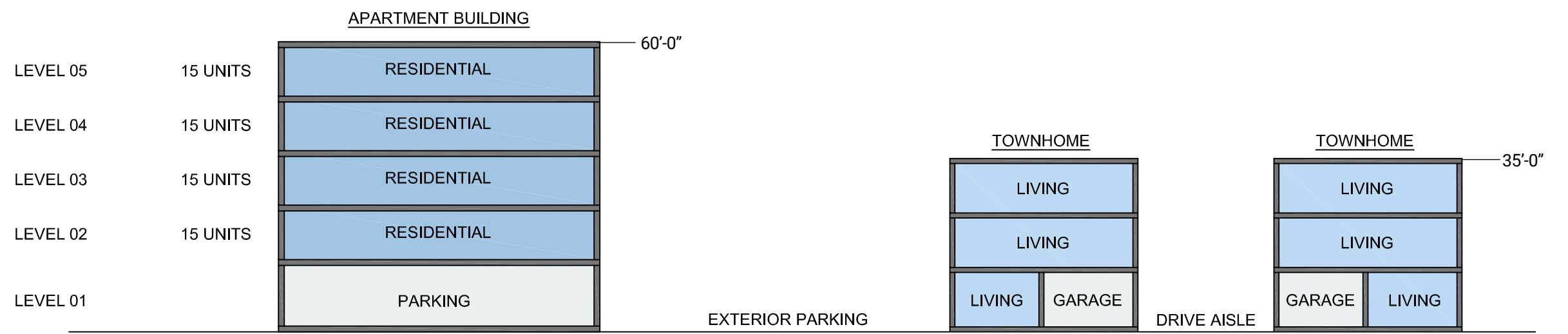
UNIT COUNT PER FLOOR:
 STUDIO: 2
 1 BED: 6
 2 BED: 7
TOTAL UNITS PER FLOOR: 15

UNIT COUNT PER BUILDING:
 STUDIO: 8
 1 BED: 24
 2 BED: 28
TOTAL UNITS PER BUILDING: 60

TOTAL UNIT COUNT FOR BOTH BUILDINGS: 120

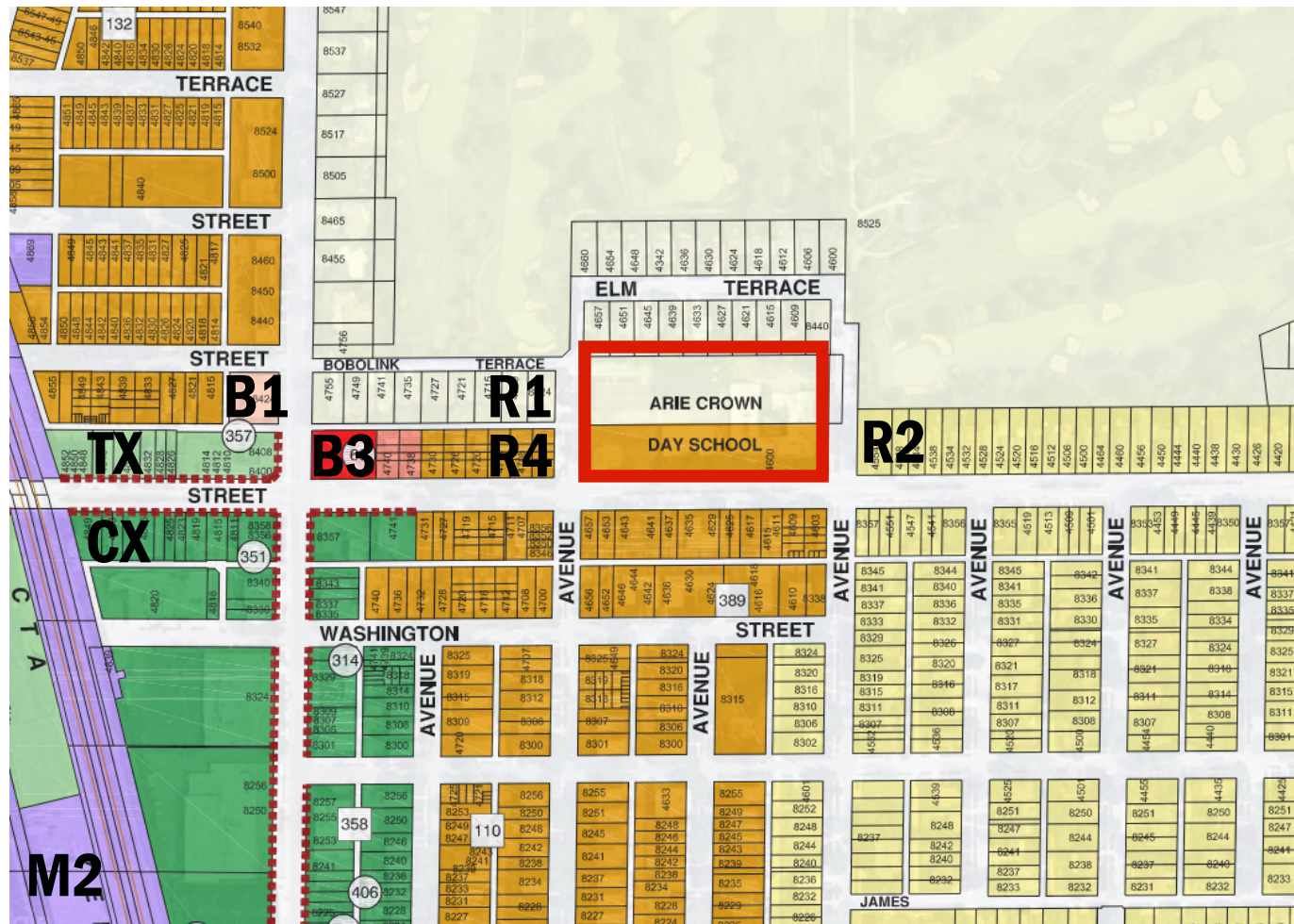


UPPER RESIDENTIAL FLOOR PLAN



NORTH-SOUTH SITE SECTION DIAGRAM





ZONING MAP

- RESIDENTIAL DISTRICTS**
- R1 Single-Family
 - R2 Single-Family
 - R4 Multifamily Housing
- MIXED-USE DISTRICTS**
- TX Transit Mixed-Use
 - CX Core Mixed-Use
- BUSINESS DISTRICTS**
- B1 Service Commercial
 - B3 Business
- INDUSTRIAL DISTRICTS**
- M2 Light Industry
- Special Use Permit (123)
- Site Plan Approval/Planned Development (123)

- MAP LEGEND**
- EXISTING BICYCLE ROUTE
 - IDOT ROAD
 - PACE BUS STOP

PROJECT SITE



LOCATION MAP



A NW corner of Site from Kilpatrick Ave



B Looking from SW corner of site down Main St and Kilpatrick Ave



C Looking from SW corner of site down Kilpatrick St and Main St





D SW corner of Site from Kilpatrick Ave



E Looking East down Main St



F Looking from SE corner of site down Main St and Kenton Ave

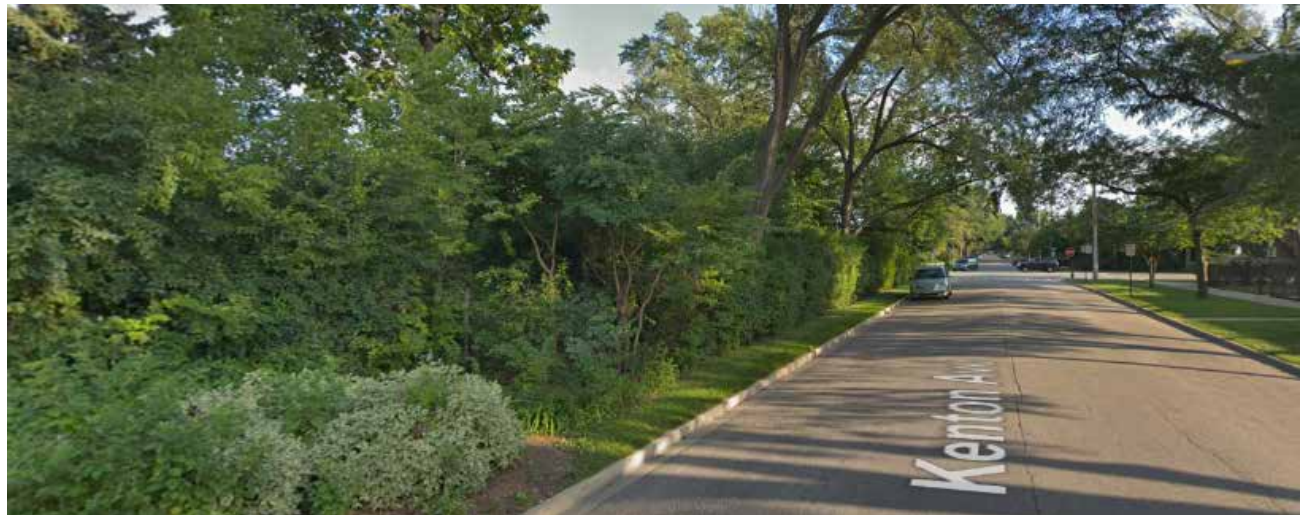




G Looking at SE corner of Site down Main St and Kenton Ave



H Looking from SE corner of site down Kenton Ave and Main St



I From NE corner of site looking South down Kenton Ave



(physical materials to be provided at hearing)



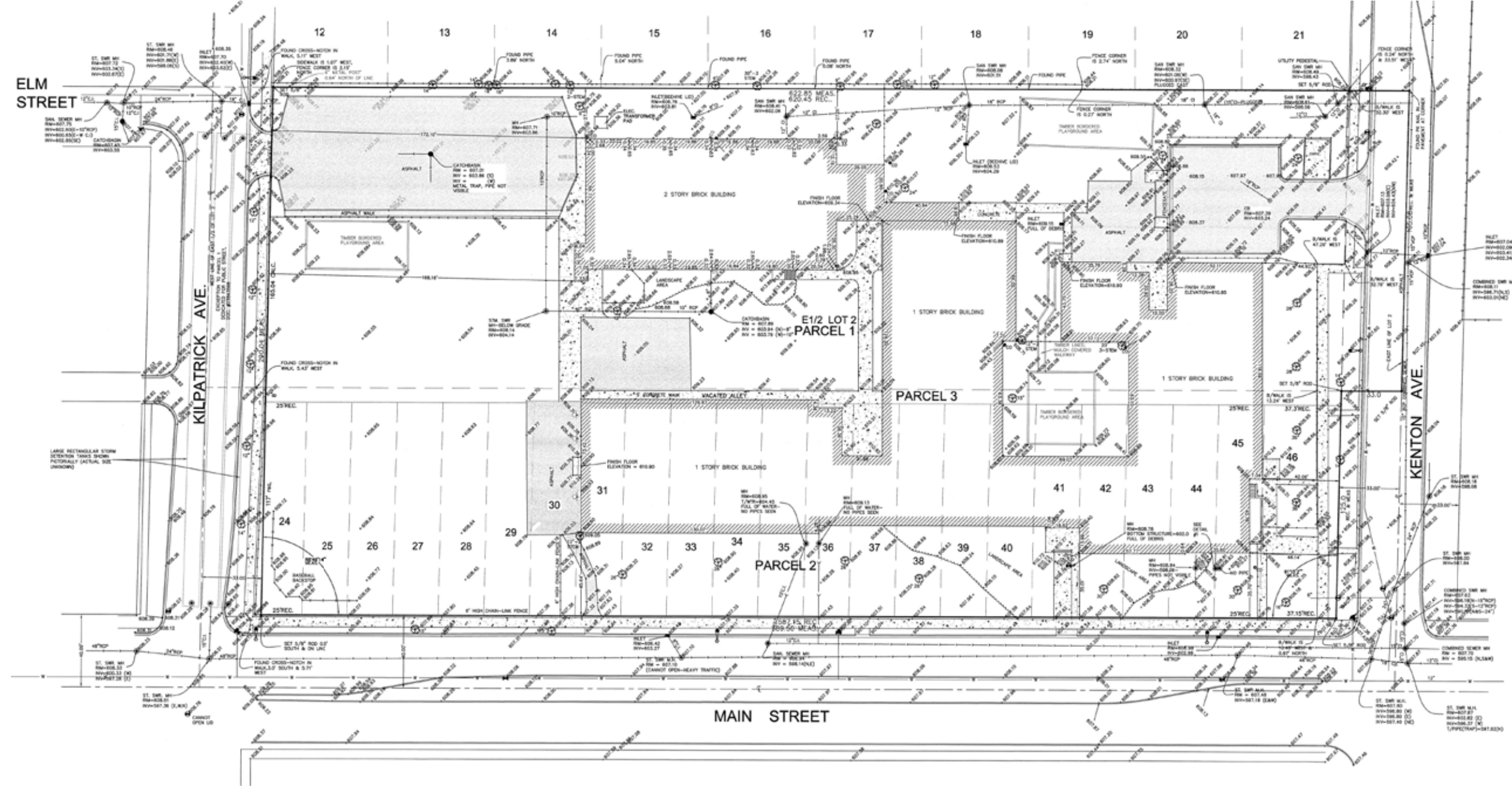
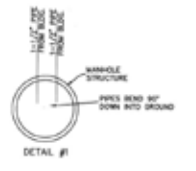
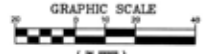
PLAT OF SURVEY
 of

PARCEL 1
 THE EAST 1/2 OF LOT 2 (EXCEPT THAT PART DESIGNATED FOR KILPATRICK AVENUE PER DOCUMENT 2042888) IN THE SUBDIVISION OF THE WEST 1/2 OF THE NORTHWEST 1/4 OF SECTION 22, TOWNSHIP 43 NORTH, RANGE 13 EAST OF THE THIRD PRINCIPAL MERIDIAN, COOK COUNTY, ILLINOIS, AS DOCUMENT 2042888, IN COOK COUNTY, ILLINOIS.

PARCEL 2
 LOTS 24 THROUGH 48 IN PLAT 2 AND SURETY'S SUBDIVISION OF LOT 1 OF THE SUBDIVISION OF THE WEST 1/2 OF THE NORTHWEST 1/4 OF SECTION 22, TOWNSHIP 43 NORTH, RANGE 13 EAST OF THE THIRD PRINCIPAL MERIDIAN, RECORDED JANUARY 27, 1924 AS DOCUMENT 574284, IN COOK COUNTY, ILLINOIS.

PARCEL 3
 ALL OF THE VACATED 8 FOOT ALLEY LYING NORTH OF AND ADJOINING PARCELS 2 AND LYING SOUTH OF AND ADJOINING PARCEL 1, HEREIN MORE FULLY DESCRIBED.

PROFESSIONAL ENGINEERS-SURVEYORS
 (706) 799-1350



- ⊙ AT&T MH
- ⊙ COMPOST
- ⊙ EXHAUST HOP AND BACKSTOP
- ⊙ CLEAN OUT
- ⊙ TREE & TRUNK DIAMETER
- ⊙ STREET LIGHT
- ⊙ UTILITY POLE
- ⊙ HYDRANT
- ⊙ VALVE INLET
- ⊙ VALVE

WATERWAYS SHOWN IS PER VILLAGE ATLAS INFORMATION.
 SEWER ROUTING AND CONNECTIONS AS SHOWN ARE THE RESULT OF GENERAL USABLE FIELD SURVEYS & CORROBORATED WITH VILLAGE ATLAS INFORMATION.

PERMETER MONUMENTS SET NOVEMBER 18, 2008

MONUMENT: VILLAGE OF SKOKIE CONTROL MONUMENT
 1" BRASS DISK IN CONCRETE SIDEWALK AT
 SOUTHEAST CORNER OF MAIN STREET AND SKOKIE
 BLVD.
 ELEVATION = 608.04 NAVD83

COMPARE ALL POINTS BEFORE BUILDING AND REPORT ANY DIFFERENCE AT ONCE.
 REFER TO 2008 SURVEYING PRACTICE ACT, 2008 ILL. CS. 150/1-1.10.

STATE OF ILLINOIS
 COUNTY OF COOK

I, DAVID H. STREET, AN ILLINOIS PROFESSIONAL LAND SURVEYOR, CERTIFY THAT THIS SURVEY WAS MADE ON THE SPONSOR'S DATA AND THAT THIS PLAT REPRESENTS THE FACTS FOUND AT THE TIME OF THE SURVEY AND THAT THIS PROFESSIONAL SURVEYOR ASSOCIATION STANDARDS.

DAVID H. STREET
 ILLINOIS PROFESSIONAL LAND SURVEYOR NO. 382
 LICENSE EXPIRATION DATE 11/30/2008

DAVID H. STREET
 2007

AMSTERDAM ARCHITECTS
 ORDERED BY: _____
 BOOK NO.: _____ PAGE: _____
 SET: _____ BLOCK: _____
 PROJECT NO.: 08155



KILPATRICK AVENUE

KENTON AVENUE

THE SITE

MAIN STREET



ZONING MAP

RESIDENTIAL DISTRICTS

- R1 Single Family
- R2 Single Family
- R4 Multifamily Housing

MIXED-USE DISTRICTS

- TX Transit Mixed-Use
- CX Core Mixed-Use

BUSINESS DISTRICTS

- B1 Service Commercial
- B3 Business

INDUSTRIAL DISTRICTS

- M2 Light Industry
- 123 Special Use Permit
- 123 Site Plan Approval/Planned Development

MAP LEGEND

- EXISTING BICYCLE ROUTE
- IDOT ROAD
- PACE BUS STOP

PROJECT SITE



LOCATION MAP

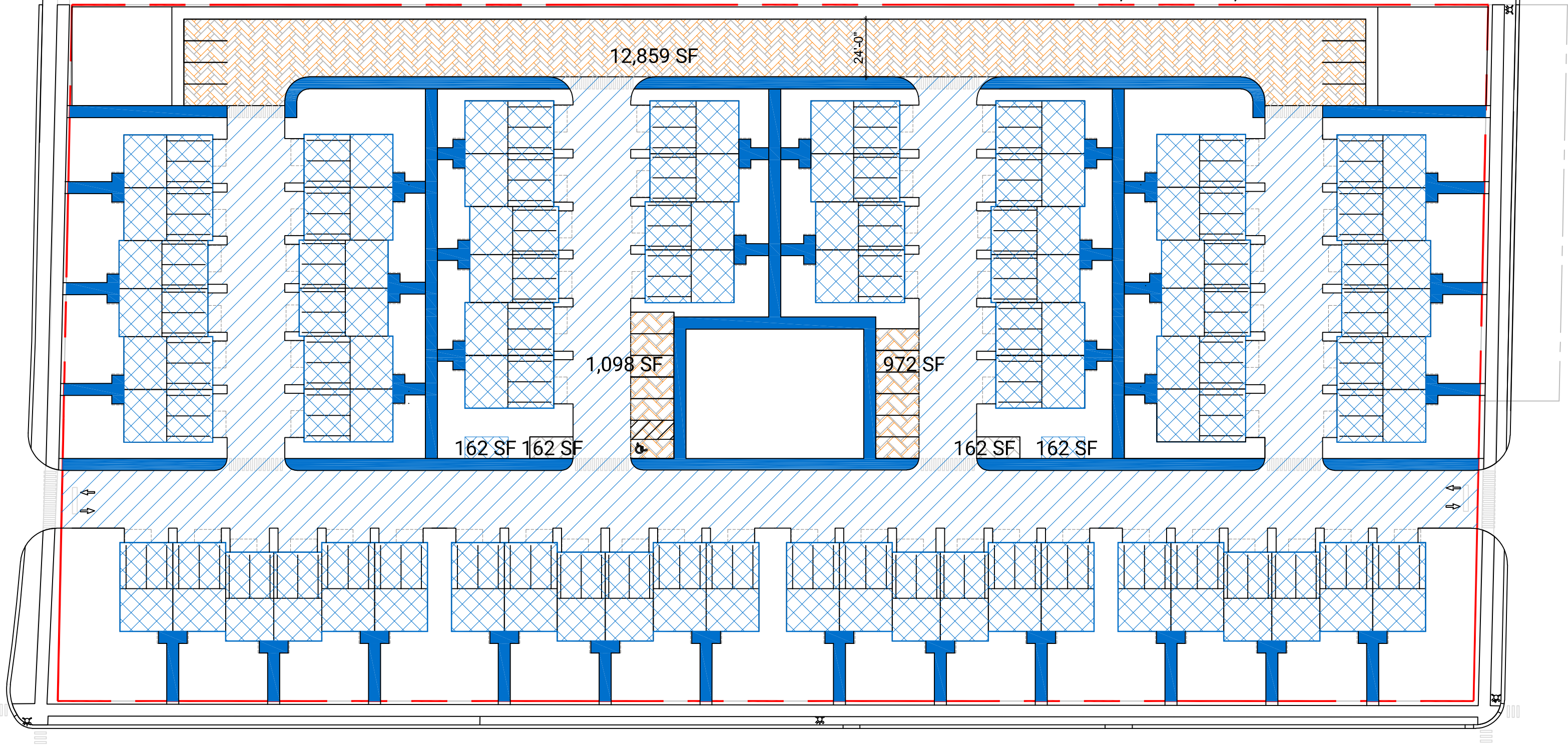
IMPERVIOUS WALKING PATH 12,445 SF
 IMPERVIOUS DRIVEWAY 38,071 SF
 BUILDING 53,900 SF

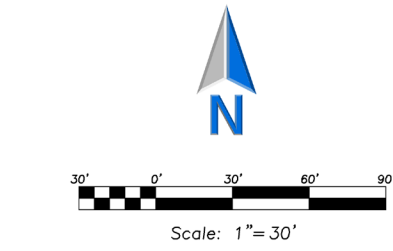
PERVIOUS DRIVEWAY 15,253 SF
 50% TOTAL = 7,627 SF

SITE AREA (PER SURVEY) = 170,928 SF

LAND COVERAGE % = 53,900 SF / 170,928 SF = 31.5%

IMPERVIOUS AREA % = (12,445 + 38,071 + 53,900 + 7,627) SF / 170,928 SF
 = 112,043 SF / 170,928 SF = 65.5%





LANDSCAPE NOTES:

1. PLANT QUANTITIES SHOWN IN THE PLANT SCHEDULE ARE FOR CONVENIENCE ONLY. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING AND INSTALLING ALL MATERIALS SHOWN ON THE PLAN AND SHOULD NOT RELY ON THE PLANT SCHEDULE FOR DETERMINING QUANTITIES.
2. ALL PLANT MATERIALS SHALL BE NURSERY GROWN STOCK AND SHALL BE FREE FROM ANY DEFORMITIES, DISEASES OR INSECT DAMAGE. ANY MATERIALS WITH DAMAGED OR CROOKED/DISFIGURED LEADERS, BARK ABRASION, SUNSCALD, INSECT DAMAGE, ETC. ARE NOT ACCEPTABLE AND WILL BE REJECTED. TREES WITH MULTIPLE LEADERS WILL BE REJECTED UNLESS CALLED OUT IN THE PLANT SCHEDULE AS MULTI-STEM. NO PRUNING TO BE DONE AT THE TIME OF INSTALLATION EXCEPT FOR DEAD OR BROKEN LIMBS.
3. ALL LANDSCAPE IMPROVEMENTS SHALL MEET MUNICIPALITY REQUIREMENTS AND GUIDELINES, WHICH SHALL BE VERIFIED BY MUNICIPAL AUTHORITIES.
4. ALL PLANTING OPERATIONS SHALL BE COMPLETED IN ACCORDANCE WITH STANDARD HORTICULTURAL PRACTICES. THIS MAY INCLUDE, BUT NOT BE LIMITED TO, PROPER PLANTING BED AND TREE PIT PREPARATION, PLANTING MIX, PRUNING, STAKING AND GUYING, WRAPPING, SPRAYING, FERTILIZATION, PLANTING AND ADEQUATE MAINTENANCE OF MATERIALS DURING CONSTRUCTION ACTIVITIES.
5. ALL PLANT MATERIALS SHALL BE INSPECTED AND APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION. ANY MATERIALS INSTALLED WITHOUT APPROVAL MAY BE REJECTED.
6. THE CONTRACTOR SHALL GUARANTEE PLANT MATERIALS FOR A PERIOD OF ONE YEAR FROM DATE OF ACCEPTANCE BY OWNER. THE CONTRACTOR SHALL OUTLINE PROPER MAINTENANCE PROCEDURES TO THE OWNER AT THE TIME OF ACCEPTANCE. DURING THE GUARANTEE PERIOD, DEAD OR DISEASED MATERIALS SHALL BE REPLACED AT NO COST TO THE OWNER. AT THE END OF THE GUARANTEE PERIOD THE CONTRACTOR SHALL OBTAIN FINAL ACCEPTANCE FROM THE OWNER.
7. ANY EXISTING TREES TO BE RETAINED SHALL BE PROTECTED FROM SOIL COMPACTION AND OTHER DAMAGES THAT MAY OCCUR DURING CONSTRUCTION ACTIVITIES BY ERECTING FENCING AROUND SUCH MATERIALS AT A DISTANCE OF 8.5' FROM THE TRUNK.
8. ALL GRASS, CLUMPS, OTHER VEGETATION, DEBRIS, STONES, ETC. SHALL BE RAKED OR OTHERWISE REMOVED FROM PLANTING AND LAWN AREAS PRIOR TO INITIATION OF INSTALLATION PROCEDURES.
9. THE CONTRACTOR SHALL VERIFY THE LOCATIONS OF ALL UNDERGROUND UTILITIES PRIOR TO INITIATING PLANTING OPERATIONS. THE CONTRACTOR SHALL REPAIR/REPLACE AND UTILITY, PAVING, CURBING, ETC., WHICH IS DAMAGED DURING PLANTING OPERATIONS.
10. SIZE AND GRADING STANDARDS OF PLANT MATERIALS SHALL CONFORM TO THE LATEST EDITION OF ANSI Z60.1, AMERICAN STANDARDS FOR NURSERY STOCK, BY THE AMERICAN NURSERY & LANDSCAPE ASSOCIATION.
11. REFER TO PLAT OF SURVEY FOR LEGAL DESCRIPTION, BOUNDARY DIMENSIONS AND EXISTING CONDITIONS.
12. ALL PLANT MATERIAL ON THIS PLANTING PLAN REPRESENTS THE INTENTION AND INTENSITY OF THE PROPOSED LANDSCAPE MATERIAL. THE EXACT SPECIES AND LOCATIONS MAY VARY IN THE FIELD DO TO MODIFICATIONS IN THE SITE IMPROVEMENTS AND THE AVAILABILITY OF PLANT MATERIAL AT THE TIME OF INSTALLATION. ANY SUCH CHANGES MUST FIRST BE APPROVED BY THE CITY IN WRITING.
13. ALL PLANT MATERIAL SHALL BE PLANTED WITH A MINIMUM OF SIX INCHES OF ORGANIC SOIL AND MULCHED WITH A SHREDED BARK MATERIAL TO A MINIMUM 3" DEPTH.
14. ALL BEDS SHALL BE EDGED, HAVE WEED PREDEMERGENTS APPLIED AT THE RECOMMENDED RATE.
15. ALL PARKWAYS SHALL HAVE LAWN ESTABLISHED WITH SEED A GROUNDCOVER, UNLESS OTHERWISE NOTED.
16. ALL LAWN AREAS ON THIS PLAN SHALL BE GRADED SMOOTH AND TOPPED WITH AT LEAST 6" OF TOPSOIL. ALL LAWN AREAS TO BE ESTABLISHED USING SEED BLANKET UNLESS OTHERWISE NOTED. BLANKET TO BE 575 OR APPROVED EQUAL.
17. THIS LANDSCAPE PLAN ASSUMES THE SITE WILL BE PREPARED WITH TOP SOIL SUITABLE FOR THE ESTABLISHMENT OF THE LANDSCAPE MATERIAL. PRESENTED ON THIS PLAN. IF ADDITIONAL TOP SOIL IS REQUIRED IT IS UP TO THE LANDSCAPE CONTRACTOR ON THE PROJECT TO PROVIDE, SPREAD AND PREPARE THE SITE AS NEEDED FOR THE IMPLEMENTATION OF THIS LANDSCAPE PLAN.
18. CONTRACTORS MUST VERIFY ALL QUANTITIES AND OBTAIN ALL PROPER PERMITS AND LICENSES FROM THE PROPER AUTHORITIES.
19. ALL MATERIAL MUST MEET INDUSTRY STANDARDS AND THE LANDSCAPE ARCHITECT HAS THE RIGHT TO REFUSE ANY POOR MATERIAL OR WORKMANSHIP.
20. LANDSCAPE ARCHITECT IS NOT RESPONSIBLE FOR UNSEEN SITE CONDITIONS.
21. ALL PLANTINGS SHALL BE SPACED EQUAL DISTANT, BACK FILLED WITH AMENDED SOIL IN A HOLE TWICE THE ROOTBALL DIAMETER, WATERED, FERTILIZED, PRUNED, AND HAVE ALL TAGS AND ROPES REMOVED.
22. LAWN AND BED AREAS SHALL BE ROTOTILLED, RAKED OF CLUMPS AND DEBRIS.
23. REMOVE ALL DEAD AND DISEASED PLANT MATERIAL FROM SITE AND DISPOSE OF PROPERLY.
24. PLANTS TO BE PLANTED SO THAT ROOT FLARE IS AT THE GRADE OF THE AREA WHERE PLANTED. NO PRUNING TO BE DONE AT THE TIME OF INSTALLATION EXCEPT TO REMOVE DEAD OR BROKEN LIMBS.

** Stormwater detention to be directed to new underground storage (shown dotted), sized by civil engineer.

SITE MATERIALS SCHEDULE

Material	Quantity
EXISTING TREES TO REMAIN	18
ASPHALT	36,415 SF
PERMEABLE PAVEMENT	14,158 SF

PLANT SCHEDULE

Category	Botanical / Common Name	Cond.	Size	Qty.	
CANOPY TREES	ACE AUT ACER RUBRUM 'AUTUMN FLAME' / AUTUMN FLAME MAPLE	B & B	2.5" CAL	5	
	CEL OCC CELTIS OCCIDENTALIS / COMMON HACKBERRY	B & B	2.5" CAL	7	
	GIN PR2 GINKGO BILOBA 'PRINCETON SENTRY' / PRINCETON SENTRY GINKGO	B & B	2.5" CAL	6	
	GLE 118 GLEDITSIA TRIACANTHOS INERMIS 'SKYLINE' / THORNLESS SKYLINE HONEYLOCUST	B & B	2.5" CAL	9	
	QUE RUB QUERCUS RUBRA / RED OAK	B & B	2.5" CAL	11	
	TIL RED TILIA AMERICANA 'REDMOND' / REDMOND AMERICAN LINDEN	B & B	2.5" CAL	7	
	ULM ACC ULMUS X 'ACCOLADE' / ACCOLADE ELM	B & B	2.5" CAL	6	
	EVERGREEN TREES	PIC COL PICEA PLANGENS 'COLORADO GREEN' / BLUE SPRUCE	B & B	6" - 8" HT.	5
		FIN STR PINUS STROBUS / WHITE PINE	B & B	6" - 8" HT.	2
		UNDERSTORY TREES	AME GRA AMELANCHIER X GRANDIFLORA 'AUTUMN BRILLIANCE' / AUTUMN BRILLIANCE APPLE SERVICEBERRY	B & B	8" CLUMP
CER CAN CERES CANADENSIS / EASTERN REDBUD			B & B	2.5" CAL	9
SYR IV SYRINGA RETICULATA 'IVORY SILK' / IVORY SILK JAPANESE TREE LILAC	B & B	2.5" CAL	11		
DECIDUOUS SHRUBS	ARO ARB ARONIA ARBUTIFOLIA / RED CHOKEBERRY	B & B	30" HT.	62	
	CEA AME CEANOTHUS AMERICANUS / NEW JERSEY TEA	B & B	30" HT.	58	
	CEP OCC CEPHALANTHUS OCCIDENTALIS / BUTTONBUSH	B & B	36" HT.	30	
	CEP SUS CEPHALANTHUS OCCIDENTALIS 'SMCROSS' / SUGAR SHACK® BUTTONBUSH	B & B	24" HT.	39	
	COT ACU COTONEASTER ACUTIFOLIUS / PERING COTONEASTER	B & B	36" HT.	32	
	FOT AIR FOTENIOLLA GARDENII 'MT. AIRY' / DWARF MITCHALDER	B & B	24" HT.	52	
	HYD ANN HYDRANGEA ARBORESCENS 'ANNABELLE' / ANNABELLE SMOOTH HYDRANGEA	B & B	36" HT.	28	
	KER GOL KERRIA JAPONICA 'GOLDEN GUINEA' / GOLDEN JAPANESE KERRIA	B & B	24" HT.	26	
	ROSA F.L.3 ROSA X 'FLOWER CARPET CORAL' / ROSE	CONT.	24" SPREAD	80	
	SPI SPI SPIRAEA JAPONICA 'LITTLE PRINCESS' / LITTLE PRINCESS JAPANESE SPIREA	B & B	24" HT.	60	
	SYR MEY SYRINGA MEYERI 'PALBEN' / DWARF KOREAN LILAC	B & B	30" HT.	22	
	SYR BLZ SYRINGA X 'BLOOMERANG' / BLOOMERANG LILAC	B & B	30" HT.	32	
	VIB MUF VIBURNUM DENTATUM 'BLUE MUFFIN' / SOUTHERN ARROWWOOD	B & B	30" HT.	30	
	VIB LUS VIBURNUM DENTATUM 'CHICAGO LUSTER' / CHICAGO LUSTER ARROWWOOD	B & B	36" HT.	41	
	EVERGREEN SHRUBS	JUN COM JUNIPERUS CHINENSIS 'PRITZERIANA COMPACTA' / COMPACTA PFTZER	B & B	24" HT.	4
		JUN TOR JUNIPERUS CHINENSIS 'SEA GREEN' / SEA GREEN JUNIPER	B & B	24" SPREAD	91
TAX DE4 TAXUS X MEDIA / DENSE YEW		B & B	30" HT.	118	
THU BR2 THUJA OCCIDENTALIS 'BRABANT' / BRABANT ARBORVITAE		B & B	6" HT.	18	
THU WOO THUJA OCCIDENTALIS 'WOODWARD' / WOODWARD ARBORVITAE	B & B	36" HT.	15		
GRASSES	CAL KAR CALAMAGROSTIS X ACUTIFLORA 'KARL FOERSTER' / FEATHER REED GRASS	CONT.	#1	66	
	PAN NOR PANICUM VIRGATUM 'NORTH WIND' / NORTHWIND SWITCH GRASS	CONT.	#1	35	
	SPO HET SPOROBOLUS HETEROLEPIS / PRAIRIE DROPSEED	CONT.	#1	67	
TURF GRASS	TUR SOD TURF SOD / DROUGHT TOLERANT FESCUE BLEND	CONT.	S.F.	46,298 SF	



VIEW ALONG MAIN STREET DIRECTLY OPPOSITE TO THE PROJECT SITE



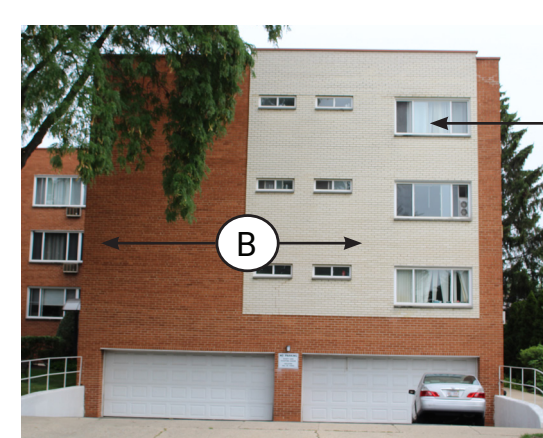
HOUSES ALONG ELM TERRACE



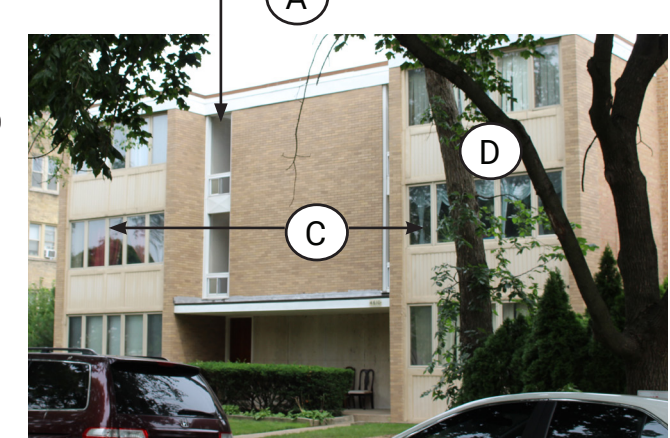
HOUSE AT THE CORNER OF KILPATRICK AND BOBOLINK TERRACE



BUILDING ALONG WASHINGTON ST.



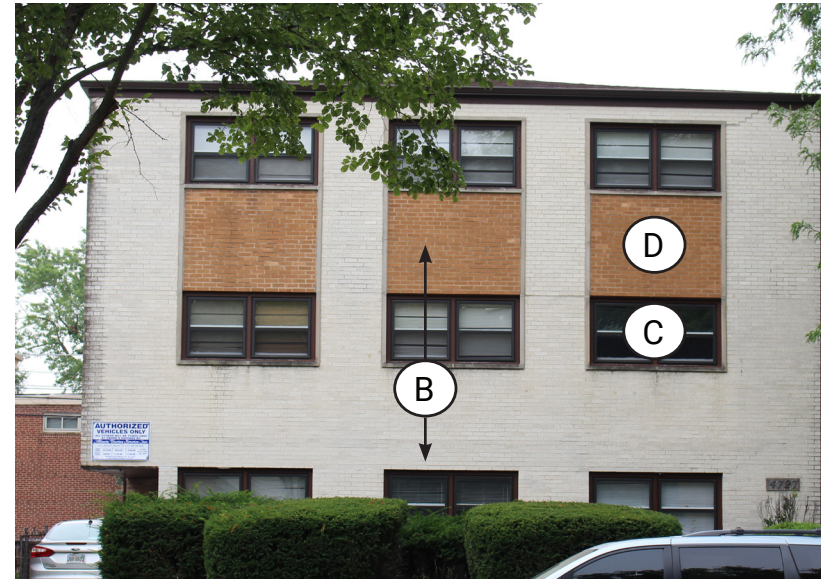
BUILDING ALONG WASHINGTON ST.



BUILDING ALONG WASHINGTON ST.



BUILDING ALONG MAIN STREET (4700 BLOCK)



BUILDING ALONG MAIN STREET (4700 BLOCK)



BUILDING ALONG MAIN STREET (4700 BLOCK)

(A) DIVIDING FACADE VERTICALLY BY CHANGE OF MATERIAL

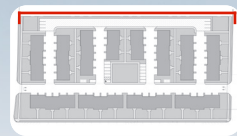
(C) LARGE WINDOWS

(B) BRICK / MASONRY FACADE WITH SIDING OR FACADE MATERIAL WITH CONTRAST COLOR

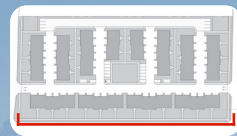
(D) WINDOW GROUPING VERTICALLY WITH A CHANGE OF MATERIAL AT SPANDREL



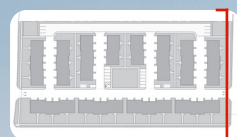
Approximate heights from Google Earth



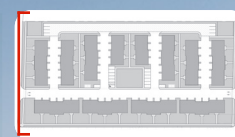
NORTH ELEVATION



SOUTH ELEVATION



EAST ELEVATION



WEST ELEVATION



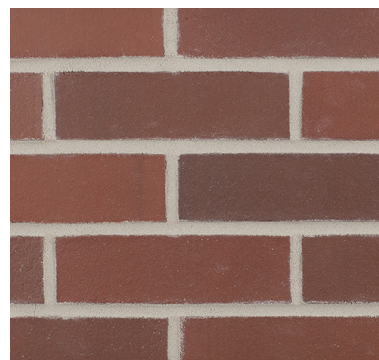
TOWN HOMES: TYPE V CONSTRUCTION

Luz and Associates #1 LLC

Scheme 1 - Building Elevations



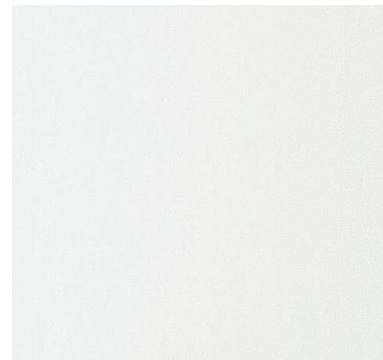
① **Face Brick**



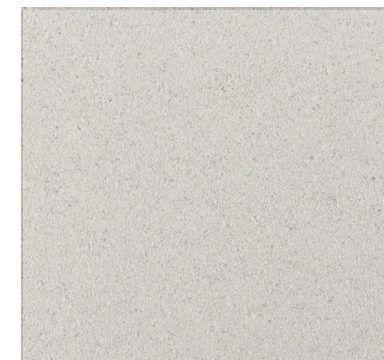
② **Face Brick**



③ **Stone**



④ **Fiber Cement Panel**



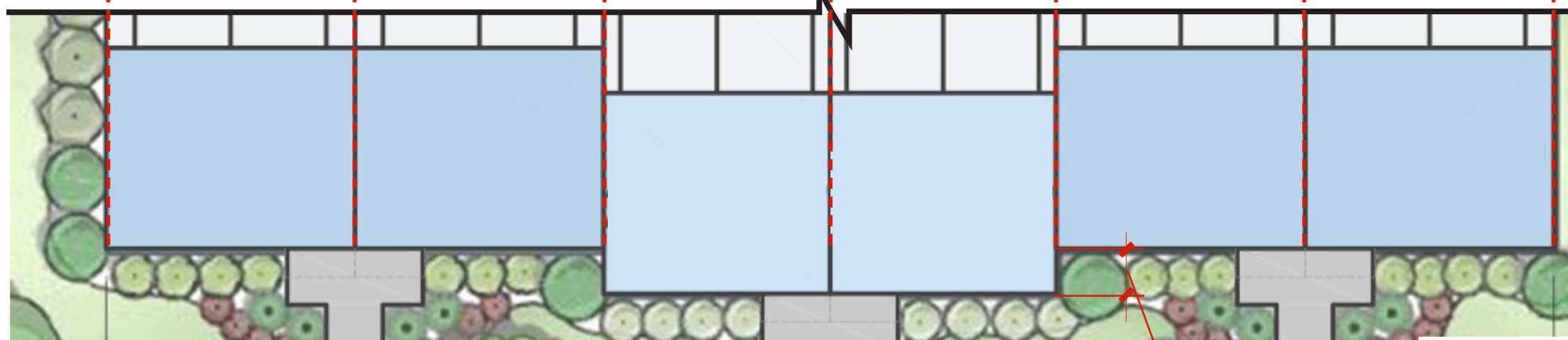
⑤ **Cast stone Band**



⑥ **Metal Coping**



Typical Elevation of Townhomes



Enlarged partial plan of Townhomes

2 UNITS AT BOTH ENDS SETBACK FURTHER TO BREAK UP THE MASSING



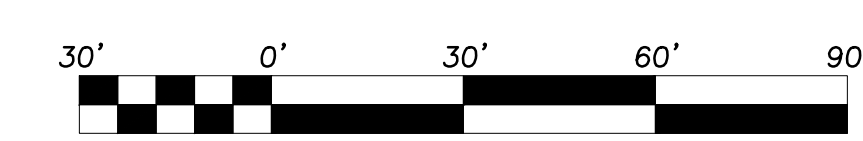




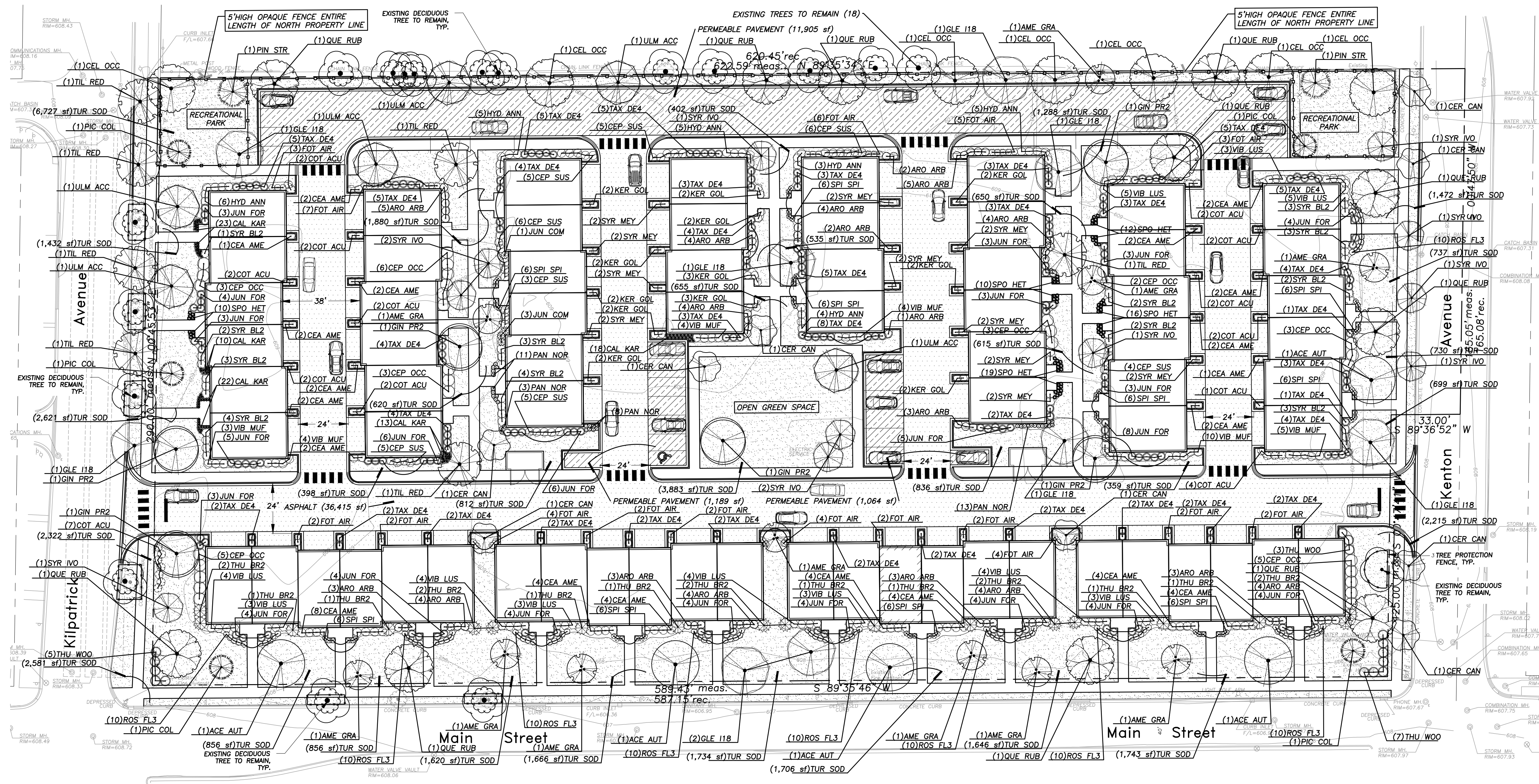
ERIKSSON
ENGINEERING
ASSOCIATES, LTD.

145 COMMERCE DRIVE, SUITE A
GRAYSLAKE, ILLINOIS 60030
PHONE (847) 223-4804
FAX (847) 223-4864
EMAIL INFO@EEA-LTD.COM
PROFESSIONAL DESIGN FIRM
LICENSE NO. 184-003220
EXPIRES: 04/30/2023

4600 MAIN STREET
4600 MAIN STREET
SKOKIE, ILLINOIS



Scale: 1" = 30'



LANDSCAPE NOTES:

- PLANT QUANTITIES SHOWN IN THE PLANT SCHEDULE ARE FOR CONVENIENCE ONLY. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING AND INSTALLING ALL MATERIALS SHOWN ON THE PLAN AND SHOULD NOT RELY ON THE PLANT SCHEDULE FOR DETERMINING QUANTITIES.
- ALL PLANT MATERIALS SHALL BE NURSERY GROWN STOCK AND SHALL BE FREE FROM ANY DEFORMITIES, DISEASES OR INSECT DAMAGE. ANY MATERIALS WITH DAMAGED OR CROOKED/DISFIGURED LEADERS, BARK ABRASION, SUNSCALD, INSECT DAMAGE, ETC. ARE NOT ACCEPTABLE AND WILL BE REJECTED. TREES WITH MULTIPLE LEADERS WILL BE REJECTED UNLESS CALLED OUT IN THE PLANT SCHEDULE AS MULTI-STEM. NO PRUNING TO BE DONE AT THE TIME OF INSTALLATION EXCEPT FOR DEAD OR BROKEN LIMBS.
- ALL LANDSCAPE IMPROVEMENTS SHALL MEET MUNICIPALITY REQUIREMENTS AND GUIDELINES, WHICH SHALL BE VERIFIED BY MUNICIPAL AUTHORITIES.
- ALL PLANTING OPERATIONS SHALL BE COMPLETED IN ACCORDANCE WITH STANDARD HORTICULTURAL PRACTICES. THIS MAY INCLUDE, BUT NOT BE LIMITED TO, PROPER PLANTING BED AND TREE PIT PREPARATION, PLANTING MIX, PRUNING, STAKING AND GUYING, WRAPPING, SPRAYING, FERTILIZATION, PLANTING AND ADEQUATE MAINTENANCE OF MATERIALS DURING CONSTRUCTION ACTIVITIES.
- ALL PLANT MATERIALS SHALL BE INSPECTED AND APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION. ANY MATERIALS INSTALLED WITHOUT APPROVAL MAY BE REJECTED.
- THE CONTRACTOR SHALL GUARANTEE PLANT MATERIALS FOR A PERIOD OF ONE YEAR FROM DATE OF ACCEPTANCE BY OWNER. THE CONTRACTOR SHALL GUARANTEE PROPER MAINTENANCE PROCEDURES TO THE OWNER AT THE TIME OF ACCEPTANCE. DURING THE GUARANTEE PERIOD, DEAD OR DISEASED MATERIALS SHALL BE REPLACED AT NO COST TO THE OWNER. AT THE END OF THE GUARANTEE PERIOD THE CONTRACTOR SHALL OBTAIN FINAL ACCEPTANCE FROM THE OWNER.
- ANY EXISTING TREES TO BE RETAINED SHALL BE PROTECTED FROM SOIL COMPACTION AND OTHER DAMAGES THAT MAY OCCUR DURING CONSTRUCTION ACTIVITIES BY ERECTING FENCING AROUND SUCH MATERIALS AT A DISTANCE OF 8.5' FROM THE TRUNK.
- ALL GRASS, CLUMPS, OTHER VEGETATION, DEBRIS, STONES, ETC. SHALL BE RAKED OR OTHERWISE REMOVED FROM PLANTING AND LAWN AREAS PRIOR TO INITIATION OF INSTALLATION PROCEDURES.
- THE CONTRACTOR SHALL VERIFY THE LOCATIONS OF ALL UNDERGROUND UTILITIES PRIOR TO INITIATING PLANTING OPERATIONS. THE CONTRACTOR SHALL REPAIR/REPLACE AND UTILITY, PAVING, CURBING, ETC. WHICH IS DAMAGED DURING PLANTING OPERATIONS.
- ALL PLANT MATERIAL SHALL BE PLANTED WITH A MINIMUM OF SIX INCHES OF ORGANIC SOIL AND MULCHED WITH A SHREDDED BARK MATERIAL TO A MINIMUM 3" DEPTH.
- REFER TO PLAT OF SURVEY FOR LEGAL DESCRIPTION, BOUNDARY DIMENSIONS AND EXISTING CONDITIONS.
- ALL PLANT MATERIAL ON THIS PLANTING PLAN REPRESENTS THE INTENTION AND INTENSITY OF THE PROPOSED LANDSCAPE MATERIAL. THE EXACT SPECIES AND LOCATIONS MAY VARY IN THE FIELD DUE TO MODIFICATIONS IN THE SITE IMPROVEMENTS AND THE AVAILABILITY OF PLANT MATERIAL AT THE TIME OF INSTALLATION. ANY SUCH CHANGES MUST FIRST BE APPROVED BY THE CITY IN WRITING.
- ALL PLANT MATERIAL SHALL BE PLANTED WITH A MINIMUM OF SIX INCHES OF ORGANIC SOIL AND MULCHED WITH A SHREDDED BARK MATERIAL TO A MINIMUM 3" DEPTH.
- ALL BEDS SHALL BE EDGED, HAVE WEED PREMERGENTS APPLIED AT THE RECOMMENDED RATE.
- ALL PARKWAYS SHALL HAVE LAWN ESTABLISHED WITH SEED A GROUNDCOVER, UNLESS OTHERWISE NOTED.
- ALL LAWN AREAS ON THIS PLAN SHALL BE GRADED SMOOTH AND TOPPED WITH AT LEAST 6" OF TOPSOIL. ALL LAWN AREAS TO BE ESTABLISHED USING SEED BLANKET UNLESS OTHERWISE NOTED. BLANKET TO BE 575 OR APPROVED EQUAL.
- THIS LANDSCAPE PLAN ASSUMES THE SITE WILL BE PREPARED WITH TOP SOIL SUITABLE FOR THE ESTABLISHMENT OF THE LANDSCAPE MATERIAL PRESENTED ON THIS PLAN. IF ADDITIONAL TOP SOIL IS REQUIRED IT IS UP TO THE LANDSCAPE CONTRACTOR ON THE PROJECT TO PROVIDE, SPREAD AND PREPARE THE SITE AS NEEDED FOR THE IMPLEMENTATION OF THIS LANDSCAPE PLAN.
- CONTRACTORS MUST VERIFY ALL QUANTITIES AND OBTAIN ALL PROPER PERMITS AND LICENSES FROM THE PROPER AUTHORITIES.
- ALL MATERIAL MUST MEET INDUSTRY STANDARDS AND THE LANDSCAPE ARCHITECT HAS THE RIGHT TO REFUSE ANY POOR MATERIAL OR WORKMANSHIP.
- LANDSCAPE ARCHITECT IS NOT RESPONSIBLE FOR UNSEEN SITE CONDITIONS.
- ALL PLANTINGS SHALL BE SPACED EQUAL DISTANT, BACK FILLED WITH AMENDED SOIL IN A HOLE TWICE THE ROOTBALL DIAMETER, WATERED, FERTILIZED, PRUNED, AND HAVE ALL TAGS AND ROPES REMOVED.
- LAWN AND BED AREAS SHALL BE ROTOTILLED, RAKED OF CLUMPS AND DEBRIS.
- REMOVE ALL DEAD AND DISEASED PLANT MATERIAL FROM SITE AND DISPOSE OF PROPERLY.
- PLANTS TO BE PLANTED SO THAT ROOT FLARE IS AT THE GRADE OF THE AREA WHERE PLANTED. NO PRUNING TO BE DONE AT THE TIME OF INSTALLATION EXCEPT TO REMOVE DEAD OR BROKEN LIMBS.

SITE MATERIALS SCHEDULE

	EXISTING TREES TO REMAIN	18
	ASPHALT	36,415 SF
	PERMEABLE PAVEMENT	14,158 SF

PLANT SCHEDULE

CANOPY TREES	BOTANICAL / COMMON NAME	COND	SIZE	QTY
ACE AUT	ACER RUBRUM 'AUTUMN FLAME' / AUTUMN FLAME MAPLE	B & B	2.5" CAL.	5
CEL OCC	CELASTRIS OCCIDENTALIS / COMMON HACKBERRY	B & B	2.5" CAL.	7
GIN PR2	GINKGO BILOBA 'PRINCETON SENTRY' / PRINCETON SENTRY GINKGO	B & B	2.5" CAL.	6
GLE I18	GLEADITIA TRICANTHOS INERMIS 'SKYLINE' / THORNLESS SKYLINE HONEYLOCUST	B & B	2.5" CAL.	9
QUE RUB	QUERCUS RUBRA / RED OAK	B & B	2.5" CAL.	11
TIL RED	TILIA AMERICANA 'REDMOND' / REDMOND AMERICAN LINDEN	B & B	2.5" CAL.	7
ULM ACC	ULMUS X 'ACCOLADE' / ACCOLADE ELM	B & B	2.5" CAL.	6
EVERGREEN TREES	BOTANICAL / COMMON NAME	COND	SIZE	QTY
PIC COL	PICEA PUNGENS 'COLORADO GREEN' / BLUE SPRUCE	B & B	6" - 8" HT.	5
PIN STR	PINUS STROBUS / WHITE PINE	B & B	6" - 8" HT.	2
UNDERSTORY TREES	BOTANICAL / COMMON NAME	COND	SIZE	QTY
AME GRA	AMELANCHIER X GRANDIFLORA 'AUTUMN BRILLIANCE' / AUTUMN BRILLIANCE APPLE SERVICEBERRY	B & B	8" CLUMP	11
CER CAN	CERCIS CANADENSIS / EASTERN REDBUD	B & B	2.5" CAL.	9
SYR IVO	SYRINGA RETICULATA 'IVORY SILK' / IVORY SILK JAPANESE TREE LILAC	B & B	2.5" CAL.	11
DECIDUOUS SHRUBS	BOTANICAL / COMMON NAME	COND	SIZE	QTY
ARO ARB	ARONIA ARBUTIFOLIA / RED CHOKEBERRY	B & B	30" HT.	62
CEA AME	CEANOTHUS AMERICANUS / NEW JERSEY TEA	B & B	30" HT.	58
CEP OCC	CEPHALANTHUS OCCIDENTALIS / BUTTONBUSH	B & B	36" HT.	39
CEP SUS	CEPHALANTHUS OCCIDENTALIS 'SMOSS' / SUGAR SHACK® BUTTONBUSH	B & B	24" HT.	30
COT ACU	COTONEASTER ACUTIFOLIUS / PEKING COTONEASTER	B & B	36" HT.	32
FOT AIR	FOTHERGILLA GARDENII 'MT. AIRY' / DWARF WITCHALDER	B & B	24" HT.	52
HYD ANN	HYDRANGEA ARBORESCENS 'ANNABELLE' / ANNABELLE SMOOTH HYDRANGEA	B & B	36" HT.	28
KER GOL	KERRIA JAPONICA 'GOLDEN GUINEA' / GOLDEN JAPANESE KERRIA	B & B	24" HT.	26
ROS FL3	ROSA X 'FLOWER CARPET CORAL' / ROSE	CONT.	24" SPREAD	90
SPI SPI	SPIRAEA JAPONICA 'LITTLE PRINCESS' / LITTLE PRINCESS JAPANESE SPIREA	CONT.	24" HT.	60
SYR MEY	SYRINGA MEYERI 'PALIBIN' / DWARF KOREAN LILAC	B & B	30" HT.	22
SYR BL2	SYRINGA X 'BLOOMERANG' / BLOOMERANG LILAC	B & B	30" HT.	32
VIB MUF	VIBURNUM DENTATUM 'BLUE MUFFIN' / SOUTHERN ARROWWOOD	B & B	30" HT.	30
VIB LUS	VIBURNUM DENTATUM 'CHICAGO LUSTER' / CHICAGO LUSTER ARROWWOOD	B & B	36" HT.	41
EVERGREEN SHRUBS	BOTANICAL / COMMON NAME	COND	SIZE	QTY
JUN COM	JUNIPERUS CHINENSIS 'PITZERIANA COMPACTA' / COMPACTA PITZER	B & B	24" HT.	4
JUN FOR	JUNIPERUS CHINENSIS 'SEA GREEN' / SEA GREEN JUNIPER	B & B	24" SPREAD	91
TAX DE4	TAXUS X MEDIA / DENSE YEW	B & B	30" HT.	116
THU BR2	THUJA OCCIDENTALIS 'BRABANT' / BRABANT ARBORVITAE	B & B	6" HT.	18
THU WOO	THUJA OCCIDENTALIS 'WOODWARDII' / WOODWARD ARBORVITAE	B & B	36" HT.	15
GRASSES	BOTANICAL / COMMON NAME	COND	SIZE	QTY
CAL KAR	CALAMAGROSTIS X ACUTIFLORA 'KARL FOERSTER' / FEATHER REED GRASS	CONT.	#1	86
PAN NOR	PANICUM VIRGATUM 'NORTH WIND' / NORTHWIND SWITCH GRASS	CONT.	#1	35
SPO HET	SPOROBOLUS HETEROLEPIS / PRAIRIE DROPS EED	CONT.	#1	67
TURF GRASS	BOTANICAL / COMMON NAME	COND	SIZE	QTY
TUR SOD	TURF SOD / DROUGHT TOLERANT FESCUE BLEND	COND	SIZE	QTY
		SOD	S.F.	46,298 SF

EEA - P:\223296 - Luz and Associates - 4600 Main Skokie Drawings\22015 - 4600 Main Skokie Landscape Plan.dwg
Plotted: 10/03/23 @ 9:16am By: agregory

Reserved for Seal:

No.	Date	Description
	01/24/2023	REVISED PER PLAN COMMISSION
	03/06/2023	REVISED PER PLAN COMMISSION
	06/28/2023	REVISED PER STAFF REVIEW
	08/25/2023	REVISED PER STAFF REVIEW
	10/03/2023	REVISED FOR APPEARANCE COMM.

© ERIKSSON ENGINEERING ASSOCIATES, LTD. 2022
THIS PLAN & DESIGN ARE THE PROPERTY OF ERIKSSON ENGINEERING ASSOCIATES, LTD.
NO REPRODUCTION OR PARTIAL OR WHOLE REUSE IS PERMITTED WITHOUT THE WRITTEN
CONSENT OF ERIKSSON ENGINEERING ASSOCIATES, LTD.

Design By: SSG Approved By: CMK Date: 01/05/2023

Sheet Title:
LANDSCAPE PLAN

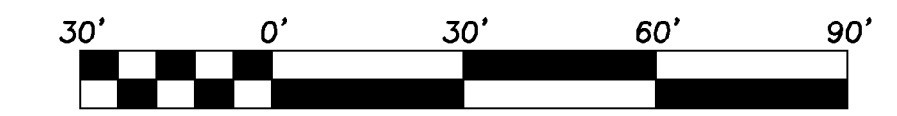
Sheet No:
L-01



**ERIKSSON
ENGINEERING
ASSOCIATES, LTD.**

145 COMMERCE DRIVE, SUITE A
GRAYSLAKE, ILLINOIS 60030
PHONE: (847) 223-4804
FAX: (847) 223-4864
EMAIL: INFO@EEA-LTD.COM
PROFESSIONAL DESIGN FIRM
LICENSE NO. 184-DD3220
EXPIRES: 04/30/2023

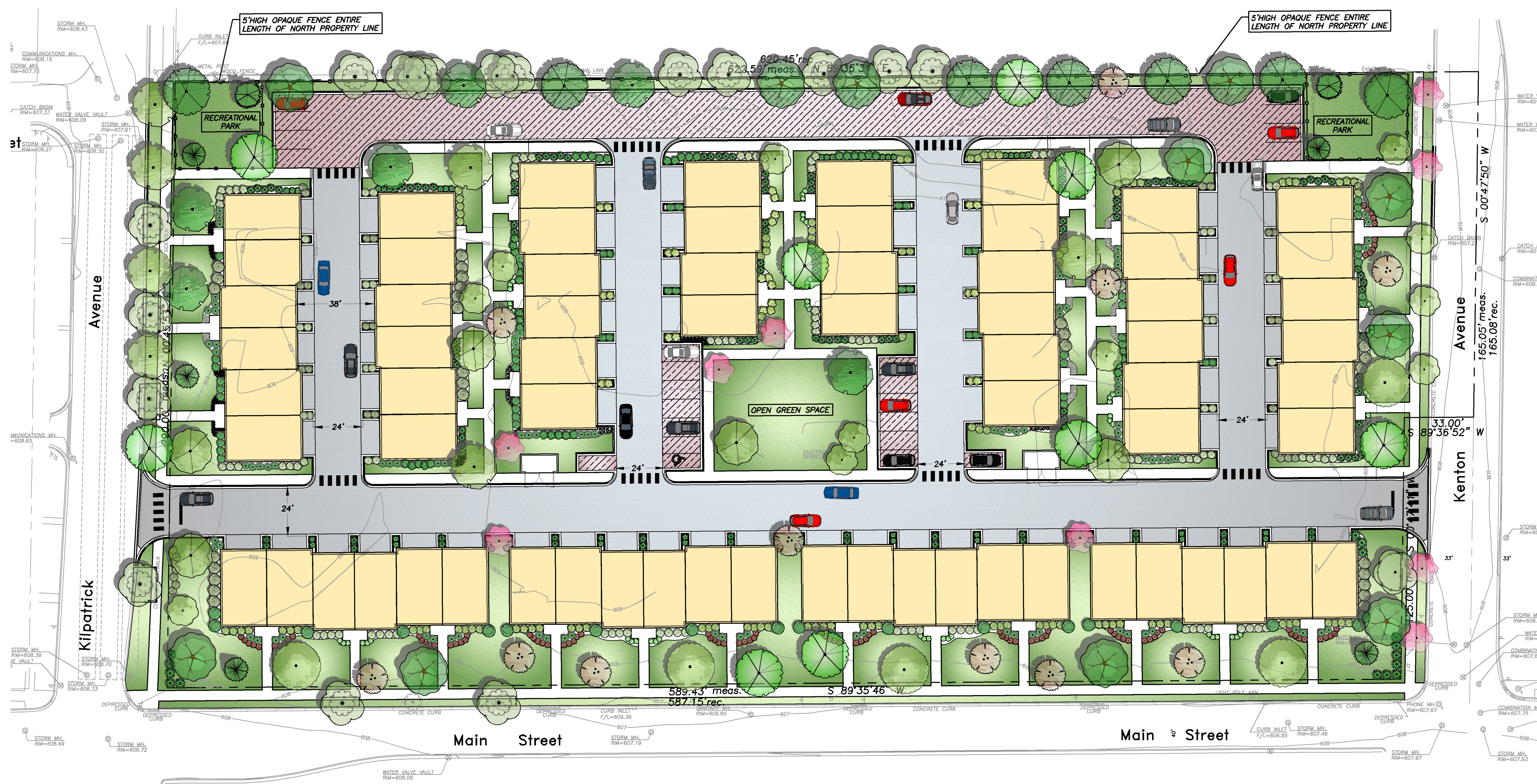
4600 MAIN STREET
4600 MAIN STREET
SKOKIE, ILLINOIS



Scale: 1" = 30'

LANDSCAPE NOTES:

- PLANT QUANTITIES SHOWN IN THE PLANT SCHEDULE ARE FOR CONVENIENCE ONLY. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING AND INSTALLING ALL MATERIALS SHOWN ON THE PLAN AND SHOULD NOT RELY ON THE PLANT SCHEDULE FOR DETERMINING QUANTITIES.
- ALL PLANT MATERIALS SHALL BE NURSERY GROWN STOCK AND SHALL BE FREE FROM ANY DEFORMITIES, DISEASES OR INSECT DAMAGE. ANY MATERIALS WITH DAMAGED OR CROOKED/DISFIGURED LEADERS, BARK ABRASION, SUNSCALD, INSECT DAMAGE, ETC. ARE NOT ACCEPTABLE AND WILL BE REJECTED. TREES WITH MULTIPLE LEADERS WILL BE REJECTED UNLESS CALLED OUT IN THE PLANT SCHEDULE AS MULTI-STEM. NO PRUNING TO BE DONE AT THE TIME OF INSTALLATION EXCEPT FOR DEAD OR BROKEN LIMBS.
- ALL LANDSCAPE IMPROVEMENTS SHALL MEET MUNICIPALITY REQUIREMENTS AND GUIDELINES, WHICH SHALL BE VERIFIED BY MUNICIPAL AUTHORITIES.
- ALL PLANTING OPERATIONS SHALL BE COMPLETED IN ACCORDANCE WITH STANDARD HORTICULTURAL PRACTICES. THIS MAY INCLUDE, BUT NOT BE LIMITED TO, PROPER PLANTING BED AND TREE PIT PREPARATION, PLANTING MIX, PRUNING, STAKING AND GUYING, WRAPPING, SPRAYING, FERTILIZATION, PLANTING AND ADEQUATE MAINTENANCE OF MATERIALS DURING CONSTRUCTION ACTIVITIES.
- ALL PLANT MATERIALS SHALL BE INSPECTED AND APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION. ANY MATERIALS INSTALLED WITHOUT APPROVAL MAY BE REJECTED.
- THE CONTRACTOR SHALL GUARANTEE PLANT MATERIALS FOR A PERIOD OF ONE YEAR FROM DATE OF ACCEPTANCE BY OWNER. THE CONTRACTOR SHALL OUTLINE PROPER MAINTENANCE PROCEDURES TO THE OWNER AT THE TIME OF ACCEPTANCE. DURING THE GUARANTEE PERIOD, DEAD OR DISEASED MATERIALS SHALL BE REPLACED AT NO COST TO THE OWNER. AT THE END OF THE GUARANTEE PERIOD THE CONTRACTOR SHALL OBTAIN FINAL ACCEPTANCE FROM THE OWNER.
- ANY EXISTING TREES TO BE RETAINED SHALL BE PROTECTED FROM SOIL COMPACTION AND OTHER DAMAGES THAT MAY OCCUR DURING CONSTRUCTION ACTIVITIES BY ERECTING FENCING AROUND SUCH MATERIALS AT A DISTANCE OF 8.5' FROM THE TRUNK.
- ALL GRASS, CLUMPS, OTHER VEGETATION, DEBRIS, STONES, ETC. SHALL BE RAKED OR OTHERWISE REMOVED FROM PLANTING AND LAWN AREAS PRIOR TO INITIATION OF INSTALLATION PROCEDURES.
- THE CONTRACTOR SHALL VERIFY THE LOCATIONS OF ALL UNDERGROUND UTILITIES PRIOR TO INITIATING PLANTING OPERATIONS. THE CONTRACTOR SHALL REPAIR/REPLACE AND UTILITY, PAVING, CURBING, ETC. WHICH IS DAMAGED DURING PLANTING OPERATIONS.
- ALL SIZE AND GRADING STANDARDS OF PLANT MATERIALS SHALL CONFORM TO THE LATEST EDITION OF ANSI Z60.1, AMERICAN STANDARDS FOR NURSERY STOCK, BY THE AMERICAN NURSERY & LANDSCAPE ASSOCIATION.
- REFER TO PLAT OF SURVEY FOR LEGAL DESCRIPTION, BOUNDARY DIMENSIONS AND EXISTING CONDITIONS.
- ALL PLANT MATERIAL ON THIS PLANTING PLAN REPRESENTS THE INTENTION AND INTENSITY OF THE PROPOSED LANDSCAPE MATERIAL. THE EXACT SPECIES AND LOCATIONS MAY VARY IN THE FIELD DO TO MODIFICATIONS IN THE SITE IMPROVEMENTS AND THE AVAILABILITY OF PLANT MATERIAL AT THE TIME OF INSTALLATION. ANY SUCH CHANGES MUST FIRST BE APPROVED BY THE CITY IN WRITING.
- ALL PLANT MATERIAL SHALL BE PLANTED WITH A MINIMUM OF SIX INCHES OF ORGANIC SOIL AND MULCHED WITH A SHREDED BARK MATERIAL TO A MINIMUM 3" DEPTH.
- ALL BEDS SHALL BE EDGED, HAVE WEED PREMERGENTS APPLIED AT THE RECOMMENDED RATE.
- ALL PARKWAYS SHALL HAVE LAWN ESTABLISHED WITH SEED A GROUNDCOVER, UNLESS OTHERWISE NOTED.
- ALL LAWN AREAS ON THIS PLAN SHALL BE GRADED SMOOTH AND TOPPED WITH AT LEAST 6" OF TOPSOIL. ALL LAWN AREAS TO BE ESTABLISHED USING SEED BLANKET UNLESS OTHERWISE NOTED. BLANKET TO BE 575 OR APPROVED EQUAL.
- THIS LANDSCAPE PLAN ASSUMES THE SITE WILL BE PREPARED WITH TOP SOIL SUITABLE FOR THE ESTABLISHMENT OF THE LANDSCAPE MATERIAL PRESENTED ON THIS PLAN. IF ADDITIONAL TOP SOIL IS REQUIRED IT IS UP TO THE LANDSCAPE CONTRACTOR ON THE PROJECT TO PROVIDE, SPREAD AND PREPARE THE SITE AS NEEDED FOR THE IMPLEMENTATION OF THIS LANDSCAPE PLAN.
- ALL CONTRACTORS MUST VERIFY ALL QUANTITIES AND OBTAIN ALL PROPER PERMITS AND LICENSES FROM THE PROPER AUTHORITIES.
- ALL MATERIAL MUST MEET INDUSTRY STANDARDS AND THE LANDSCAPE ARCHITECT HAS THE RIGHT TO REFUSE ANY POOR MATERIAL OR WORKMANSHIP.
- LANDSCAPE ARCHITECT IS NOT RESPONSIBLE FOR UNSEEN SITE CONDITIONS.
- ALL PLANTINGS SHALL BE SPACED EQUAL DISTANT, BACK FILLED WITH AMENDED SOIL IN A HOLE TWICE THE ROOTBALL DIAMETER, WATERED, FERTILIZED, PRUNED, AND HAVE ALL TAGS AND ROPES REMOVED.
- LAWN AND BED AREAS SHALL BE ROTOTILLED, RAKED OF CLUMPS AND DEBRIS.
- REMOVE ALL DEAD AND DISEASED PLANT MATERIAL FROM SITE AND DISPOSE OF PROPERLY.
- PLANTS TO BE PLANTED SO THAT ROOT FLARE IS AT THE GRADE OF THE AREA WHERE PLANTED. NO PRUNING TO BE DONE AT THE TIME OF INSTALLATION EXCEPT TO REMOVE DEAD OR BROKEN LIMBS.



SITE MATERIALS SCHEDULE

	EXISTING TREES TO REMAIN	18
	ASPHALT	36,415 SF
	PERMEABLE PAVEMENT	14,158 SF

PLANT SCHEDULE

CANOPY TREES	BOTANICAL / COMMON NAME	COND	SIZE	QTY
ACE AUT	ACER RUBRUM 'AUTUMN FLAME' / AUTUMN FLAME MAPLE	B & B	2.5" CAL.	5
CEL OCC	CELTIS OCCIDENTALIS / COMMON HACKBERRY	B & B	2.5" CAL.	7
GIN PR2	GINKGO BILOBA 'PRINCETON SENTRY' / PRINCETON SENTRY GINKGO	B & B	2.5" CAL.	6
GLE 118	GLEDITSIA TRIACANTHOS INERMIS 'SKYLINE' / THORNLESS SKYLINE HONEYLOCUST	B & B	2.5" CAL.	9
QUE RUB	QUERCUS RUBRA / RED OAK	B & B	2.5" CAL.	11
TIL RED	TILIA AMERICANA 'REDMOND' / REDMOND AMERICAN LINDEN	B & B	2.5" CAL.	7
ULM ACC	ULMUS X 'ACCOLADE' / ACCOLADE ELM	B & B	2.5" CAL.	6
EVERGREEN TREES	BOTANICAL / COMMON NAME	COND	SIZE	QTY
PIC COL	PICEA PUNGENS 'COLORADO GREEN' / BLUE SPRUCE	B & B	6' - 8' HT.	5
PIN STR	PINUS STROBUS / WHITE PINE	B & B	6' - 8' HT.	2
UNDERSTORY TREES	BOTANICAL / COMMON NAME	COND	SIZE	QTY
AME GRA	AMELANCHIER X GRANDIFLORA 'AUTUMN BRILLIANCE' / AUTUMN BRILLIANCE APPLE SERVICEBERRY	B & B	8" CLUMP	11
CER CAN	CERCIS CANADENSIS / EASTERN REDBUD	B & B	2.5" CAL.	9
SYR IVO	SYRINGA RETICULATA 'IVORY SILK' / IVORY SILK JAPANESE TREE LILAC	B & B	2.5" CAL.	11
DECIDUOUS SHRUBS	BOTANICAL / COMMON NAME	COND	SIZE	QTY
ARO ARB	ARONIA ARBUTIFOLIA / RED CHOKEBERRY	B & B	30" HT.	56
CEA AME	CEANOTHUS AMERICANUS / NEW JERSEY TEA	B & B	30" HT.	62
CEP OCC	CEPHALANTHUS OCCIDENTALIS / BUTTONBUSH	B & B	36" HT.	30
CEP SUS	CEPHALANTHUS OCCIDENTALIS 'SMOOS' / SUGAR SHACK® BUTTONBUSH	B & B	24" HT.	39
COT ACU	COTONNEASTER ACUTIFOLIUS / PEWEE COTONNEASTER	B & B	36" HT.	32
FOT AIR	FOTHERGILLA GARDENII 'MT. AIRY' / DWARF WITCHALDER	B & B	24" HT.	52
HYD ANN	HYDRANGEA ARBORESCENS 'ANNABELLE' / ANNABELLE SMOOTH HYDRANGEA	B & B	36" HT.	28
KER GOL	KERRIA JAPONICA 'GOLDEN GUINEA' / GOLDEN JAPANESE KERRIA	B & B	24" HT.	26
ROS FL3	ROSA X 'FLOWER CARPET CORAL' / ROSE	CONT.	24" SPREAD	90
SPI SPI	SPIRAEA JAPONICA 'LITTLE PRINCESS' / LITTLE PRINCESS JAPANESE SPIREA	CONT.	24" HT.	60
SYR MEY	SYRINGA MEYERI 'PALIBIN' / DWARF KOREAN LILAC	B & B	30" HT.	22
SYR BL2	SYRINGA X 'BLOOMERANG' / BLOOMERANG LILAC	B & B	30" HT.	32
VIB MUF	VIBURNUM DENTATUM 'BLUE MUFFIN' / SOUTHERN ARROWWOOD	B & B	30" HT.	40
VIB LUS	VIBURNUM DENTATUM 'CHICAGO LUSTER' / CHICAGO LUSTER ARROWWOOD	B & B	36" HT.	31
EVERGREEN SHRUBS	BOTANICAL / COMMON NAME	COND	SIZE	QTY
JUN COM	JUNIPERUS CHINENSIS 'PFITZERIANA COMPACTA' / COMPACTA PFITZER	B & B	24" HT.	4
JUN FOR	JUNIPERUS CHINENSIS 'SEA GREEN' / SEA GREEN JUNIPER	B & B	24" SPREAD	91
TAX DE4	TAXUS X MEDIA / DENSE YEW	B & B	30" HT.	118
THU BR2	THUJA OCCIDENTALIS 'BRABANT' / BRABANT ARBORVITAE	B & B	6' HT.	18
THU WOO	THUJA OCCIDENTALIS 'WOODWARDII' / WOODWARD ARBORVITAE	B & B	36" HT.	15
GRASSES	BOTANICAL / COMMON NAME	COND	SIZE	QTY
CAL KAR	CALAMAGROSTIS X ACUTIFLORA 'KARL FOERSTER' / FEATHER REED GRASS	CONT.	#1	86
PAN NOR	PANICUM VIRGATUM 'NORTH WIND' / NORTHWIND SWITCH GRASS	CONT.	#1	35
SPO HET	SPOROBOLUS HETEROLEPIS / PRAIRIE DROPSEED	CONT.	#1	67
TURF GRASS	BOTANICAL / COMMON NAME	COND	SIZE	QTY
TUR SOD	TURF SOD / DROUGHT TOLERANT FESCUE BLEND	SOD	S.F.	46,298 SF

EAA - P:\223296 - Luz and Associates - 4600 Main Skokie Drawings\22015 - 4600 Main Skokie_Landscape_Plan.dwg
Plotted: 10/03/23 @ 9:28am By: sgregory

Reserved for Seal:

No.	Date	Description
	01/24/2023	REVISED PER PLAN COMMISSION
	03/06/2023	REVISED PER PLAN COMMISSION
	06/28/2023	REVISED PER STAFF REVIEW
	08/25/2023	REVISED PER STAFF REVIEW
	10/03/2023	REVISED FOR APPEARANCE COMM.

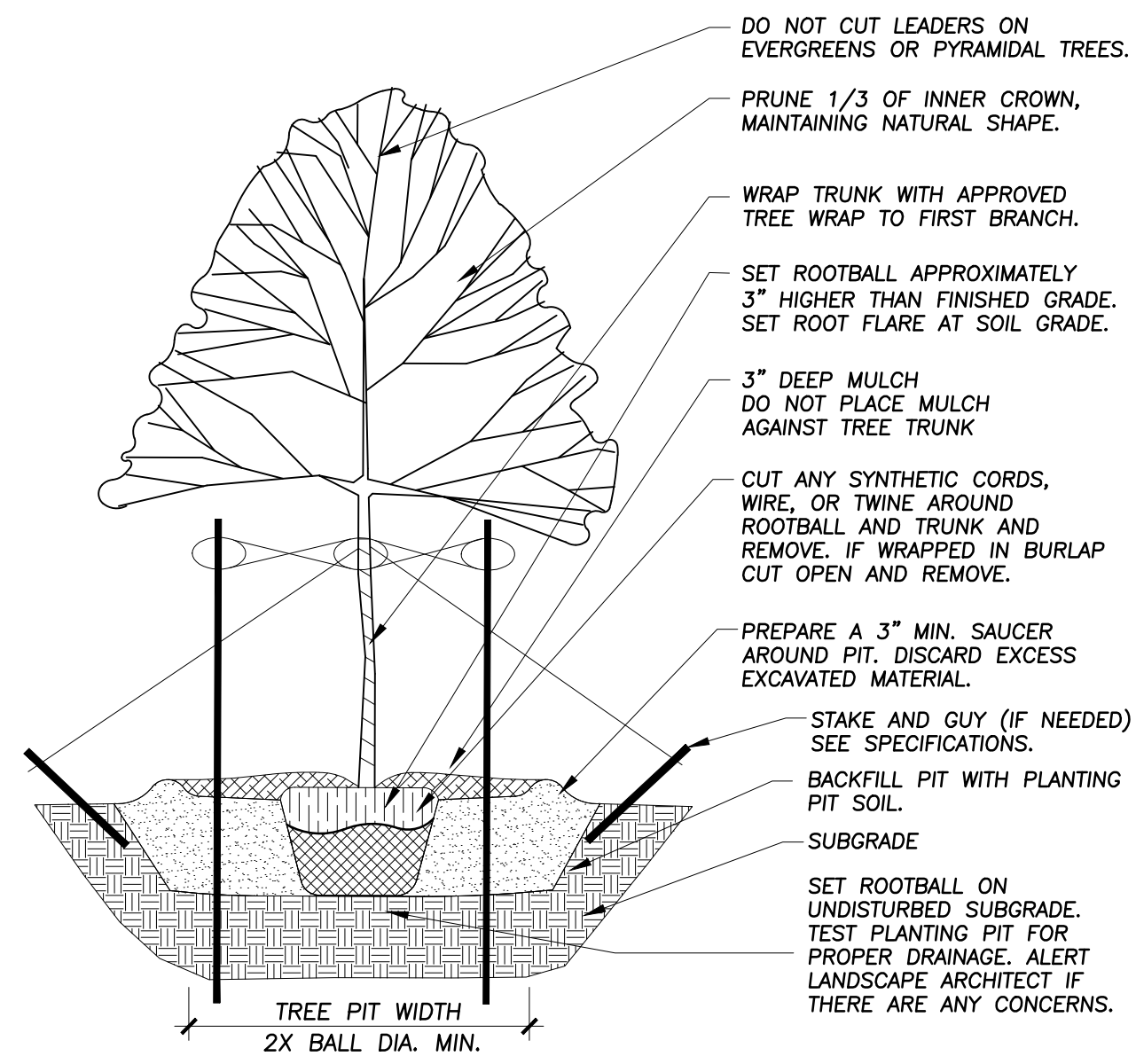
© ERIKSSON ENGINEERING ASSOCIATES, LTD. 2023 THIS PLAN & DESIGN ARE THE PROPERTY OF ERIKSSON ENGINEERING ASSOCIATES, LTD. NO REPRODUCTION OR USE OF THIS PLAN IS PERMITTED WITHOUT THE WRITTEN CONSENT OF ERIKSSON ENGINEERING ASSOCIATES, LTD.		
Design By:	Approved By:	Date:
SSG	CMK	01/05/2023

Sheet Title:

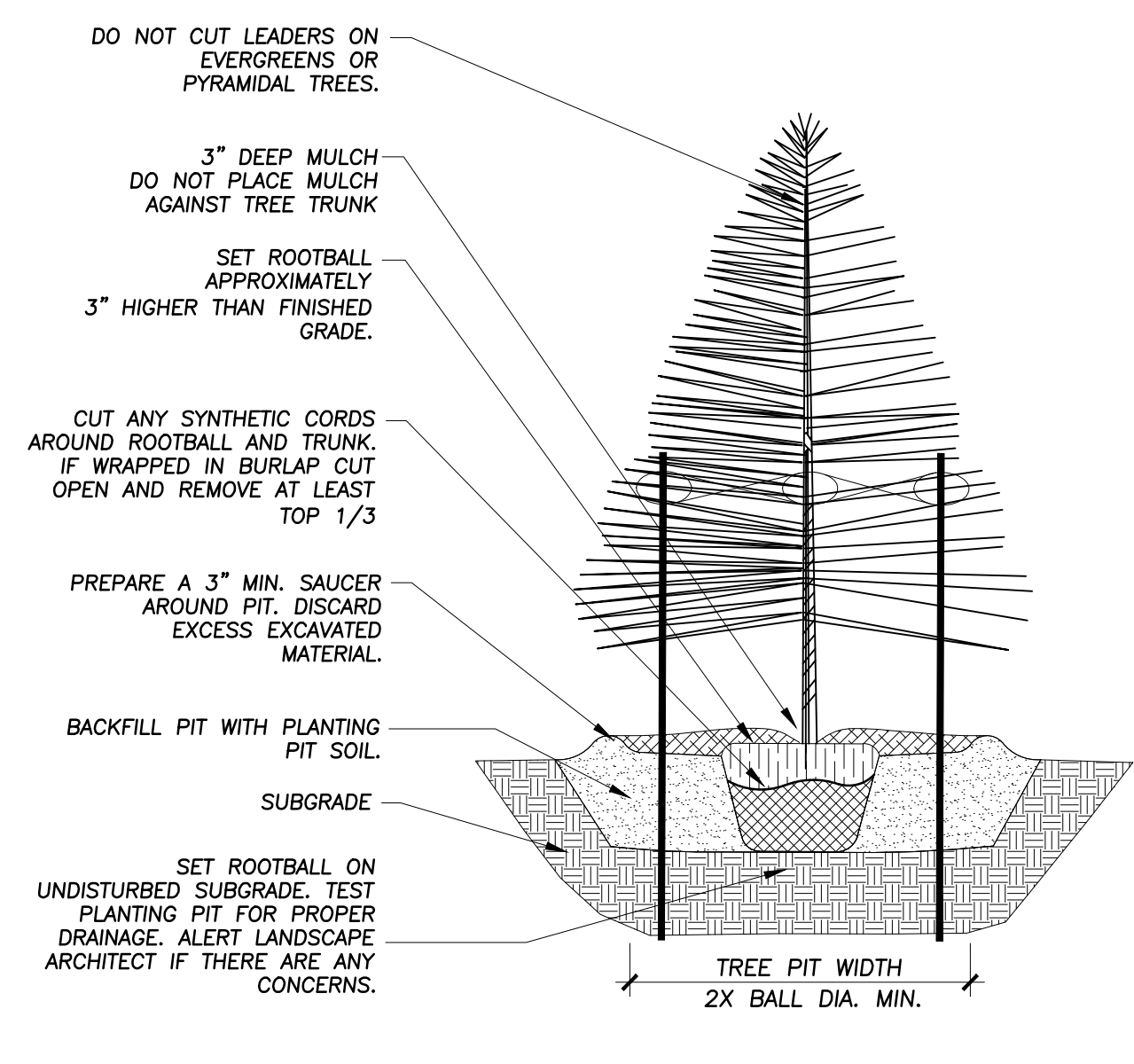
**LANDSCAPE
PLAN**

Sheet No:

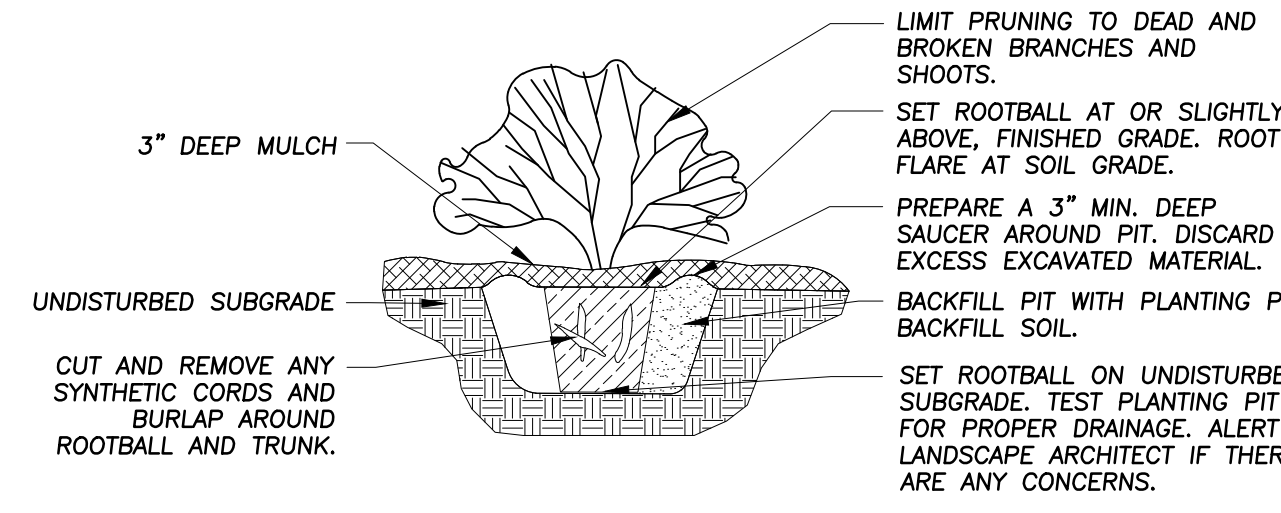
L-01



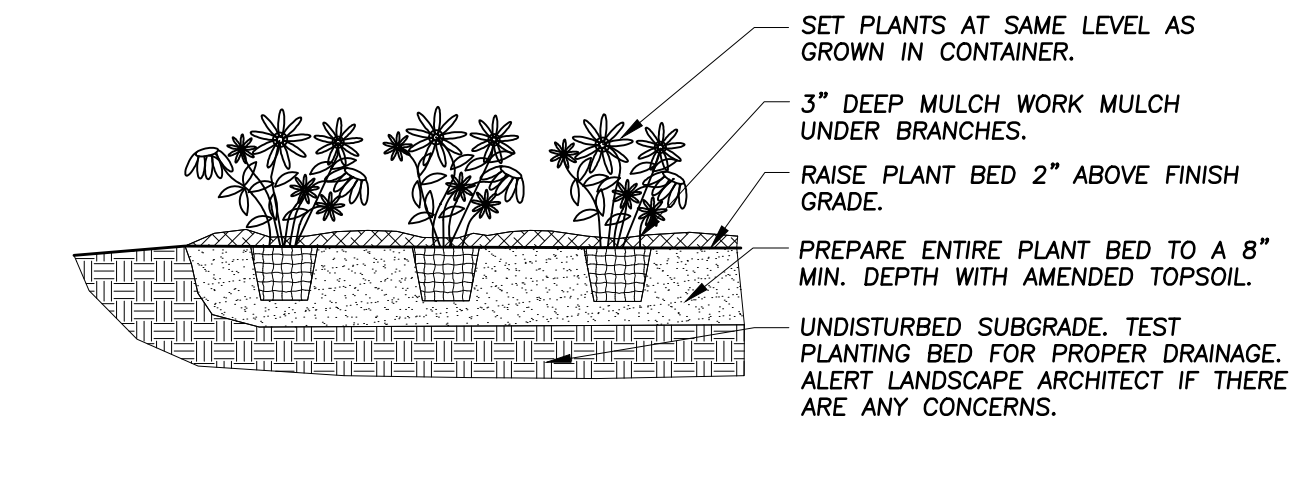
1 TREE PLANTING DETAIL
Not To Scale 329343-01



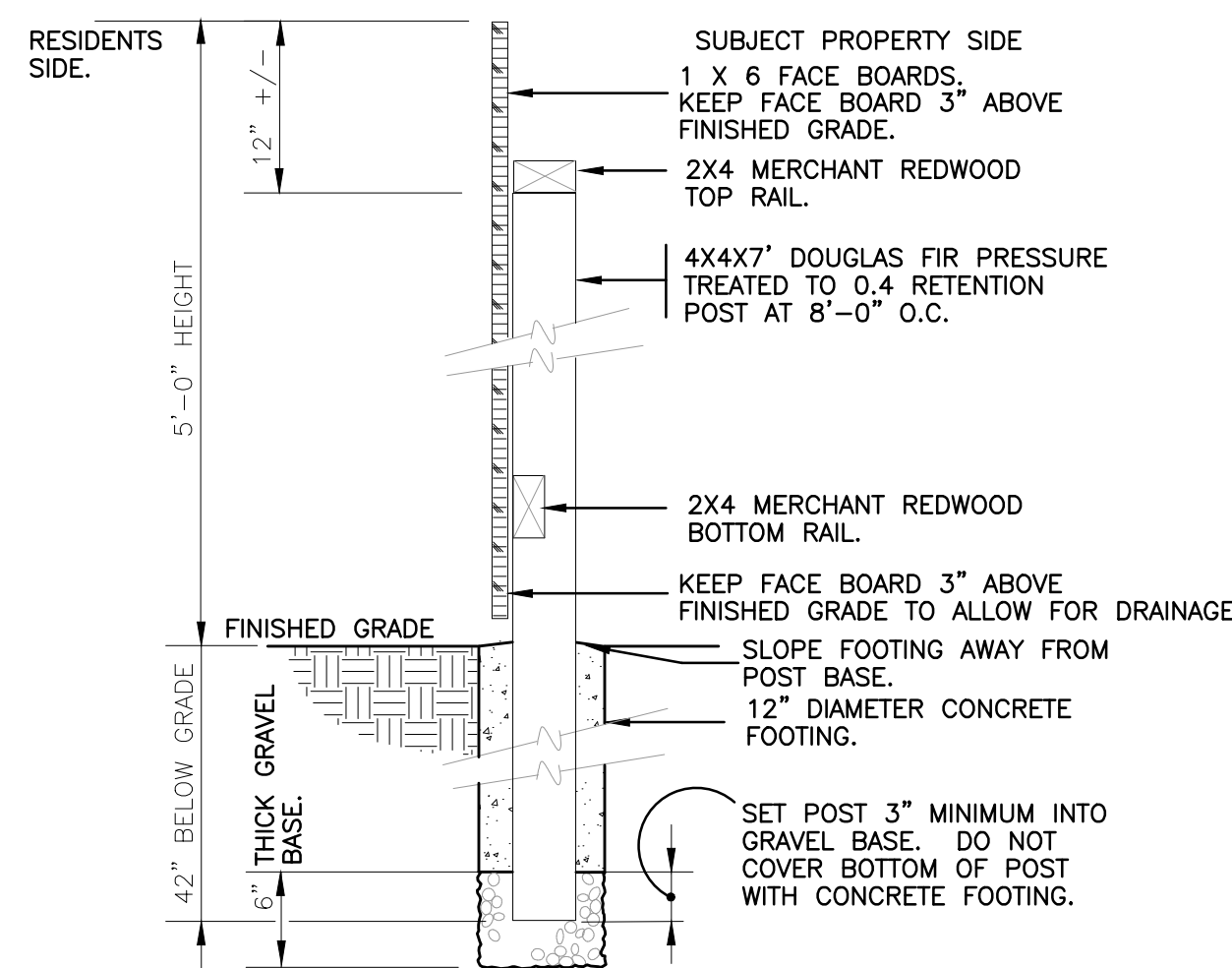
2 EVERGREEN TREE PLANTING DETAIL
Not To Scale 329343-02



3 SHRUB PLANTING DETAIL
Not To Scale 329333-01



4 ANNUAL, PERENNIAL, & GROUNDCOVER DETAIL
Not To Scale 329301-03



5 5' SOLID PANEL WOOD FENCE
Not To Scale 323129.23-27



**ERIKSSON
ENGINEERING
ASSOCIATES, LTD.**

145 COMMERCE DRIVE, SUITE A
GRAYSLAKE, ILLINOIS 60030
PHONE: (847) 223-4804
FAX: (847) 223-4864
EMAIL: INFO@EEA-LTD.COM
PROFESSIONAL DESIGN FIRM
LICENSE NO. 184-003220
EXPIRES: 04/30/2023

4600 MAIN STREET
4600 MAIN STREET
SKOKIE, ILLINOIS

Reserved for Seal:

No.	Date	Description
01/24/2023	REVISED PER PLAN COMMISSION	
03/06/2023	REVISED PER PLAN COMMISSION	
06/28/2023	REVISED PER STAFF REVIEW	
08/25/2023	REVISED PER STAFF REVIEW	
10/03/2023	REVISED FOR APPEARANCE COMM.	

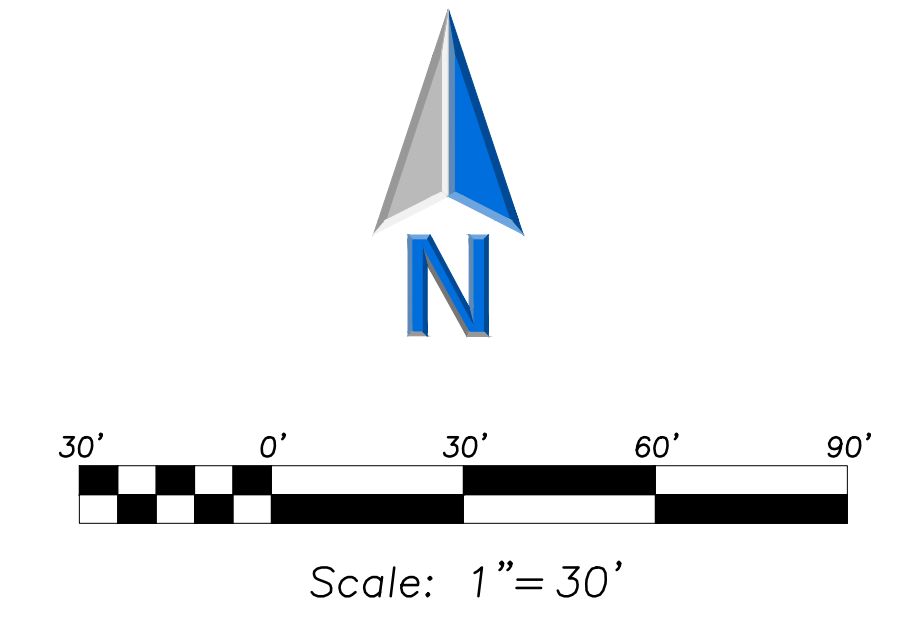
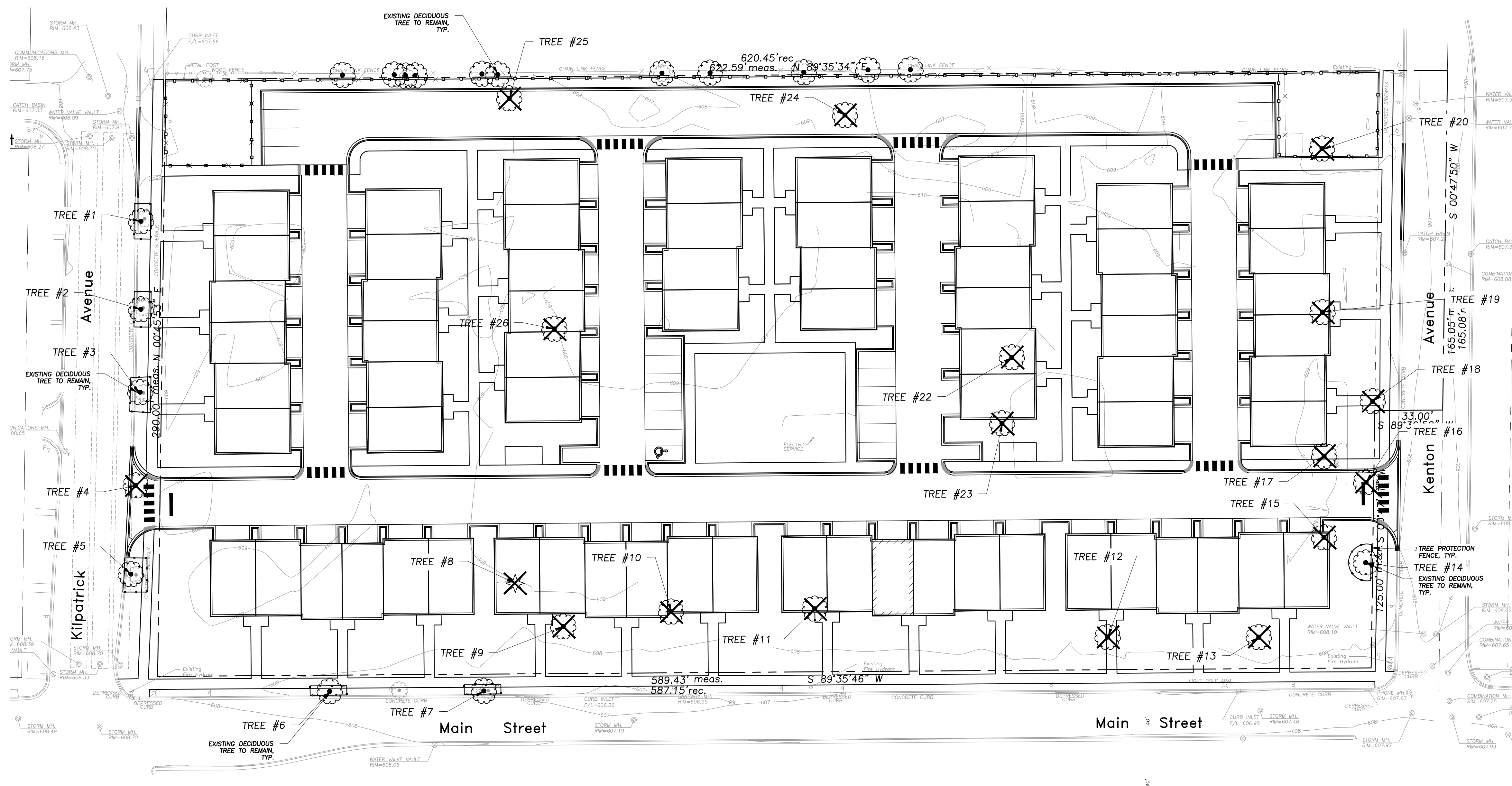
© ERIKSSON ENGINEERING ASSOCIATES, LTD. 2022
THIS PLAN & DESIGN ARE THE PROPERTY OF ERIKSSON ENGINEERING ASSOCIATES, LTD.
NO REPRODUCTION OF ANY PART OF THIS DESIGN IS PERMITTED WITHOUT THE WRITTEN
CONSENT OF ERIKSSON ENGINEERING ASSOCIATES, LTD.

Design By: SSG Approved By: CMK Date: 01/05/2023

Sheet Title:
**LANDSCAPE
DETAILS**

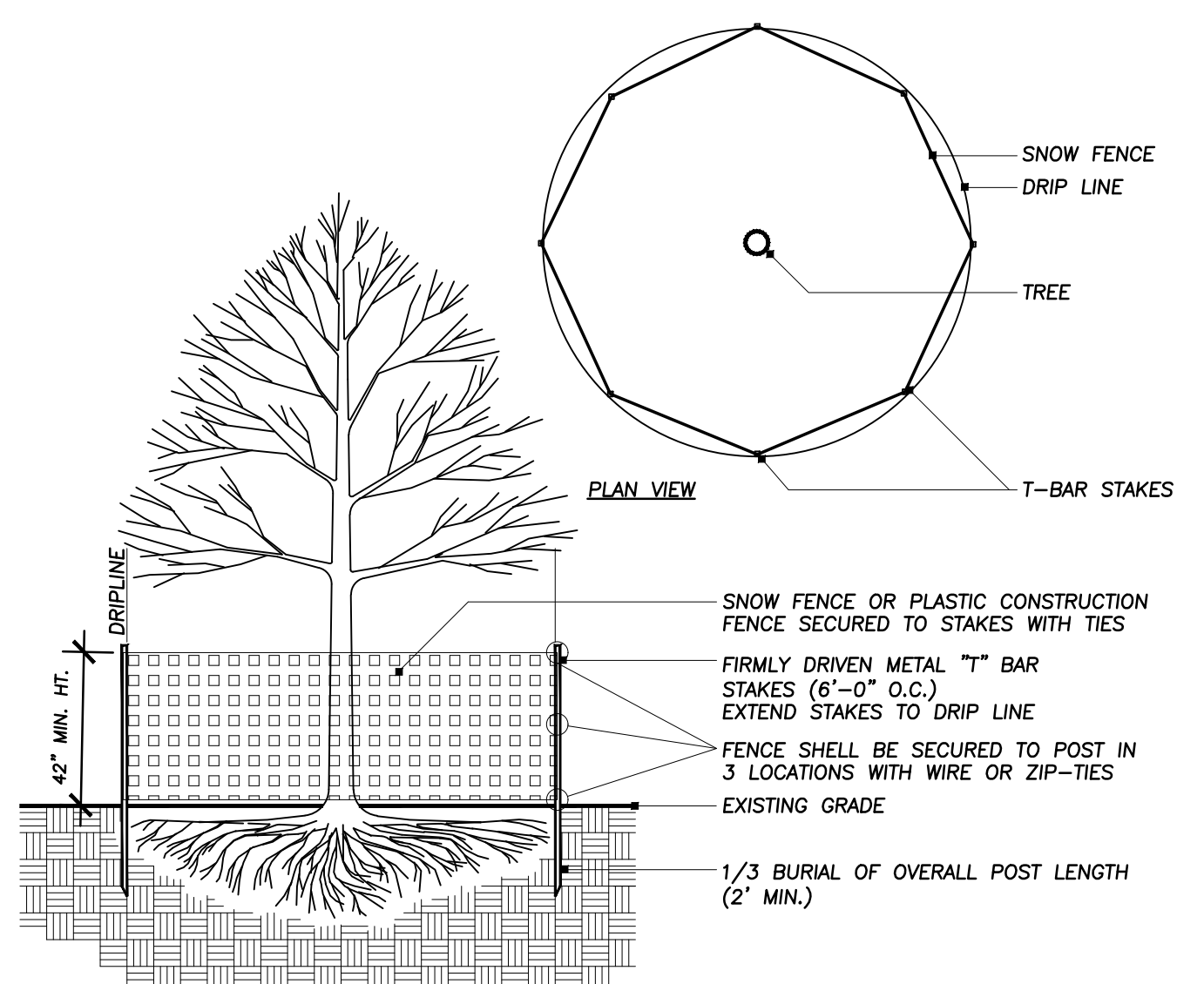
Sheet No:
L-02

EEA - P:\223296 - Luz and Associates - 4600 Main Skokie Drawings\22015 - 4600 Main Skokie Landscape Plan.dwg
 Plotted: 10/03/23 @ 9:21am By: sgregory



**ERIKSSON
ENGINEERING
ASSOCIATES, LTD.**
 145 COMMERCE DRIVE, SUITE A
 GRAYSLAKE, ILLINOIS 60030
 PHONE: (847) 223-4804
 FAX: (847) 223-4864
 EMAIL: INFO@EEA-LTD.COM
 PROFESSIONAL DESIGN FIRM
 LICENSE NO. 184-003220
 EXPIRES: 04/30/2023

4600 MAIN STREET
 4600 MAIN STREET
 SKOKIE, ILLINOIS



1 TREE PROTECTION DETAIL
 Not To Scale 329383-01

EXISTING TREE INVENTORY

TAG #	BOTANICAL NAME	COMMON NAME	TREE SIZE	CONDITION	COMMENTS
1	Acer platanoides	Norway Maple	14" Cal.	Good	Parkway Tree
2	Acer platanoides	Norway Maple	16" Cal.	Good	Parkway Tree
3	Acer platanoides	Norway Maple	16" Cal.	Good	Parkway Tree
4	Acer platanoides	Norway Maple	16" Cal.	Good	Parkway Tree
5	Acer platanoides	Norway Maple	16" Cal.	Good	Parkway Tree
6	Taxodium distichum	Bald Cypress	10" Cal.	Good	Parkway Tree
7	Gleditsia triacanthos inermis	Thornless Honeylocust	18" Cal.	Good	Parkway Tree
8	Thuja occidentalis	American Arborvitae	(2)@6' & 8" Cal.	Good	
9	Gleditsia triacanthos inermis	Thornless Honeylocust	28" Cal.	Good	
10	Gleditsia triacanthos inermis	Thornless Honeylocust	28" Cal.	Good	
11	Acer saccharinum	Silver Maple	28" Cal.	Good	
12	Gleditsia triacanthos inermis	Thornless Honeylocust	30" Cal.	Good	
13	Gleditsia triacanthos inermis	Thornless Honeylocust	30" Cal.	Good	
14	Cercis canadensis	Eastern Redbud	15' Clump	Good	Parkway Tree
15	Ulmus pumila	Siberian Elm	36" Cal.	Poor	Many dead upper limbs
16	Gleditsia triacanthos inermis	Thornless Honeylocust	14" Cal.	Fair	Parkway Tree Trimmed for O.H.L.
17	Ulmus pumila	Siberian Elm	36" Cal.	Poor	Many dead upper limbs
18	Gleditsia triacanthos inermis	Thornless Honeylocust	15" Cal.	Fair	Parkway Tree Trimmed for O.H.L.
19	Gleditsia triacanthos inermis	Thornless Honeylocust	30" Cal.	Good	
20	Gleditsia triacanthos inermis	Thornless Honeylocust	32" Cal.	Good	
21	Gleditsia triacanthos inermis	Thornless Honeylocust	28" Cal.	Good	
22	Gleditsia triacanthos inermis	Thornless Honeylocust	15" Cal.	Good	Close to bldg Foundation
23	Gleditsia triacanthos inermis	Thornless Honeylocust	17" Cal.	Good	
24	Acer platanoides	Norway Maple	12" Cal.	Good	
25	Acer platanoides	Norway Maple	9" Cal.	Good	
26	Gleditsia triacanthos inermis	Thornless Honeylocust	15" Cal.		

TREE PRESERVATION NOTES

- ANY EXISTING TREES TO BE RETAINED SHALL BE PROTECTED FROM SOIL COMPACTION AND OTHER DAMAGES THAT MAY OCCUR DURING CONSTRUCTION ACTIVITIES BY ERECTING FENCING AROUND SUCH MATERIALS AT A DISTANCE OF 8.5' FROM THE TRUNK.
- THE CONTRACTOR SHALL VERIFY THE LOCATIONS OF ALL UNDERGROUND UTILITIES PRIOR TO INITIATING PLANTING OPERATIONS. THE CONTRACTOR SHALL REPAIR/ REPLACE AND UTILITY, PAVING, CURBING, ETC., WHICH IS DAMAGED DURING PLANTING AND TREE REMOVAL OPERATIONS.
- REFER TO PLAT OF SURVEY FOR LEGAL DESCRIPTION, BOUNDARY DIMENSIONS AND EXISTING CONDITIONS.
- CONTRACTORS MUST VERIFY ALL QUANTITIES AND OBTAIN ALL PROPER PERMITS AND LICENSES FROM THE PROPER AUTHORITIES.
- LANDSCAPE ARCHITECT IS NOT RESPONSIBLE FOR UNSEEN SITE CONDITIONS.
- REMOVE ALL DEAD AND DISEASED PLANT MATERIAL FROM SITE AND DISPOSE OF PROPERLY.
- PRUNE AND FERTILIZE ALL EXISTING VEGETATION TO REMAIN ON SITE.
- TREE SYMBOL WITH NUMBER INDICATES EXISTING TREE TO REMAIN.
- TREE SYMBOL WITH NUMBER AND AN "X" INDICATES EXISTING TREE TO BE REMOVED.

Reserved for Seal:

No.	Date	Description
	01/24/2023	REVISED PER PLAN COMMISSION
	03/06/2023	REVISED PER PLAN COMMISSION
	06/28/2023	REVISED PER STAFF REVIEW
	08/25/2023	REVISED PER STAFF REVIEW
	10/03/2023	REVISED FOR APPEARANCE COMM.

© ERIKSSON ENGINEERING ASSOCIATES, LTD. 2022
 THIS PLAN & DESIGN ARE THE PROPERTY OF ERIKSSON ENGINEERING ASSOCIATES, LTD. NO REPRODUCTION OR USE OF ANY PART OF THIS PLAN IS PERMITTED WITHOUT THE WRITTEN CONSENT OF ERIKSSON ENGINEERING ASSOCIATES, LTD.
 Design By: SSG Approved By: CMK Date: 01/05/2023

Sheet Title:
**TREE
 PRESERVATION
 PLAN**

Sheet No:
TP-01